

# CITY COUNCIL REPORT



Meeting Date: June 21, 2016  
 General Plan Element: *Land Use*  
 General Plan Goal: *Create a sense of community through land uses*

## ACTION

### Reata Ranch Guest Ranch Final Plat 2-PP-2014

#### Request to consider the following:

1. Approval of the final plat for a new 326-lot residential/resort subdivision with Resort/Townhouse Residential District, Environmentally Sensitive Lands (R-4R ESL) on an approximately 220 acre site located on the south side of E. Rio Verde Drive between N. 128<sup>th</sup> Street and N. 136<sup>th</sup> Street.
2. To adopt Resolution No. 10484 authorizing Development Agreement No. 2016-083-COS to establish and clarify the terms and conditions of the property as a Resort development with at least 110 resort units as stipulated in Ordinance No. 3996 (case 15-ZN-2011).

#### Key Items for Consideration

- 326 lots with a minimum 110 resort units
- Major off-site infrastructure improvements
- Major washes
- Scenic Corridor adjacent to E. Rio Verde Drive
- Adjacent to the McDowell Sonoran preserve

#### Related Policies, References:

15-ZN-2011, 1-MP-2013, 1-WM-2013, 9-DR-2014, 11-AB-2014  
 1999 Dynamite Foothills Character Area Plan  
 2003 Scenic Corridor Design Guidelines  
 2004 Environmentally Sensitive Lands Ordinance

## OWNER

CA Rio Verde Investors, LLC  
 602-818-6300

APPROVE THE FINAL PLAT AND ADOPT RESOLUTION 10484 AUTHORIZING DEVELOPMENT  
 AGREEMENT 2016-083-COS - OK - 7/0

## APPLICANT CONTACT

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DAVID GULINO  
LAND DEVELOPMENT SERVICES LLC  
602-330-5252

## LOCATION

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E RIO VERDE DR / N 128TH ST ( Corner)

## BACKGROUND

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### Zoning

This site is zoned Resort/Townhouse Residential District, Environmentally Sensitive Lands (R-4R ESL). Resort/Townhouse Residential District zoning district(s) allow self-contained accommodations which include recreational amenities and services as well as residential developments. The Environmentally Sensitive Lands (ESL) zoning overlay provides additional standards that govern development to preserve the natural desert environment

### General Plan

The General Plan Land Use Element designates the property as Resort/Tourism. This category includes hotels and a variety of resorts. Medium density residential uses with a resort character and lifestyle may be integrated into resort uses and may share resort amenities.

### Character Area Plan

The property is located within the Dynamite Foothills Character Area boundary. The Dynamite Foothills Character Area was developed as a means to preserve the area's Rural Desert character. Rural Desert character relies on creating a feeling of openness through natural undisturbed desert, minimal impact of development, open view corridors, low building heights, and maintaining the natural desert vegetation which will shield visual obstructions. As such, projects located within the Dynamite Foothills Character Area should preserve natural open space areas, scenic and vista corridors, and support trail links and connections.

### Context

The 220-acre site is located on the south side of E. Rio Verde Drive between N. 128<sup>th</sup> Street and N. 136<sup>th</sup> Street. The surrounding developments are the McDowell Sonoran Preserve to the north and west, vacant land and single family homes to the south and east. Primary access serving the proposed resort/residential development will be provided by N. 128<sup>th</sup> Street and E. Rio Verde Drive. A secondary access will be provided on N. 136<sup>th</sup> Street.

The Desert Estates at Pinnacle Peak final plat was recorded in 2007 for a portion of the property located east of N. 132<sup>nd</sup> Street and west of N. 136<sup>th</sup> Street. The Rio Verde Estates final plat was recorded in 2006 for a portion of the property located west of N. 132<sup>nd</sup> Street and east of N. 129<sup>th</sup>

Street alignment.

**Adjacent Uses and Zoning**

- North McDowell Sonoran Preserve, zoned R1-70 ESL and R1-190 ESL
- South Single family homes and vacant land, zoned R1-70 ESL and R1-130 ESL
- East Single family homes and vacant land, zoned R1-70 ESL, R1-190 ESL and County zoning
- West McDowell Sonoran Preserve, zoned R1-130 ESL

**APPLICANTS PROPOSAL**

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**Goal/Purpose of Request**

The applicant’s request is for approval of the final plat for a new 326-lot residential/resort subdivision with Resort/Townhouse Residential District, Environmentally Sensitive Lands (R-4R ESL) on an approximately 220 acre site and the Development Agreement to establish and clarify the terms and conditions of the property as a Resort development with at least 110 resort units as stipulated in Ordinance No. 3996 (case 15-ZN-2011).

**Development Information**

- Existing Use: Vacant land/former ranch
- Proposed Use: Resort/residential development
- Parcel Size: Approximately 220 acres (net 207.5 acres)
- NAOS Required: 88 acres
- NAOS Provided: 74.85 acres with credit for scarred areas (approximately 36% of the site)
- Density Allowed (15-ZN-2011): 330 maximum resort and residential units, minimum 110 resort units
- Density Proposed: 326 lots, 106 of these lots will be resort units, remaining 4 units will be located in the amenity Tract

**IMPACT ANALYSIS**

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**Water/Sewer**

The applicant is responsible for new water and sewer infrastructure to service the site. The Water and Sewer off-site and on-site plans have been approved. A lift station will be located south of proposed access off of N. 136<sup>th</sup> Street on the subject property. Major extensions of the water and sewer lines will be provided by the proposed development.

**Public Safety**

Scottsdale Fire Department has reviewed this Final Plat and finds that it conforms to the minimum requirements for fire apparatus access. There are no service impacts anticipated for both fire and

police.

**School District Comments/Review**

Cave Creek Unified School District has been notified of this application.

**Open Space**

The final plat provides significant open space buffers on the perimeter of the property and preserves major wash corridors through the site. The Scenic Corridor is dedicated on the final plat along the northern boundary adjacent to E. Rio Verde Drive with an average width over 100 feet. There will also be Vista Corridor Easements dedicated over the larger wash corridors through the center of the property and in the southeast corner of the property.

The zoning case required 88 acres of NAOS. Under the ESL Ordinance, there is an allowed credit for any areas scarred prior to January 1, 1990 which will be dedicated as NAOS. This allowance reduces the amount of NAOS required on the site. This site was a former ranch which was heavily scarred over the years. The applicant is applying this credit and providing a total of 74.85 acres of NAOS.

**Policy Implications**

This final plat is consistent in density, street alignment, and open space previously approved in the zoning case and the preliminary plat. All stipulations and ordinance requirements have been addressed. Approval of this request will enable the final plat to be recorded, establishing lots, streets, easements and common tracts.

**Development Agreement**

The stipulations from the Zoning case 15-ZN-2011 which adopted the Resort/Townhouse Residential District, Environmentally Sensitive Lands (R-4R ESL) zoning on this property required 110 of the 330 units as resort units. The resort units were stipulated to be occupied prior to or concurrently with the residential units within this development. The Development Agreement establishes the Resort and Non-resort units in the development; the process for changing a Resort unit to a Non-resort unit, and management of the Resort units. The Development Agreement creates an In-lieu Payment Obligation for Resort units which are leased or rented for 29 days or greater and for Resort units which are occupied by the owner. 106 of the 326 lots on the final plat will be designated as resort units as part of the Development Agreement. The remaining 4 units of the required 110 units will be separate units located within the amenity Tract as shown the site plan approved under case 9-DR-2014.

**OTHER BOARDS & COMMISSIONS**

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**Development Review Board**

The Development Review Board heard this case on July 17, 2014 and approved the Preliminary Plat with a 6-0 vote.

**OPTIONS & STAFF RECOMMENDATION**

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**Recommended Approach:**

1. Approval of a final plat for a new 326-lot residential/resort subdivision with Resort/Townhouse Residential District, Environmentally Sensitive Lands (R-4R ESL) on an approximately 220 acre site located on the south side of E. Rio Verde Drive between N. 128<sup>th</sup> Street and N. 136<sup>th</sup> Street;
2. Adopt Resolution No. 10484 authorizing Development Agreement No. 2016-083-COS to establish and clarify the terms and conditions of the property as a Resort development with at least 110 resort units as stipulated in the Ordinance No. 3996 (case 15-ZN-2011).

**RESPONSIBLE DEPARTMENT(S)**

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**Planning and Development Services**

Current Planning Services

**STAFF CONTACTS (S)**

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Doris McClay

Planner

480-312-4214

E-mail: [dmcclay@ScottsdaleAZ.gov](mailto:dmcclay@ScottsdaleAZ.gov)

**APPROVED BY**

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Doris McClay, Report Author

5/27/16  
Date

  
Tim Curtis, AICP, Current Planning Director  
480-312-4210, tcurtis@scottsdaleaz.gov

5/27/2016  
Date

  
Randy Grant, Director  
Planning and Development Services  
480-312-2664, rgrant@scottsdaleaz.gov

6/2/16  
Date

**ATTACHMENTS**

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1. Final Plat
2. Preliminary Plat
3. Context Aerial
- 3A. Aerial Close-Up
4. Zoning Map
5. Development Agreement No. 2016-083-COS
6. Resolution No. 10484
7. 15-ZN-2011 stipulations
8. July 17, 2014 Development Review Board minutes

# FINAL PLAT FOR REATA RANCH

A REPLAT OF "DESERT ESTATES AT PINNACLE PEAK" AND "RIO VERDE ESTATES" LOCATED IN A PORTION OF THE NORTH HALF OF SECTION 38, TOWNSHIP 5 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, SCOTTSDALE, ARIZONA.

**OWNERS:**  
C-A RIO VERDE INVESTORS, L.L.C.;  
C-A TMT INVESTORS, L.L.C.;  
C-A DESERT ESTATES INVESTORS, L.L.C.;  
C-A DESERT ESTATES, L.L.C.

**DEDICATION**

KNOW ALL MEN BY THESE PRESENTS: THAT C-A RIO VERDE INVESTORS, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY; C-A TMT INVESTORS, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY; C-A DESERT ESTATES INVESTORS, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY; AND C-A DESERT ESTATES, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY, EACH AS AN OWNER, HAS SUBMITTED UNDER THE NAME "REATA RANCH" NORTH OF THE NORTH 1/4 OF RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, AS SHOWN AND PLATTED HERETO, HEREBY PUBLISHES THIS FINAL PLAT FOR "REATA RANCH", SAID PLAT SETS FORTH THE LOCATION AND GIVES THE DIVISIONS OF THE LOTS, TRACTS, STRIPS AND EASEMENTS CONSISTING THE SAID EASEMENT, AND STREET SHALL BE SHOWN BY THE NAVIER, LETTERS, OR NAME GIVEN EACH RESPECTIVELY ON SAID PLAT.

THE PUBLIC STREETS ARE DEDICATED TO THE CITY OF SCOTTSDALE IN FEE. THE EASEMENTS ARE DEDICATED FOR THE PURPOSES STATED HEREON.

THAT TRACTS A, B, C, D, E, F, G, H, I & J, SHALL BE OWNED AND MAINTAINED BY THE REATA RANCH HOMEOWNERS ASSOCIATION.

THAT THE PRIVATE STREETS SHOWN HEREON AS TRACT 'A' ARE DECLARED AS PRIVATE ACCESS WAYS FOR THE EXCLUSIVE USE OF THE MEMBERS OF THE REATA RANCH HOMEOWNERS ASSOCIATION AND THEIR ASSIGNS, AND ARE NOT DEDICATED TO THE PUBLIC FOR ITS USE EXCEPT AS EXPRESSLY STATED HEREON. TRACT 'A' SHALL ALSO INCLUDE WATER, SEWER, DRAINAGE AND EMERGENCY ACCESS EASEMENTS TO THE CITY OF SCOTTSDALE. PUBLIC UTILITY EASEMENT IS PROVIDED OVER TRACT 'A'.

TRACTS B, D, F, AND H AS SHOWN HEREON, FOR THE PURPOSE OF H.A.O.S., D.E., P.A.E., V.C.E., S.C.E. AND OPENSPACE.

TRACT C AS SHOWN HEREON, FOR THE PURPOSE OF H.A.O.S. AND OPENSPACE.

TRACTS E, G, I, AND J AS SHOWN HEREON, FOR THE PURPOSE OF OPENSPACE.

THAT C-A RIO VERDE INVESTORS, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY; C-A TMT INVESTORS, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY; C-A DESERT ESTATES INVESTORS, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY; AND C-A DESERT ESTATES, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY, EACH AS AN OWNER (COLLECTIVELY, "GRANTORS") DO HEREBY GRANT TO THE CITY OF SCOTTSDALE, AN ARIZONA MUNICIPAL CORPORATION ("GRANTEE"), TO THE EXTENT LOCATED ON EACH RESPECTIVE GRANTOR'S PROPERTY AS IDENTIFIED ON THIS PLAT:

1. THE PUBLIC STREETS IN FEE AS SHOWN HEREON, MAINTENANCE OF THE PUBLIC STREETS SHALL BE THE ADJACENT PROPERTY OWNERS RESPONSIBILITY UNTIL SUCH TIME AS THE STREETS ARE IMPROVED TO CITY OF SCOTTSDALE STANDARDS AND ACCEPTED BY THE CITY OF SCOTTSDALE.
2. A PERPETUAL, NON-EXCLUSIVE, SCECC CORRIDOR EASEMENT (SCF) AS SHOWN HEREON FOR THE PURPOSE OF PRESERVING THE EASEMENT AREA FREE OF ANY VISUAL OBSTRUCTIONS IN ACCORDANCE WITH THE CITY OF SCOTTSDALE SCENIC CORRIDOR DESIGN GUIDELINES. THE EASEMENT AREA SHALL BE MAINTAINED BY THE REATA RANCH HOMEOWNERS ASSOCIATION.
3. A PERPETUAL, NON-EXCLUSIVE, DRAINAGE EASEMENT (DE) UPON, OVER, UNDER AND ACROSS THE AREAS OF LAND SHOWN HEREON. THE PURPOSE OF THE EASEMENT IS FOR DRAINAGE AND FLOOD CONTROL AND ALL RELATED PURPOSES, INCLUDING WITHOUT LIMITATION, CONSTRUCTION, MAINTENANCE, OPERATION, AND REPAIR OF LEVEES, DICES, DITCHES, CHANNELS. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL OWNER OF THE LOT OR TRACT WHERE THE EASEMENT IS LOCATED HERETO.
4. A PERPETUAL, NON-EXCLUSIVE, SIGHT DISTANCE EASEMENT (SDE) UPON, OVER, AND ACROSS A PORTION OF THE PARCEL OF LAND SHOWN HEREON. THE PURPOSE IS TO PRESERVE THE PROPERTY AS A TRAFFIC SAFETY VISIBILITY AREA FREE OF ANY OBSTRUCTIONS TO THE VIEW OF PERSONS LOOKING ACROSS THE PROPERTY, WITHOUT LIMITATION, GRANTOR SHALL NOT ALLOW OR SUFFER TO EXIST UPON THE PROPERTY ANY BUILDINGS, WALLS, TREES, OBSTRUCTIONS, SCREENS, OR OTHER STRUCTURES OR THINGS EXCEEDING A HEIGHT DETERMINED BY THE GRANTEE ABOVE ORIGINAL NATURAL GRADE.
5. A PERPETUAL, NON-EXCLUSIVE, PUBLIC UTILITY EASEMENT (PUE) UPON, OVER, AND ACROSS THE AREAS OF LAND SHOWN HEREON. THE PURPOSE OF THE EASEMENT IS FOR ELECTRICITY, WATER, WASTEWATER, TELECOMMUNICATIONS, AND ALL OTHER VARIETY OF UTILITIES, AND FOR CONSTRUCTION, OPERATION, USE, MAINTENANCE, REPAIR, MODIFICATION, AND REPLACEMENT FROM TIME TO TIME.
6. A PERPETUAL, NON-EXCLUSIVE, EMERGENCY AND SERVICE-TYPE VEHICLE ACCESS EASEMENT (ESV) UPON, OVER, AND ACROSS THE PARCEL OF LAND SHOWN AS TRACT 'H' HEREON. THE PURPOSE OF THE EASEMENT IS FOR PROVIDING ACCESS FOR EMERGENCY AND SERVICE-TYPE VEHICLES, INCLUDING REFUSE COLLECTION VEHICLES.
7. A PERPETUAL, NON-EXCLUSIVE, VEHICLE NON-ACCESS EASEMENT (VNAE) UPON, OVER, AND ACROSS THE PARCEL OF LAND SHOWN HEREON. THE PURPOSE OF THE EASEMENT IS TO PROHIBIT VEHICULAR ACCESS.
8. A PERPETUAL, NON-EXCLUSIVE, PUBLIC NON-MOTORIZED ACCESS (PNMA) UPON, OVER, AND ACROSS A PORTION OF THE PARCEL OF LAND SHOWN HEREON. THE PURPOSE OF THE EASEMENT IS FOR ALL FORMS OF NON-MOTORIZED TRANSPORTATION TOGETHER WITH MOTORIZED CYCLOPS, LAW ENFORCEMENT, AND SERVICE VEHICLES, AND FOR CONSTRUCTION, OPERATION, USE, MAINTENANCE, REPAIR, MODIFICATION AND REPLACEMENT FROM TIME TO TIME OF IMPROVEMENTS RELATED THERETO. THE EASEMENT AREA SHALL BE MAINTAINED BY AN ASSOCIATION OF HOMEOWNERS.
9. A PERPETUAL, NON-EXCLUSIVE, WATER LINE EASEMENT (WLE) UPON, OVER, UNDER AND ACROSS THE PARCEL OF LAND SHOWN HEREON. THE PURPOSE OF THE EASEMENT IS FOR UNDERGROUND WATER PIPES, ABOVE GROUND APPURTENANCES AND FOR THE CONSTRUCTION, OPERATION, USE, MAINTENANCE, REPAIR, MODIFICATION AND REPLACEMENT FROM TIME TO TIME OF PIPES AND MANHOLES, VALVES, ACCESS VALVED FACILITIES RELATED THERETO.
10. A PERPETUAL, NON-EXCLUSIVE, SEWER LINE EASEMENT (SLE) UPON, OVER, UNDER AND ACROSS THE PARCEL OF LAND SHOWN HEREON. THE PURPOSE OF THE EASEMENT IS FOR UNDERGROUND SEWER PIPES AND WASTEWATER FACILITIES, AND FOR THE CONSTRUCTION, OPERATION, USE, MAINTENANCE, REPAIR, MODIFICATION AND REPLACEMENT FROM TIME TO TIME OF PIPES, MANHOLES, ACCESS VALVES AND OTHER IMPROVEMENTS RELATED THERETO.
11. PERPETUAL, NON-EXCLUSIVE, NATURAL AREA OPEN SPACE (NAOS) EASEMENTS AS SHOWN HEREON FOR THE PURPOSE OF PERMANENTLY PRESERVING SUCH LANDS IN ITS NATURAL DESERT STATE. THE H.A.O.S. EASEMENT SHALL NOT BE USED FOR ANY PURPOSE INCONSISTENT WITH THE PRESERVATION OF SAID LAND IN ITS NATURAL STATE AND/OR GRADING, GRUBBING, EXCAVATION OR CONSTRUCTION OF ANY STRUCTURE OR DEVELOPMENT OF ANY KIND SHALL BE PERMITTED ON OR WITHIN SAID EASEMENT EXCEPT AS ALLOWED UNDER THE CITY OF SCOTTSDALE ORDINANCES.
12. A PERPETUAL, NON-EXCLUSIVE, VISTA CORRIDOR EASEMENT (VCE) UPON, OVER, AND ACROSS THE PARCEL OF LAND SHOWN HEREON. THE PURPOSE OF THE EASEMENT IS TO PRESERVE THE PROPERTY AS A SCENIC VISTA CORRIDOR FREE OF ANY OBSTRUCTIONS TO THE VIEW OF PERSONS LOOKING ACROSS THE PROPERTY, WITHOUT LIMITATION, GRANTOR SHALL NOT ALLOW OR SUFFER TO EXIST UPON THE PROPERTY ANY BUILDINGS, WALLS, TREES, OBSTRUCTIONS, SCREENS, OR OTHER STRUCTURES OR THINGS EXCEEDING A HEIGHT DETERMINED BY THE GRANTEE ABOVE ORIGINAL GRADE.
13. A BOULDER EASEMENT (BDE) AS SHOWN HEREON, PERMANENTLY PRESERVING MAJOR ROCK OUTCROPS AND BOULDER FIELDS IN ITS NATURAL STATE. THE BOULDER EASEMENT SHALL NOT BE USED FOR ANY PURPOSE INCONSISTENT WITH THE PRESERVATION OF SAID FEATURES IN ITS NATURAL STATE AND/OR GRADING, GRUBBING, EXCAVATION OR CONSTRUCTION OF ANY STRUCTURE OR DEVELOPMENT OF ANY KIND SHALL BE PERMITTED ON OR WITHIN SAID EASEMENT EXCEPT AS ALLOWED UNDER THE CITY OF SCOTTSDALE ORDINANCES.

THE GRANTEE WARRANTS THAT THIS PLAT IS IN COMPLIANCE WITH CITY OF SCOTTSDALE'S FINAL PLAT ORDINANCE, AND THE DESIGN STANDARDS AND POLICY SPECIFICATIONS.

OWNER WARRANTS THAT THE CITY OF SCOTTSDALE THAT IT IS THE SOLE OWNER OF THE PROPERTY ON THIS PLAT, AND THAT EVERY LEASER, EASEMENT HOLDER OR OTHER PERSON HAVING ANY INTEREST IN THE PROPERTY ADVERSE TO OR INCONSISTENT WITH THE DEDICATIONS, COVENANCES OR OTHER PROPERTY INTERESTS CREATED OR TRANSFERRED BY THIS PLAT HAS CONSENTED TO OR JOINED IN THIS PLAT, AS EVIDENCED BY THE INSTRUMENTS WHICH ARE RECORDED IN THE MARICOPA COUNTY RECORDER'S OFFICE OR WHICH THE OWNER WILL RECORD NOT LATER THAN THE DATE ON WHICH THIS PLAT IS RECORDED.

THE PERSON EXECUTING THIS DOCUMENT ON BEHALF OF A CORPORATION, TRUST OR OTHER ORGANIZATION WARRANTS HIS OR HER AUTHORITY TO DO SO AND THAT ALL PERSONS NECESSARY TO BIND GRANTEE HAVE JOINED IN THIS DOCUMENT. THIS DOCUMENT RUNS IN FAVOR OF THE GRANTEE SUCCESSORS AND ASSIGNS.

IN WITNESS WHEREOF, C-A RIO VERDE INVESTORS, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY, AS OWNER HAS HERETO CAUSED ITS CORPORATE NAME TO BE SIGNED BY THE UNDERSIGNED OFFICER HEREBY DULY AUTHORIZED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2018.

C-A RIO VERDE INVESTORS, L.L.C. AN ARIZONA LIMITED LIABILITY COMPANY;

BY: \_\_\_\_\_

NOTARY PUBLIC: \_\_\_\_\_  
MY COMMISSION EXPIRES: \_\_\_\_\_

**ACKNOWLEDGMENT**

STATE OF ARIZONA )  
COUNTY OF MARICOPA ) SS  
THIS DOCUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2018  
BY: \_\_\_\_\_ FOR AND ON BEHALF OF \_\_\_\_\_

IN WITNESS WHEREOF, C-A TMT INVESTORS, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY, AS OWNER HAS HERETO CAUSED ITS CORPORATE NAME TO BE SIGNED BY THE UNDERSIGNED OFFICER HEREBY DULY AUTHORIZED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2018.

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ITS: \_\_\_\_\_

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C-A DESERT ESTATES, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY;

BY: \_\_\_\_\_  
ITS: \_\_\_\_\_

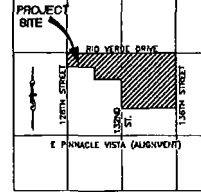
**ACKNOWLEDGMENT**

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COUNTY OF MARICOPA ) SS  
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BY: \_\_\_\_\_ FOR AND ON BEHALF OF \_\_\_\_\_

NOTARY PUBLIC: \_\_\_\_\_  
MY COMMISSION EXPIRES: \_\_\_\_\_

**SHEET INDEX**

- 1 COVER SHEET
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- 4-18 PLAT SHEETS
- 17-18 CURVE AND LINE TABLES
- 19 NATURAL AREA OPEN SPACE (NAOS) EASEMENT
- 20 NAOS CURVE AND LINE TABLES



**RATIFICATION**

COLUMBI SACHS BANK USA, A NATIONAL BANKING ASSOCIATION, AS BENEFICIARY UNDER THOSE CERTAIN DEEDS OF TRUST RECORDED IN THE COUNTY RECORDER'S OFFICE, MARICOPA COUNTY, ARIZONA, IN RECORDER NUMBERS 2018-028886, THE UNDERSIGNED HEREBY RATIFIES, APPROVES AND CONFIRMS THAT IT IS GIVEN TO SAID DEDICATIONS AS STATED IN THIS PLAT AS TO THE INTEREST OF THE UNDERSIGNED, THE PERSON SIGNING FOR BENEFICIARY WARRANTS AND REPRESENTS THEY HAVE POWER AND AUTHORITY TO DO SO.

BY: \_\_\_\_\_  
COLUMBI SACHS BANK USA, A NATIONAL BANKING ASSOCIATION

TITLE OR POSITION: \_\_\_\_\_ DATE: \_\_\_\_\_

**ACKNOWLEDGMENT**

STATE OF ARIZONA )  
COUNTY OF MARICOPA ) SS  
THIS DOCUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2018  
BY: \_\_\_\_\_ FOR AND ON BEHALF OF \_\_\_\_\_

NOTARY PUBLIC: \_\_\_\_\_  
MY COMMISSION EXPIRES: \_\_\_\_\_

**ABANDONMENT RESOLUTION**

IN ADDITION TO ALL OTHER DEDICATIONS MADE BY THIS PLAT, THIS PLAT INCLUDES DEDICATION AND RESOLUTION, AS APPLICABLE, OF ALL INTERESTS DESCRIBED IN CITY COUNCIL ABANDONMENT RESOLUTION NO. 10293. THIS PLAT INCLUDES PARCELS UPON WHICH THE CITY OF SCOTTSDALE CURRENTLY HOLDS EXISTING RIGHT-OF-WAY OR OTHER REAL PROPERTY INTERESTS. NO DEEDS, LIENS OR OTHER COVENANCES OF ANY PROPERTY COVERED BY THIS PLAT SHALL OCCUR UNTIL THE RESOLUTION IS RECORDED ABANDONING SUCH INTERESTS AS ARE DESCRIBED IN SAID RESOLUTION.

**LAND SURVEYOR'S CERTIFICATION**

- THIS IS TO CERTIFY THAT:
1. I AM A LAND SURVEYOR REGISTERED TO PRACTICE IN ARIZONA;
  2. THIS PLAT WAS MADE UNDER MY DIRECTION;
  3. THIS PLAT MEETS THE "PINPOINT" STANDARDS FOR ARIZONA LAND BOUNDARY SURVEYS;
  4. THE SURVEY AND POSITION OF THE SUBJECT PROPERTY DESCRIBED AND PLATTED HEREON WERE MADE DURING THE MONTH OF DECEMBER, 2014;
  5. THE SURVEY IS TRUE AND COMPLETE AS SHOWN;
  6. MONUMENTS SHOWN ACTUALLY EXIST OR WILL BE SET BEFORE RECORDEATION;
  7. THEIR POSITIONS ARE CORRECTLY SHOWN; AND
  8. SAID MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

NAME: RICHARD D. LABOR  
REGISTERED LAND SURVEYOR # 19857.

**APPROVAL**

APPROVED BY THE COUNCIL OF THE CITY OF SCOTTSDALE, ARIZONA THIS THE \_\_\_\_\_ DAY

OF \_\_\_\_\_, 2018.  
BY: \_\_\_\_\_

CITY CLERK

THIS PLAT HAS BEEN REVIEWED FOR COMPLIANCE WITH THE CITY OF SCOTTSDALE'S DESIGN STANDARDS AND POLICY MANUAL SPECIFICATIONS.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
CHIEF DEVELOPMENT OFFICER

THIS SUBMISSION HAS BEEN REVIEWED FOR COMPLIANCE WITH THE DEVELOPMENT STANDARDS OF THE CITY OF SCOTTSDALE'S DEVELOPMENT REVIEW BOARD (DRB) CASE NO. 1-WP-2013 AND 2-PP-2014, AND ALL CASE RELATED SIMILATIONS.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
PLAT COORDINATOR

1721 N. WISSE CANYON LANE  
DATE: \_\_\_\_\_  
PHONEX: 480-941-8827  
PHONE: 602-443-3003



EXPIRES 9-30-18

**FINAL PLAT  
REATA RANCH**  
A REPLAT OF "DESERT ESTATES AT PINNACLE PEAK" AND "RIO VERDE ESTATES" LOCATED IN A PORTION OF THE NORTH HALF OF SECTION 38, TOWNSHIP 5 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

Job no. 1-30  
design ST  
approved RT  
date 2-24-18

sheet  
1 of 20

REATA RANCH 5843-14-1 O.S. # 50-59, 50-60, PP 2-PP-2014, ZONING# 15-ZN201, MASTER PLAN# 1-MP-2013

TRACT	PURPOSE	AREA
TRACT A	PRIVATE ACCESSWAY, WATER, SEWER DRAINAGE & EMERGENCY ACCESS EASEMENTS	46.003 ACRES
TRACT B	N.A.O.S., DE, PHVAE, VCE, SCE & OPEN SPACE	18,818 ACRES
TRACT C	N.A.O.S. & OPEN SPACE	9.381 ACRES
TRACT D	N.A.O.S., DE, PHVAE, VCE, SCE & OPEN SPACE	18,858 ACRES
TRACT E	OPEN SPACE	2.055 ACRES
TRACT F	N.A.O.S., DE, PHVAE, VCE, SCE & OPEN SPACE	17.005 ACRES
TRACT G	OPEN SPACE	1.035 ACRES
TRACT H	N.A.O.S., DE, PHVAE, VCE, SCE & OPEN SPACE	42,884 ACRES
TRACT I	OPEN SPACE	1,747 ACRES
TRACT J	OPEN SPACE	0.023 ACRES

**BASIS OF BEARING**

THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 5 EAST OF THE C&S R.B. & M., MARICOPA COUNTY, ARIZONA, AS SHOWN ON THE FINAL PLAN OF DESERT ESTATES AT PINNACLE PEAK, ACCORDING TO BOOK 960 OF MAPS, PAGE 22, RECORDS OF MARICOPA COUNTY, ARIZONA. BASIS OF BEARING BEING, N 89°50'25" E.

**PERIMETER BUFFER**

THE PERIMETER BUFFER AS SHOWN HEREON IS FOR THE PURPOSE OF RESTRICTING CONSTRUCTION OF ANY BUILDING STRUCTURES WITHIN THE BUFFER AS SHOWN HEREON.

**COVENANT**

THIS PLAN IS SUBJECT TO THE REATA RANCH GUEST RANCH COVENANT MADE IN FAVOR OF THE CITY OF SCOTTSDALE, AN ARIZONA MUNICIPAL CORPORATION AND RECORDED ON \_\_\_\_\_ UNDER \_\_\_\_\_ RECORDS OF MARICOPA COUNTY, ARIZONA.

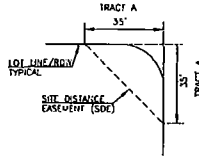
**PARENT PARCEL LEGAL DESCRIPTIONS**

THOSE PORTIONS OF THE NORTH HALF OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

TOGETHER WITH: LOTS 1 THROUGH 73, INCLUSIVE, TRACTS A THROUGH C OF DESERT ESTATES AT PINNACLE PEAK, ACCORDING TO THE FINAL PLAN RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 960 OF MAPS, PAGE 22 AND AFFIDAVIT OF CORRECTION RECORDED AS 2008-046561 OF OFFICIAL RECORDS.

TOGETHER WITH: LOTS 1 THROUGH 24, INCLUSIVE AND TRACT A, RIO VERDE ESTATES, ACCORDING TO BOOK 870 OF MAPS, PAGE 38, RECORDS OF MARICOPA COUNTY, ARIZONA.



**RIGHT DISTANCE EASEMENT DETAIL**  
N.T.S.

**EASEMENT RELEASE LIST**

EASEMENTS RELEASED FROM FINAL PLAN OF DESERT ESTATES AT PINNACLE PEAK, BOOK 960, PAGE 22, MCR, AS FOLLOWS:  
 DRAINAGE EASEMENTS: DKT. 2014-0754287, MCR.  
 N.A.O.S. AND VISTA CORRIDOR EASEMENTS: DKT. 2014-0754284, MCR.  
 PUBLIC UTILITY EASEMENT, SIGHT DISTANCE, PUBLIC ACCESS, VEHICULAR NON ACCESS, EMERGENCY SERVICES VEHICLE ACCESS AND WATER LINE EASEMENTS: DKT. 2014-0754285, MCR.  
 BOULDER EASEMENTS: DKT. 2014-0754286, MCR.  
 PRIVATE ACCESS EASEMENTS: DKT. 2014-0754288, MCR.

EASEMENTS RELEASED FROM THE FINAL PLAN OF RIO VERDE ESTATES, BOOK 870, PAGE 38, MCR, AS FOLLOWS:  
 DRAINAGE EASEMENTS: DKT. 2014-0754284, MCR.  
 PUBLIC TRAIL EASEMENTS: DKT. 2014-0754283, MCR.  
 WALL AND S'CH EASEMENTS: DKT. 2014-07543302, MCR.  
 NATURAL AREA OPEN SPACE, SCENIC CORRIDOR AND VISTA CORRIDOR EASEMENTS: DKT. 2014-0754281, MCR.  
 PUBLIC UTILITY, SIGHT DISTANCE, VEHICULAR NON ACCESS, PUBLIC ACCESS AND WATER LINE EASEMENTS: DKT. 2014-0754282, MCR.  
 PRIVATE DRAINAGE EASEMENTS: DKT. 2014-0700233, MCR.

**RIGHT OF WAY AND HIGHWAY/ROADWAY ABANDONMENT LIST**

PARTIAL ABANDONMENT OF ROADWAY EASEMENT OF RIO VERDE ROAD; DKT. \_\_\_\_\_ MCR.  
 PARTIAL ABANDONMENT OF RIGHT OF WAY OF THE EAST SIDE OF 132ND STREET; DKT. \_\_\_\_\_ MCR.  
 PARTIAL ABANDONMENT OF RIGHT OF WAY OF THE WEST SIDE OF 132ND STREET; DKT. \_\_\_\_\_ MCR.  
 PARTIAL ABANDONMENT OF RIGHT OF WAY OF 136TH STREET; DKT. \_\_\_\_\_ MCR.

**LEGEND**

- BOUNDARY LINE
- LOT LINE
- MONUMENT OR CENTER LINE
- EASEMENT LINE (AS NOTED)
- DRAINAGE EASEMENT LINE
- VEHICULAR NON ACCESS EASEMENT LINE
- SCENIC CORRIDOR EASEMENT LINE
- 30 LOT NUMBER
- TRACT A TRACT DESIGNATION
- 1/2" REBAR W/CAP 19857 SET
- REBAR W/CAP AS NOTED
- ⊙ BRASS CAP FOUND AS NOTED AND OR SET
- PUC PUBLIC UTILITY EASEMENT
- PHVAE VEHICULAR NON ACCESS EASEMENT
- DF DRAINAGE EASEMENT
- SDE SIGHT DISTANCE EASEMENT
- SCE SCENIC CORRIDOR EASEMENT
- BLDR.E. BOULDER EASEMENT
- D/W E. DRIVEWAY EASEMENT
- VCE VISTA CORRIDOR EASEMENT
- N.A.O.S. NATURAL AREA OF OPEN SPACE
- PHVAE PUBLIC NON MOTORIZED ACCESS EASEMENT
- SLE SEWER LINE EASEMENT
- WLE WATER LINE EASEMENT
- ESMT EASEMENT
- MCR MARICOPA COUNTY RECORDER
- ROW RIGHT OF WAY
- N.A.P. NOT A PART OF THIS PLAN

**SITE SUMMARY TABLE**

CROSS ACREAGE	270.07 ACRE
NET ACREAGE	209.74 ACRE
ZONING	R-4R ESK
RESIDENTIAL UNITS	328

**ADDITIONAL MONUMENTATION NOTE**

- ALL CENTERLINE STREET BRASS CAP MONUMENTS SHALL BE PLACED AS SOON AS COMPLETION OF THE INFRASTRUCTURE AND IMPROVEMENT MAKE IT PRACTICAL TO DO SO.
- ALL MONUMENTS SET SHALL BE UNDER THE DIRECT SUPERVISION OF THE SURVEYOR OF RECORD. IF FOR ANY REASON THE SURVEYOR OF RECORD IS NOT AVAILABLE TO SUPERVISE THE SETTING OF THE INTERIOR CORNER MONUMENTS, OR THE STREET BRASS CAP MONUMENTS, THE REPLACEMENT SURVEYOR SHALL SET MONUMENTS WITH HIS/HER IDENTIFYING NUMBER AND RECORD A RECORD OF SURVEY PLAN SHALL BE RECORDED IN ACCORDANCE WITH THE STATE STATUTES.
- ALL PERIMETER SUBDIVISION MONUMENTS HAVE BEEN SET WITH 1/2" REBAR AND AFFIXED WITH PLASTIC CAP "RLS #19857, UNLESS OTHERWISE NOTED.

**NOTES:**

- THIS SUBMISSION IS LOCATED WITHIN THE CITY OF SCOTTSDALE WATER SERVICE AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.
- REATA RANCH HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE, LANDSCAPE AND PAINTING OF THE LEFT SIDEWALK'S EXTERIOR WALLS.
- AFFIDAVITS OF CORRECTION OR AMENDMENT TYPE LETTERS CONCERNING THIS PLAN ARE NOT VALID. THERE WILL BE NO REVISIONS TO THIS PLAN WITHOUT THE PLAN COORDINATORS APPROVAL.
- PERIMETER BUFFER SETBACK, PER ZONING CASE 15-242011, THERE SHALL BE A MINIMUM OF A 60 FOOT WIDE BUFFERED SETBACK ALONG THE SOUTH AND PORTIONS OF THE WEST PROPERTY LINES ADJACENT TO THE LESS INTENSE EXISTING SINGLE-FAMILY RESIDENTIAL DISTRICTS TO THE SOUTH AND WEST. A 40 FOOT WIDE PERIMETER BUFFER ALONG THE WEST PROPERTY LINE ON N. 128TH STREET. A 50 FOOT WIDE PERIMETER BUFFER ALONG THE EAST PROPERTY LINE ALONG N. 136TH STREET.

1721 N. ROSE CANYON LANE  
 SUITE 4  
 PHOENIX, ARIZONA 85027  
 PHONE 602-443-3000  
 PHONE 602-443-3003



EXPIRES 9-30-18

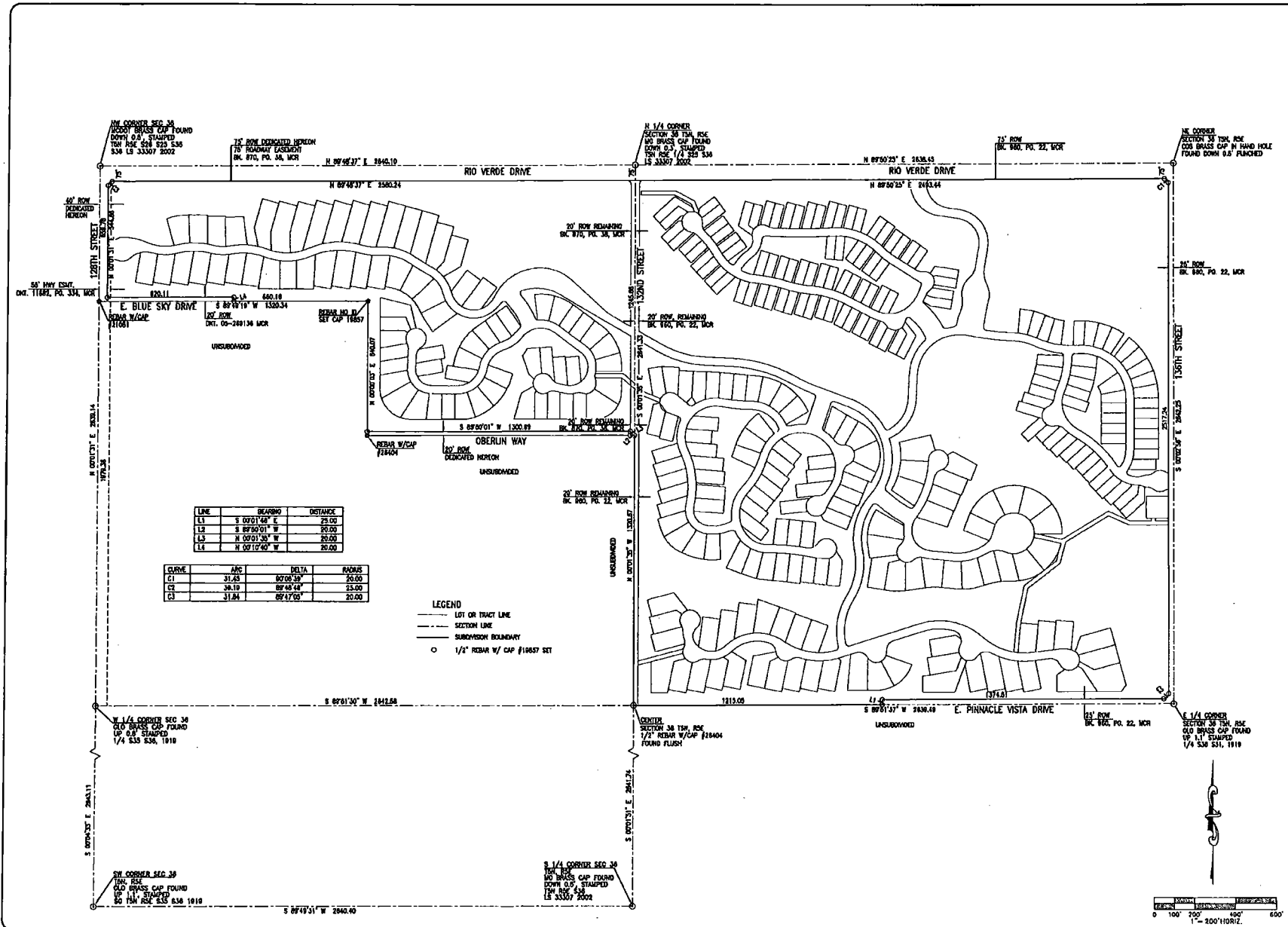
**FINAL PLAN**  
**REATA RANCH**  
 A REBAR CAP MONUMENT AND TWO VERDE ESTATES LOCATED IN A PORTION OF THE NORTH HALF OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

Job no. 1-36  
 design RM  
 approved GH  
 date 2-24-18

sheet  
 2 of 20

5843-14-1 O.S. # 50-59, 50-60, PP. 2-PP-2014, ZONING# 15-242011, MASTER PLAN# MFP-2013 REATA RANCH





LINE	BEARING	DISTANCE
L1	S 09°01'34" E	75.00
L2	S 89°50'01" W	20.00
L3	N 09°01'34" W	20.00
L4	N 09°01'34" W	20.00

CURVE	ARC	DELTA	RADIUS
C1	31.45	80°08'39"	20.00
C2	38.18	89°04'48"	23.00
C3	31.84	89°17'00"	20.00

- LEGEND**
- LOT OR TRACT LINE
  - - - SECTION LINE
  - - - SUBDIVISION BOUNDARY
  - 1/2" REBAR W/ CAP #19857 SET

1771 N. REESE CANYON LAKE  
 SUITE 4  
 PHOENIX, ARIZONA 85027  
 PHONE: 623-445-7003



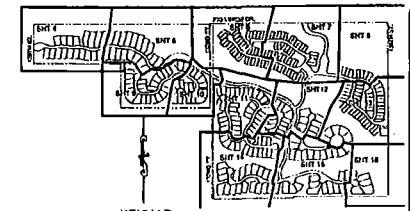
**FINAL PLAT**  
**REATA RANCH**  
 A REBAR CAP LOCATED AT THE N1/4 CORNER OF SECTION 38 T8N, R5E ESTABLISHES THE LOCATION OF THE NORTH HALF OF SECTION 38, TOWNSHIP 8 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

job no. 1-30  
 design SM  
 approved RT  
 date 2-24-16

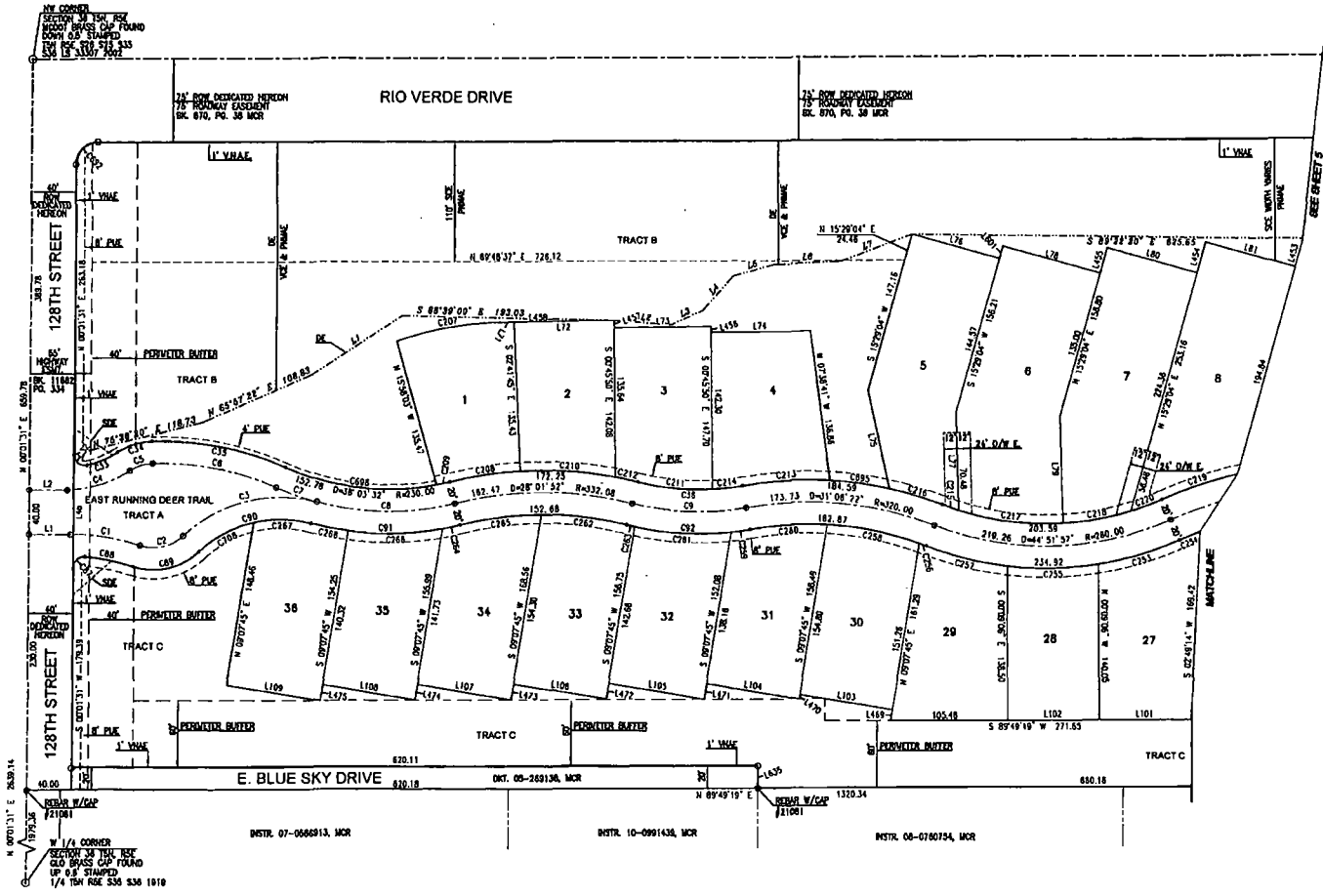
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O.S. # 50-59, 50-60, PP NO. 2-PP-2014, ZONING# 15-ZN2011, MASTER PLAN# 1-MP-2013

REATA RANCH



KEYMAP  
N.T.S.



N 1/4 CORNER  
SECTION 36 T19N R30E  
R10000 SURVEY CAP FOUND  
DOWN 0.5' STAMPED  
UP 0.5' STAMPED  
1/4 T19N R30E S36 S36 1910

N 1/4 CORNER  
SECTION 36 T19N R30E  
R10000 SURVEY CAP FOUND  
DOWN 0.5' STAMPED  
UP 0.5' STAMPED  
1/4 T19N R30E S36 S36 1910

1721 W. ROSE GARDEN LANE  
SUITE 4  
PHOENIX, ARIZONA 85027  
PHONE: 602-445-2003



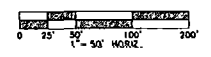
EXPIRES 8-30-16

**FINAL PLAN**  
**REATA RANCH**

A REPLAT OF "DESERT ESTATES AT PINACLE PEAK" AND "RIO VERDE ESTATES", LOCATED IN A PORTION OF THE NORTH HALF OF SECTION 36, TOWNSHIP 19 NORTH, RANGE 30 EAST OF THE GILA AND SALT RIVER BASE AND MESAVERA, MARICOPA COUNTY, ARIZONA.

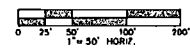
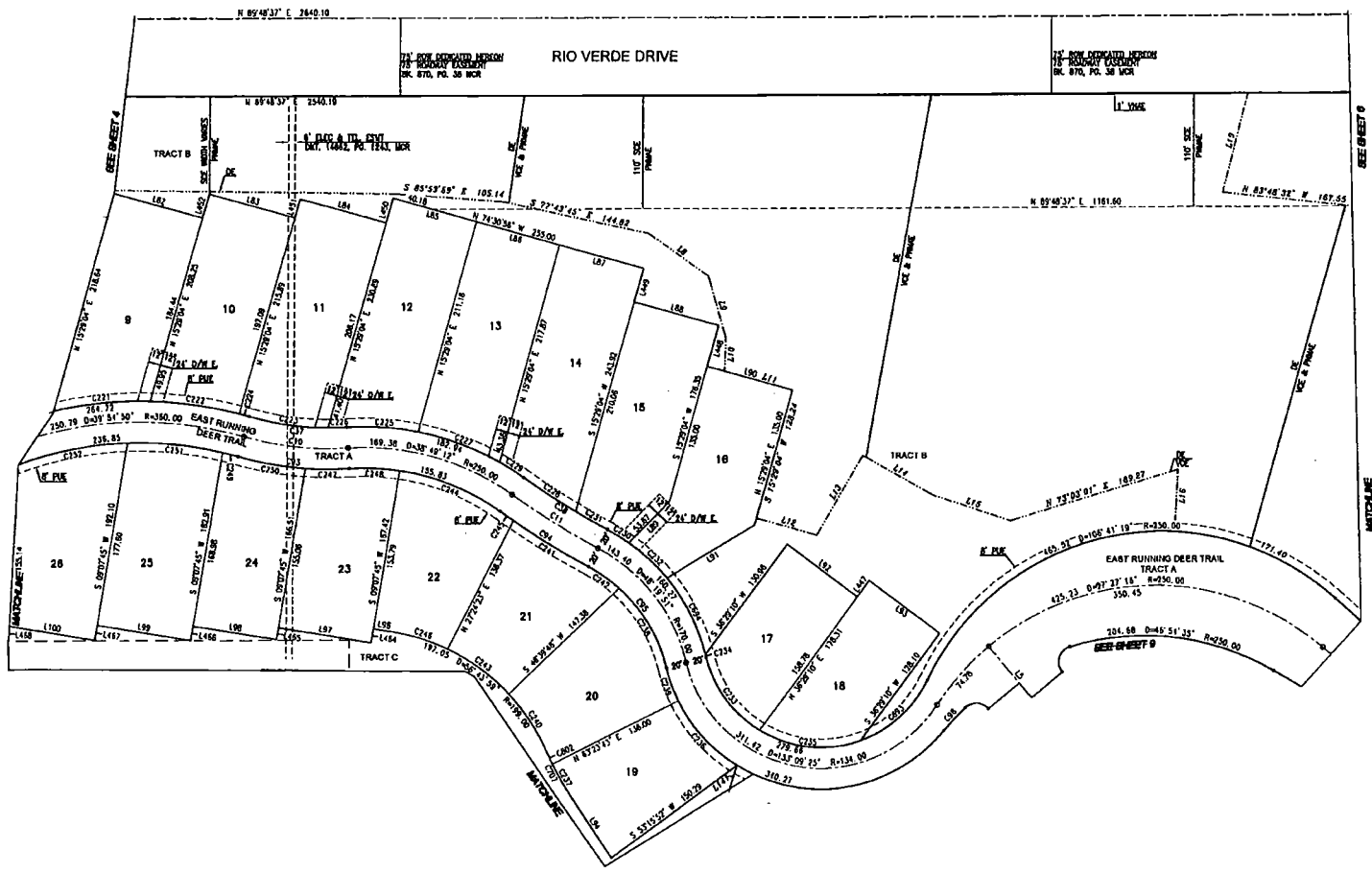
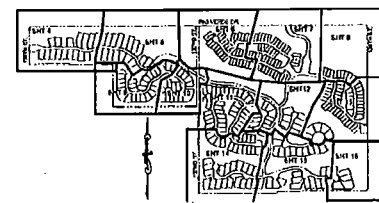
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design SW  
approved RT  
date 2-24-18

sheet  
4 of 20



REATA RANCH

5843-14-1 O.S. # 50-59, 50-60, PP 2-PP-2014, ZONING# 15-ZN2011, MASTER PLAN# 1-MP-2013



1721 N. ROSE CANYON LAKE  
SUITE #  
PHOENIX, ARIZONA 85027  
PHONE 602-442-3003

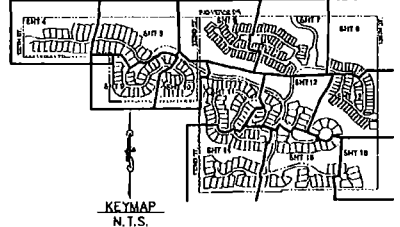
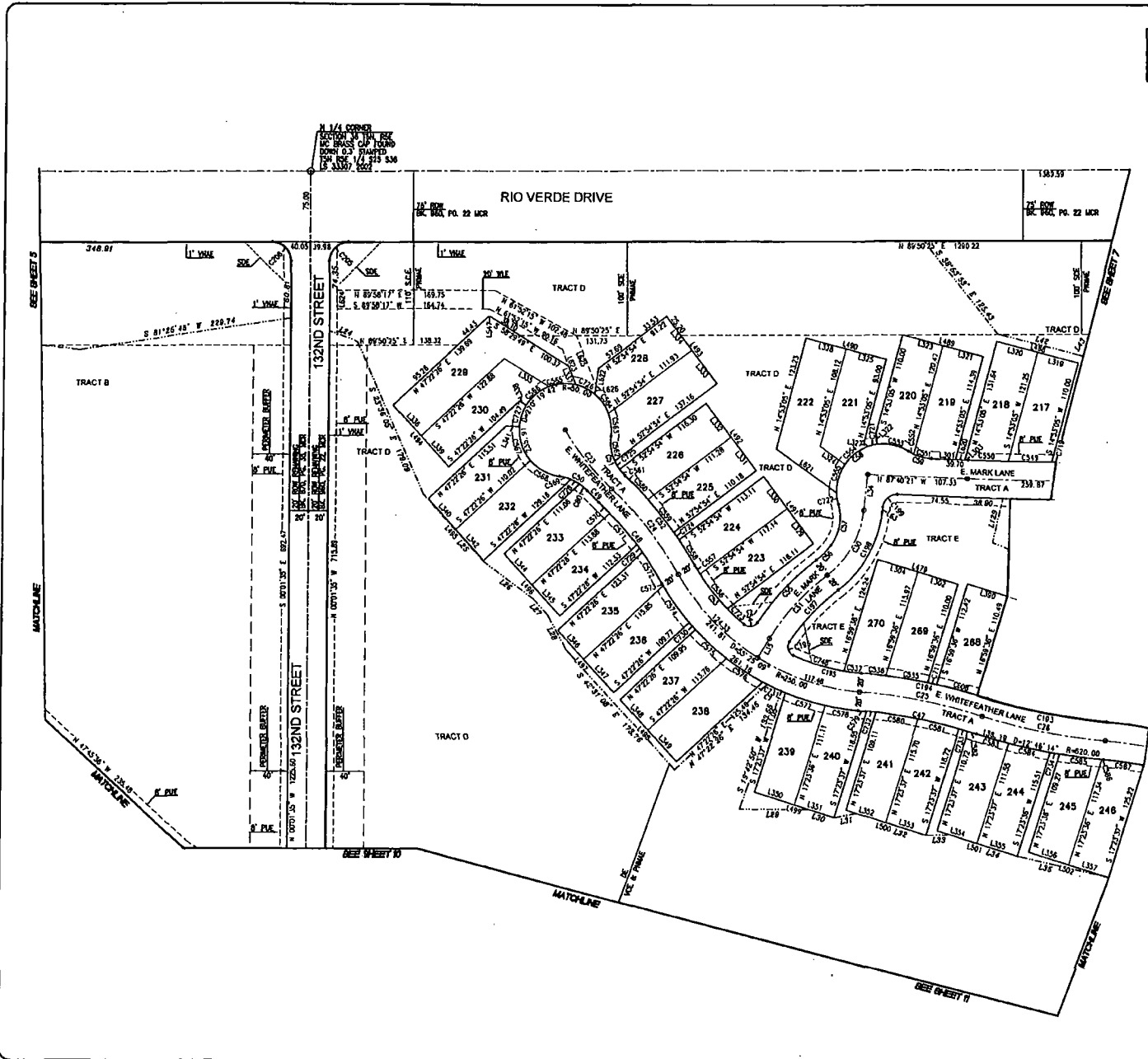


**FINAL PLAT**  
**REATA RANCH**  
A REPLAT OF THE REATA RANCH AND TWO UNDEVELOPED TRACTS, LOCATED IN A PORTION OF THE NORTH HALF OF SECTION 36, TOWNSHIP 8 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERRIDIAN, MARICOPA COUNTY, SCOTTSDALE, ARIZONA

Job no. 1-30  
designed by  
approved by  
date 2-24-16

sheet  
5 of 20

5843-14-1 O.S. # 50-59, 50-60, FP 2-PP-2014, ZONING# 15-2N201, MASTER PLAN# 1-MP-2013 REATA RANCH



1721 N. ROSE CARMEN LANE  
SUITE 4  
PHOENIX, ARIZONA 85027  
PHONE: 832-443-2003

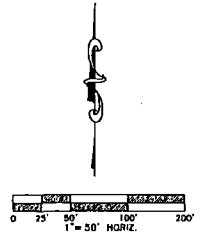


EXPIRES 8-30-18

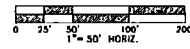
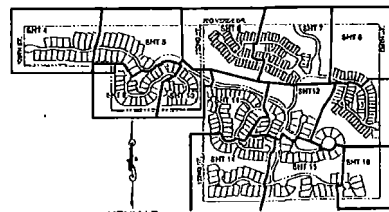
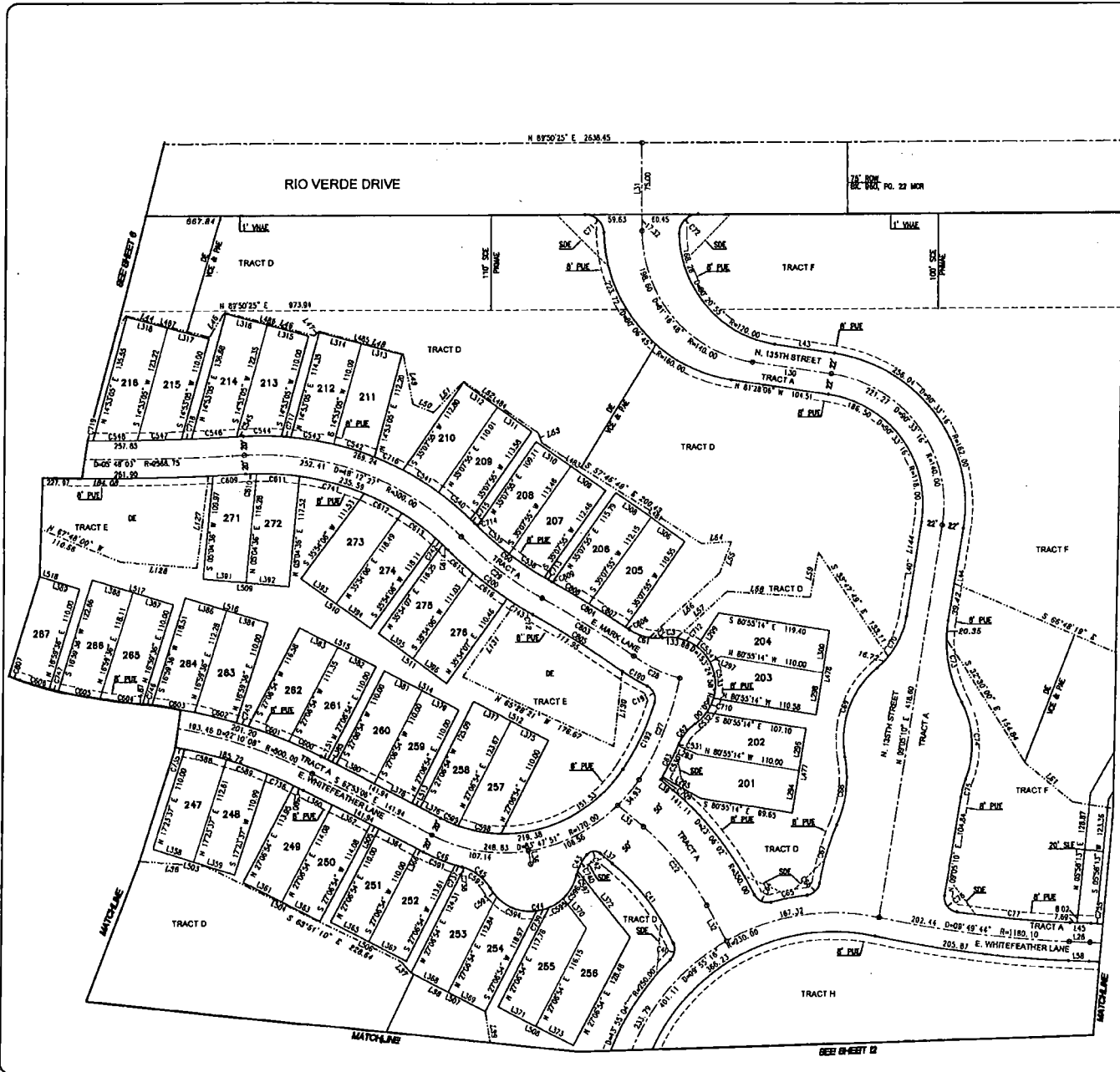
**FINAL PLAT**  
**REATA RANCH**  
A REPLAT OF "DESERT ESTATES AT PINNACLE PEAK" AND "RIO VERDE  
ESTATES AT PINNACLE PEAK" SUBDIVISIONS, PHOENIX, ARIZONA,  
TOWNSHIP 5 NORTH, RANGE 8 EAST OF THE GIL AND SALT RIVER BASIN  
AND MERIDIAN, MARICOPA COUNTY, SCOTTSDALE, ARIZONA.

Job no. 1-30  
design SM  
approved RT  
date 2-24-16

sheet  
8 of 20



5843-14-1 O.S. # 50-59, 50-60, PP 2-PP-2014, ZONING# 15-ZN2011, MASTER PLAN# 1-MP-2013 REATA RANCH



1721 N. ROSE GARDEN LANE  
SUITE 4  
PHOENIX, ARIZONA 85027  
PHONE: 623-443-2033



EXPIRES 9-30-18

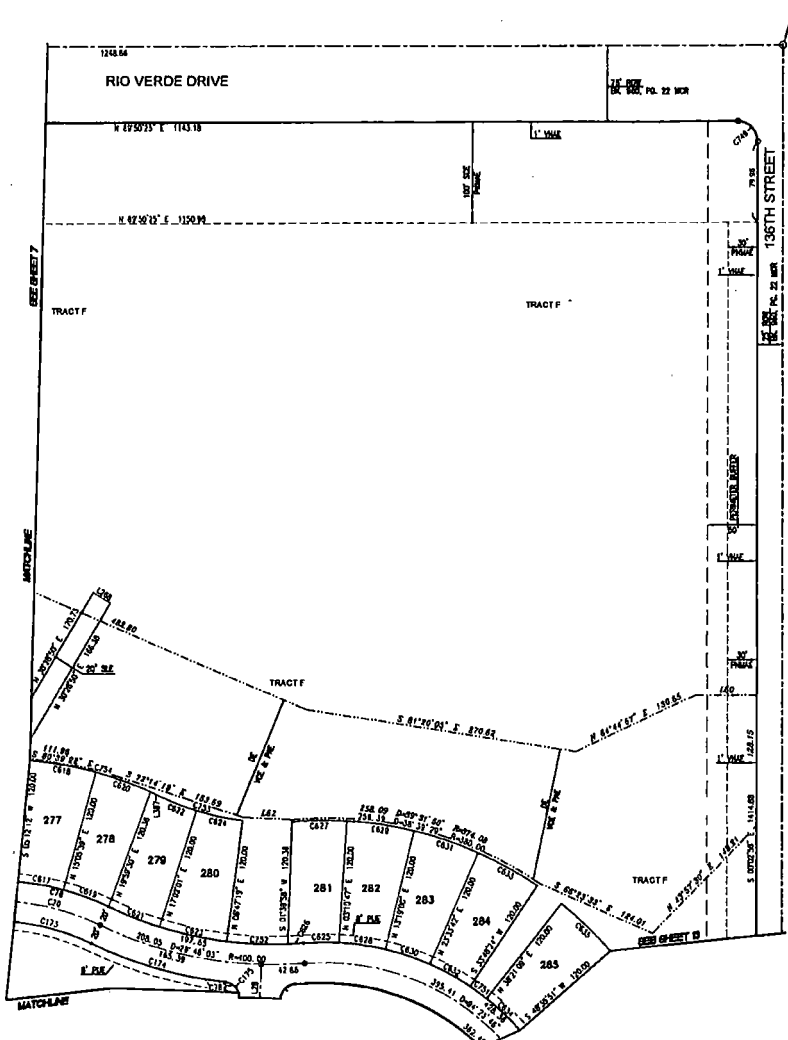
**FINAL PLAN**  
**REATA RANCH**  
A REPLAT OF "DESERT ESTATES AT PINNACLE PEAK" AND "RIO VERDE ESTATES", LOCATED IN A PORTION OF THE NORTH HALF OF SECTION 36, TOWNSHIP 14N, RANGE 18E, COUNTY OF MARICOPA AND MERRILL, MARICOPA COUNTY, SCOTTSDALE, ARIZONA.

job no. 1-30  
design 6M  
approved RT  
date 2-24-18

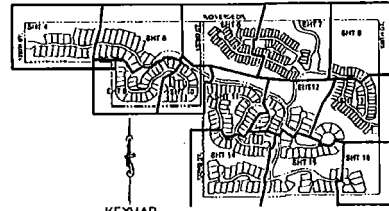
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REATA RANCH

5849-14-1 O.S. # 50-59, 50-60, PP 2-PP-2014, ZONING# 15-ZN2011, MASTER PLAN# 1-MP-2013



THE CORNER SECTION 28 T16N R02E T09S BRICK CAP W/ HAND HOLE FOUND DOWN G.L. PLANNED



KEYMAP  
N.T.S.

1721 W. ROSE GARDEN LANE  
SUITE 4  
PHOENIX, ARIZONA 85027  
PHONE: 623-443-2003



EXPIRES 9-30-18

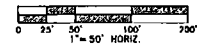
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**REATA RANCH**

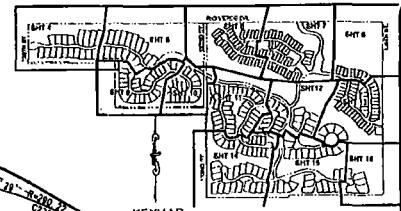
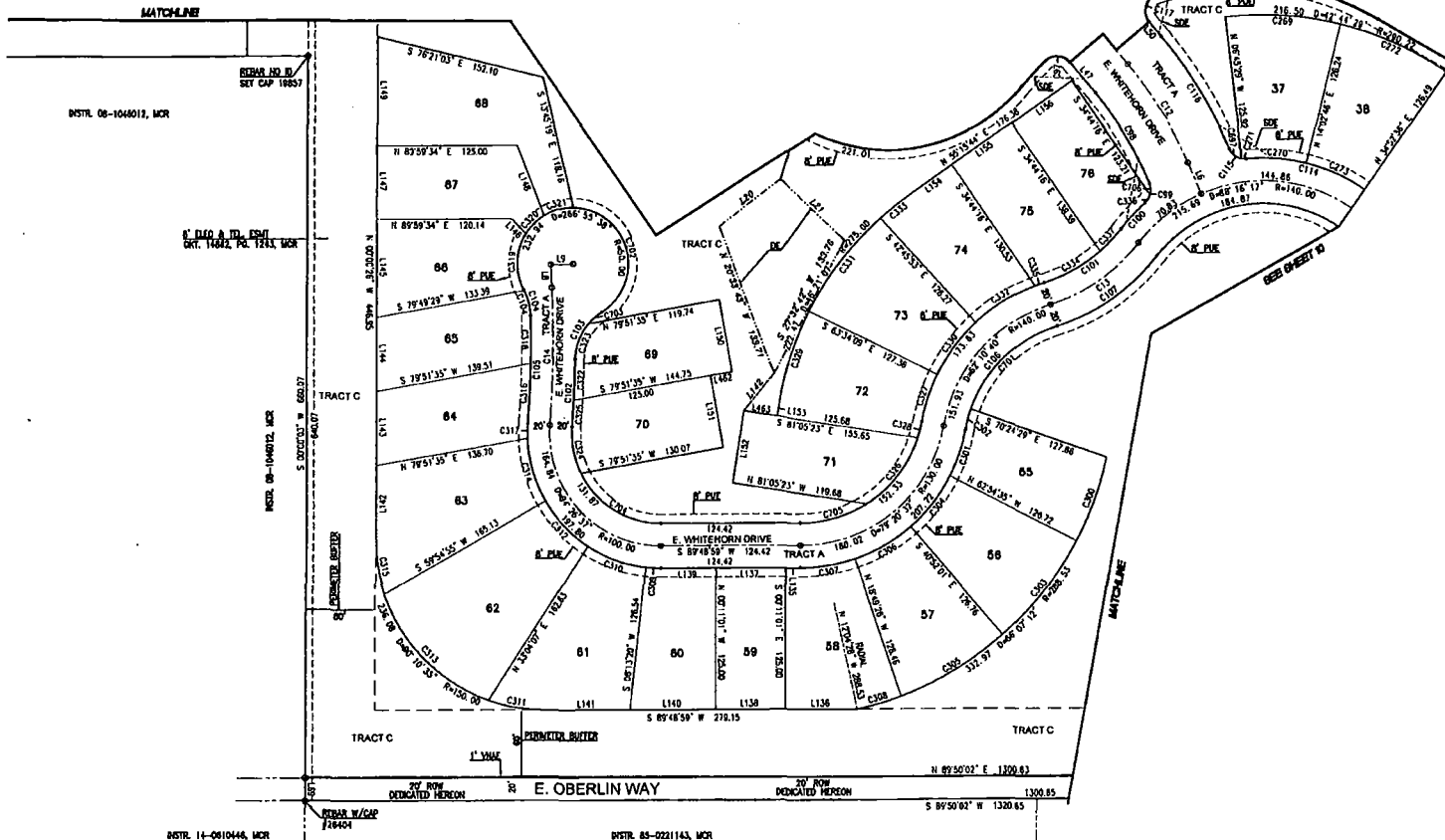
A REPLAT OF "DESERT ESTATES AT PINNACLE PEAK" AND "RIO VERDE ESTATES", LOCATED IN A PORTION OF THE NORTH HALF OF SECTION 28, TOWNSHIP 8 NORTH, RANGE 2 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, SONORA, ARIZONA.

job no. 1-30  
design SM  
approved RT  
date 2-24-16

sheet

8 of 20





1720 W. ROSE CANYON LANE  
SUITE 4  
PHOENIX, ARIZONA 85027  
PHONE: 602-445-2003



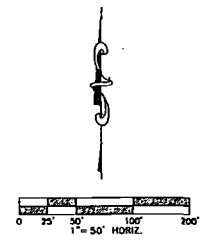
EXPIRES 8-30-18

**FINAL PLAT**  
**REATA RANCH**  
A REPLAT OF "DESERT ESTATES AT PINNACLE PEAK" AND "TWO VERDE ESTATES", LOCATED IN A PORTION OF THE NORTH HALF OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND BENDON, MARICOPA COUNTY, SCOTTSDALE, ARIZONA.

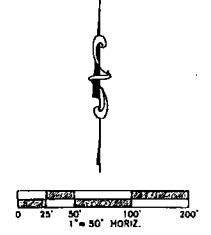
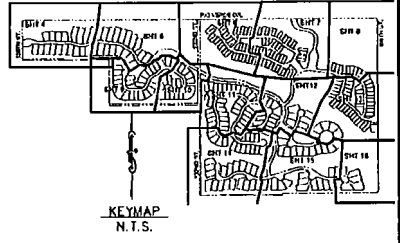
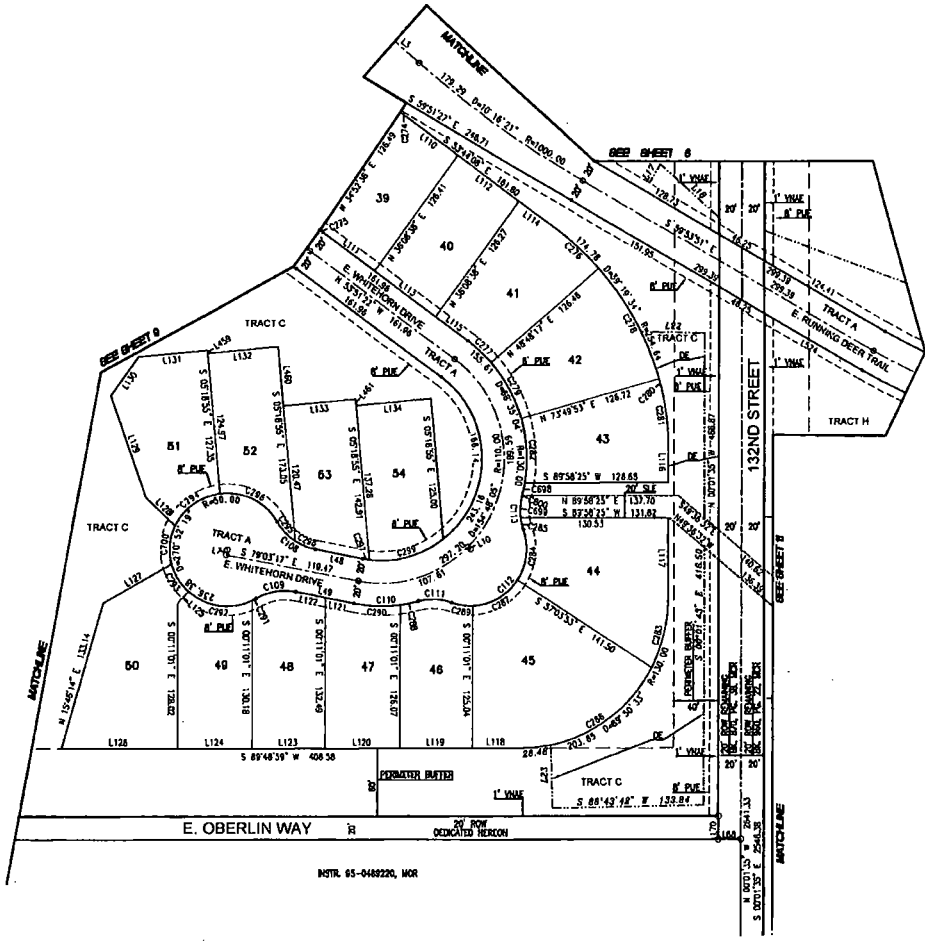
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approved RT  
date 2-24-16

sheet

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5843-14-1 O.S. # 50-59, 50-60, PP 2-PP-2014, ZONING# 15-ZN2011, MASTER PLAN# 1-MP-2013 REATA RANCH



1721 N. ROSE GARDEN LANE  
SUITE 4  
PHOENIX, ARIZONA 85027  
PHONE: 623-445-2003

**RSTeam**  
Land Surveys

EXPRES 9-30-18

**FINAL PLAT**  
**REATA RANCH**  
A REPLAT OF "DESERT ESTATES AT PINNACLE PEAK" AND "TRIO VERDE ESTATES", LOCATED IN A PORTION OF THE NORTH HALF OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERRIDIAN, MARICOPA COUNTY, COCHISE COUNTY, ARIZONA.

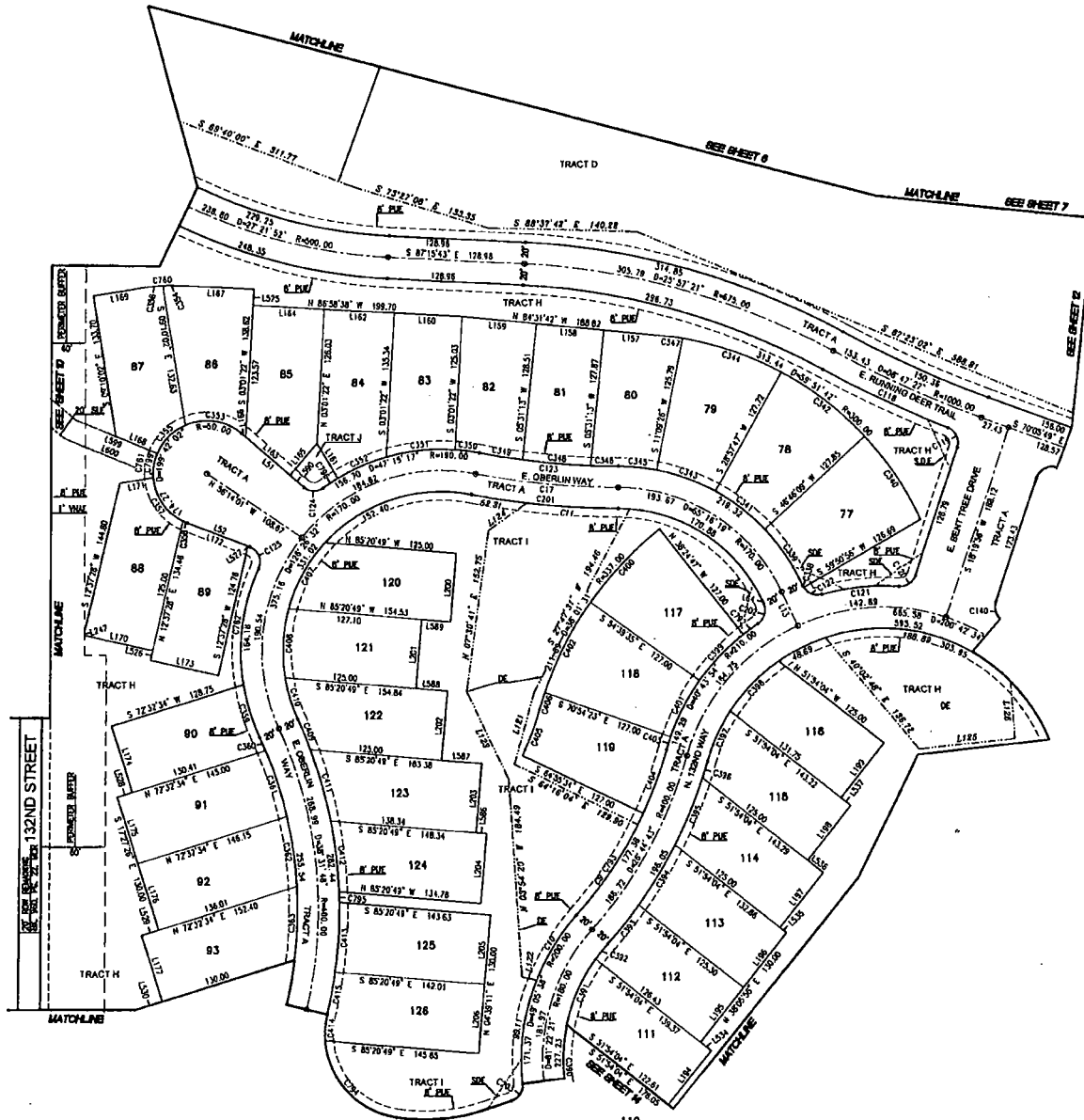
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approved RT  
date 2-24-18

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10 of 20

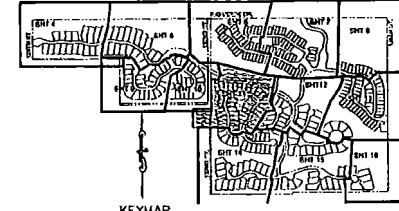
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REATA RANCH

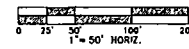




110



KEYMAP  
N.T.S.



172 N. ROSE GARDEN LANE  
SUITE 4  
PHOENIX, ARIZONA 85027  
PHONE: 602-445-3003



EXPIRES 9-30-16

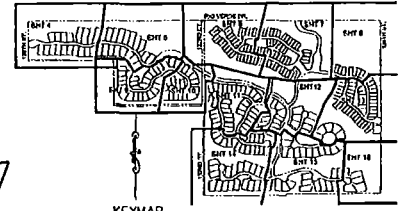
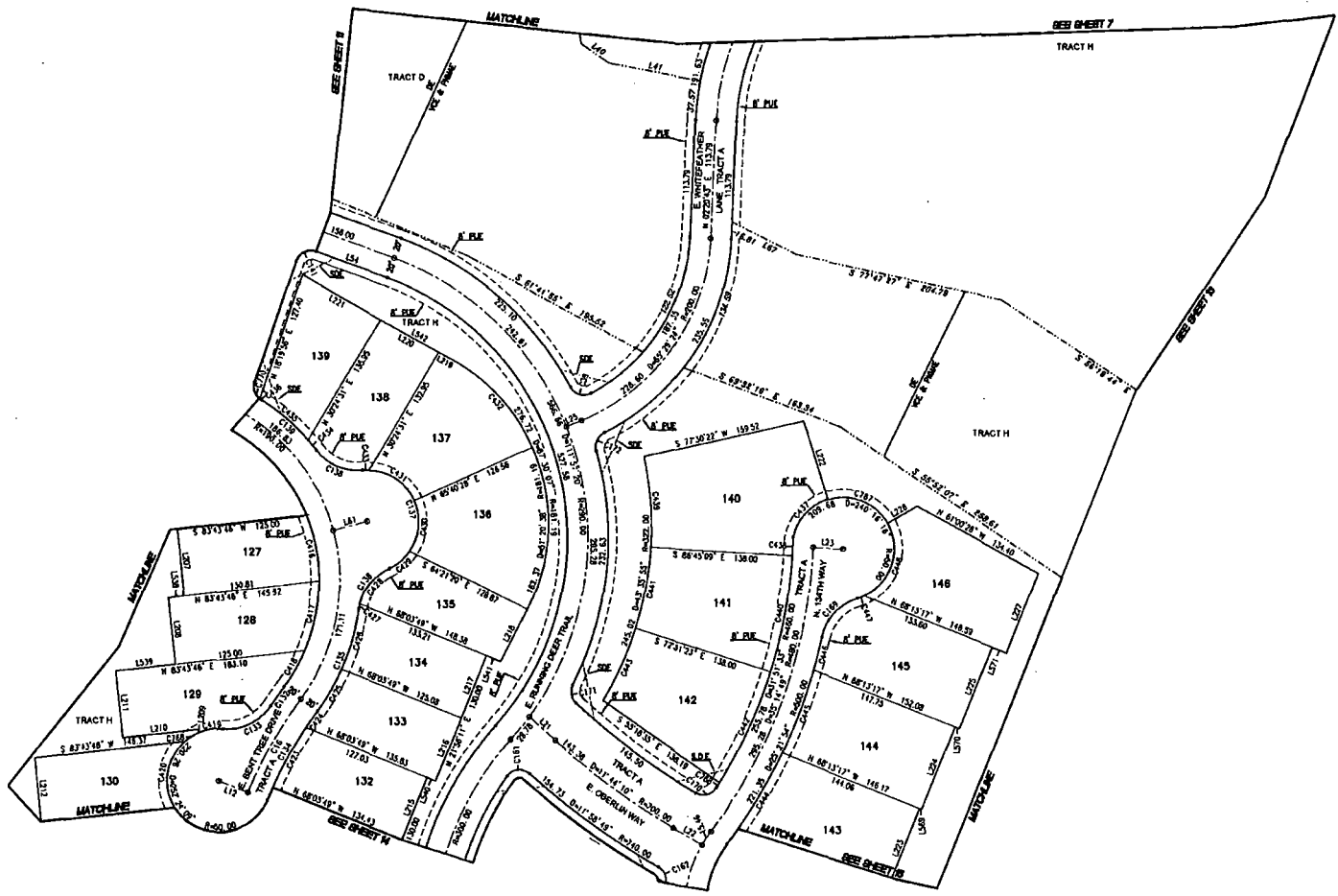
**FINAL PLAT**  
**REATA RANCH**  
A REPLAT OF "DESERT ESTATES AT PINNACLE PEAK" AND "RO VERDE ESTATES", LOCATED IN A PORTION OF THE NORTH HALF OF SECTION 28, TOWNSHIP 3 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY COUNTY, SCOTTSDALE, ARIZONA.

Job no. 1-30  
design SM  
approved RT  
date 2-24-16

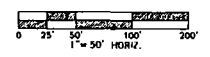
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11 of 20

5843-14-1 O.S. # 50-59, 50-60, PP 2-PP-2014, ZONING# 15-2N2011, MASTER PLAN# 1-MP-2013 REATA RANCH



KEYMAP  
N.T.S.



1721 W. ROSE GARDEN LANE  
SITE 4  
PHOENIX, ARIZONA 85027  
PHONE 623-443-2003



EXPIRES 9-30-18

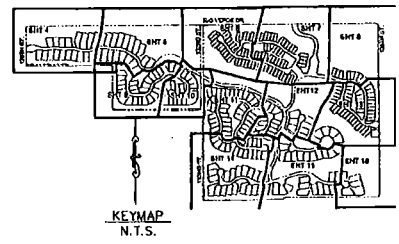
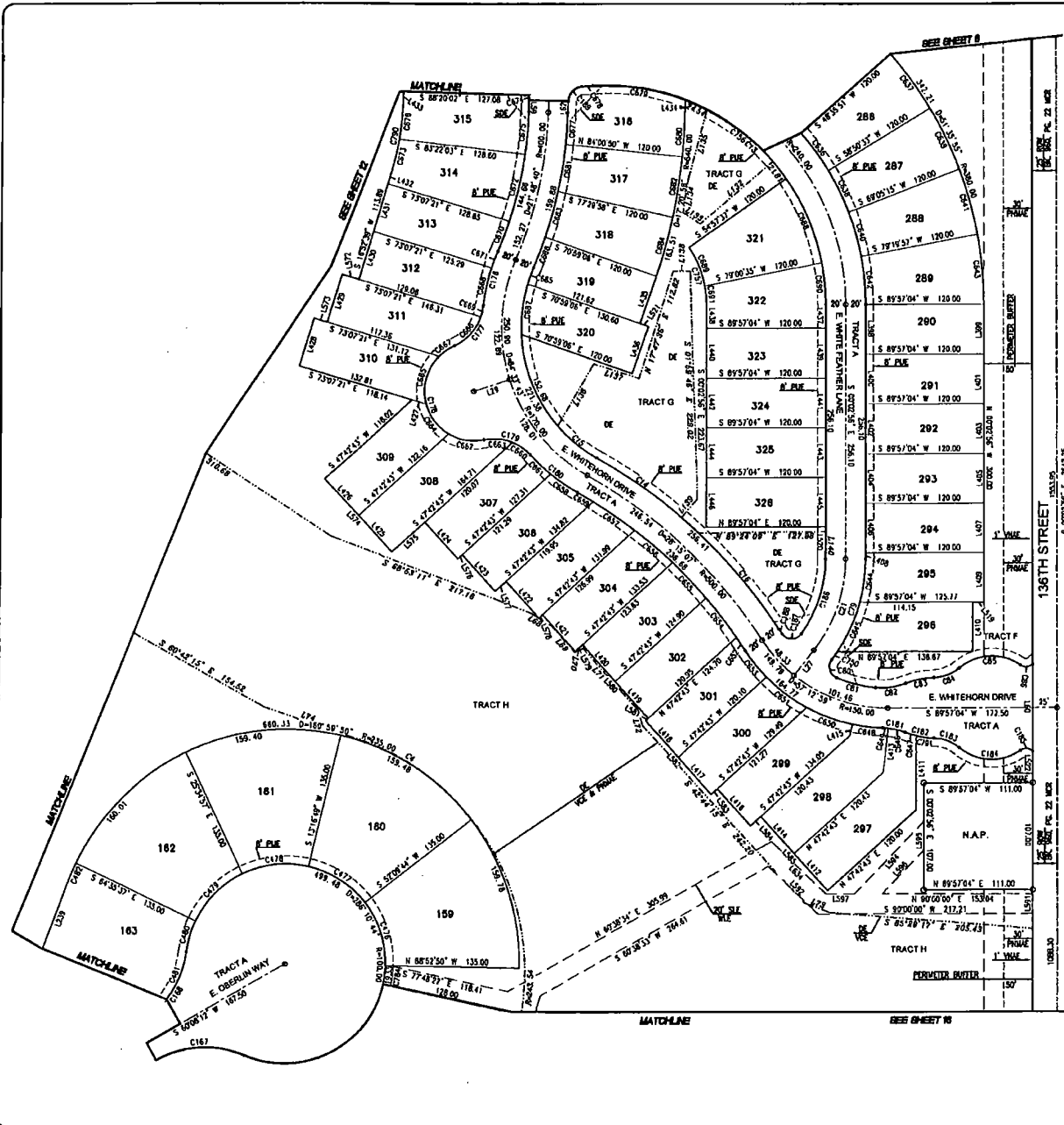
**FINAL PLAT**  
**REATA RANCH**  
A REPLAT OF "DESERT ESTATES AT PINNACLE PEAK" AND "TWO VERDE ESTATES", LOCATED IN A PORTION OF THE NORTH HALF OF SECTION 36, TOWNSHIP 3 NORTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, SCOTTSDALE, ARIZONA.

job no. 1-30  
design SM  
approved RT  
date 2-24-18

shoot  
12 of 20

REATA RANCH

5849-14-1 O.S. # 50-59, 50-60, PP 2-PP-2014, ZONING# 15-ZN2011, MASTER PLAN# 1-MP-2013



1721 W. ROSE CARRON LANE SUITE 4  
PHOENIX, ARIZONA 85027  
PHONE: 623-445-2000

**RS Team**  
Land Surveyors

UNIVERSITY OF ARIZONA  
SCHOOL OF ARCHITECTURE  
LAND SURVEYING

EXPIRES 8-30-18

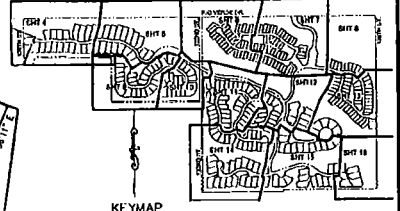
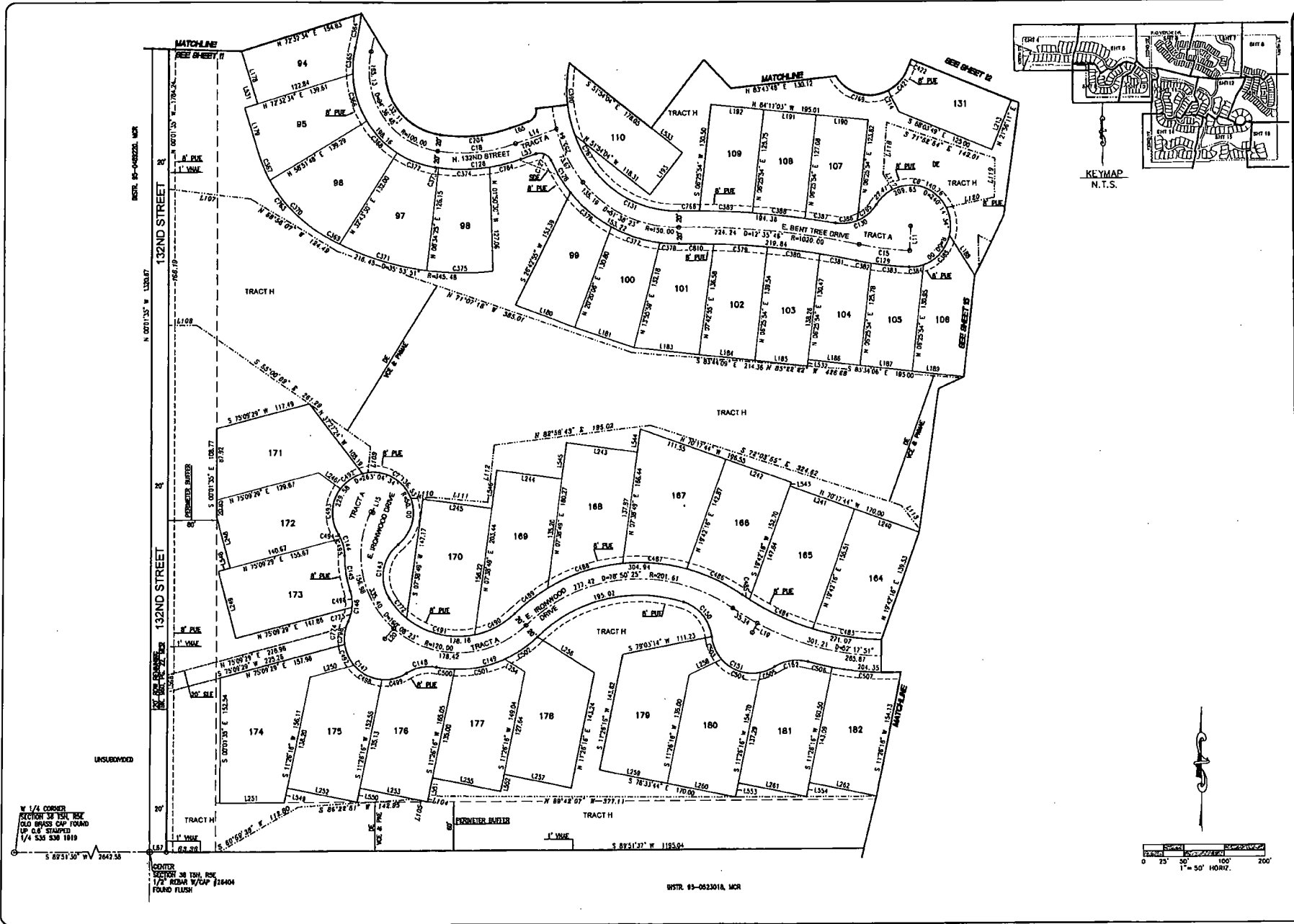
**FINAL PLAT**  
**REATA RANCH**  
A REPLAT OF "DESERT ESTATES AT PINNACLE PEAK" AND "BOO VERDE ESTATES", LOCATED IN A PORTION OF THE NORTH HALF OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, SCOTTSDALE, ARIZONA

job no. 1-38  
design SM  
approved RT  
date 2-24-18

sheet  
13 of 20

5843-14-1 O.S. # 50-59, 50-60, PP 2-PP-2014, ZONING# 15-ZN2011, MASTER PLAN# 1-MP-2013

REATA RANCH



1721 W. RIDE CAROLLA LANE  
SUITE 4  
PHOENIX, ARIZONA 85027  
PHONE: 623-445-2003

**RSteam**  
Land Surveys

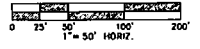


EXPIRES 9-30-18

**FINAL PLAT**  
**REATA RANCH**  
A REPLAT OF "DESERT ESTATES AT PINACOLE PEAK" AND "ROO VERDE ESTATES" LOCATED IN A PORTION OF THE NORTH HALF OF SECTION 38, TOWNSHIP 3 NORTH, RANGE 8 EAST OF THE GILA AND SALT RIVER BASE AND MERRIAM, MARICOPA COUNTY, SCOTTSDALE, ARIZONA.

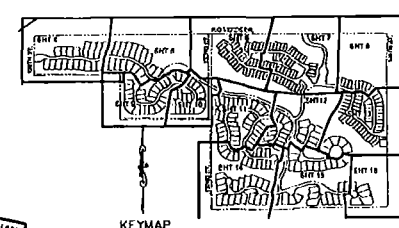
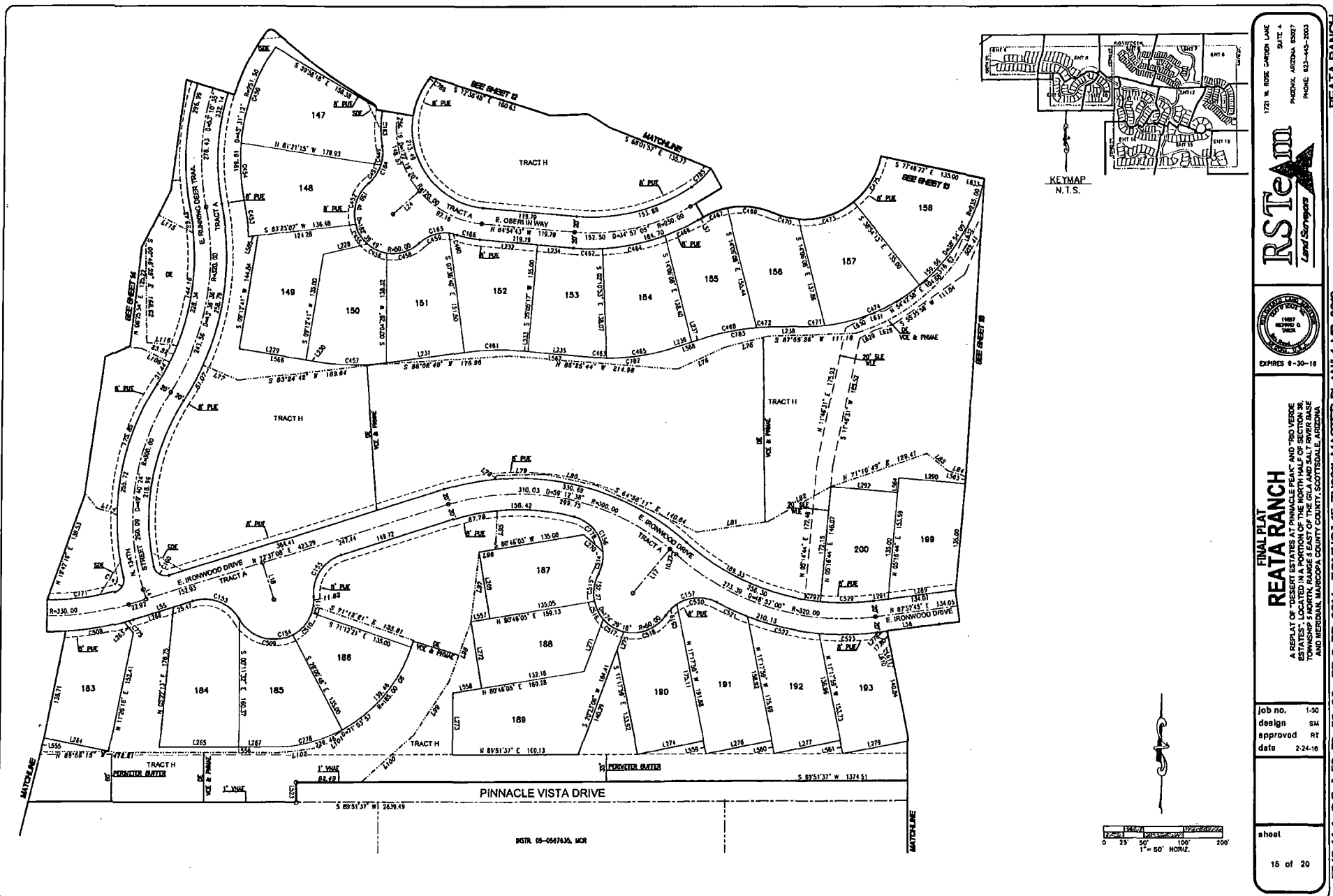
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design SM  
approved RT  
date 2-24-18

sheet  
14 of 20



WSTR. 85-052301A, MCR

REATA RANCH  
5843-14-1 O.S. # 50-59, 50-60, PP 2-PP-2014, ZONING# 15-ZN201, MASTER PLAN# 1-MP-2013



KEYMAP  
N.T.S.

1722 N. ROSE CANYON LANE  
SUITE 4  
PHOENIX, ARIZONA 85027  
PHONE: 602-445-2000

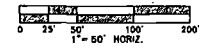


EXPIRES 9-30-14

**FINAL PLAT**  
**REATA RANCH**  
A REPLAT OF "DESERT ESTATES AT PINNACLE PEAK" AND "RO VERDE ESTATES", LOCATED IN A PORTION OF THE NORTH HALF OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASIN AND BERBERK, MARICOPA COUNTY, SCOTTSDALE, ARIZONA.

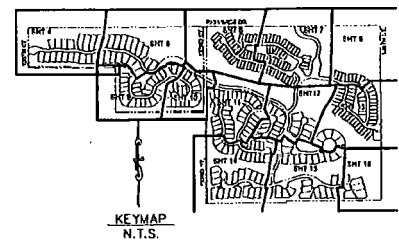
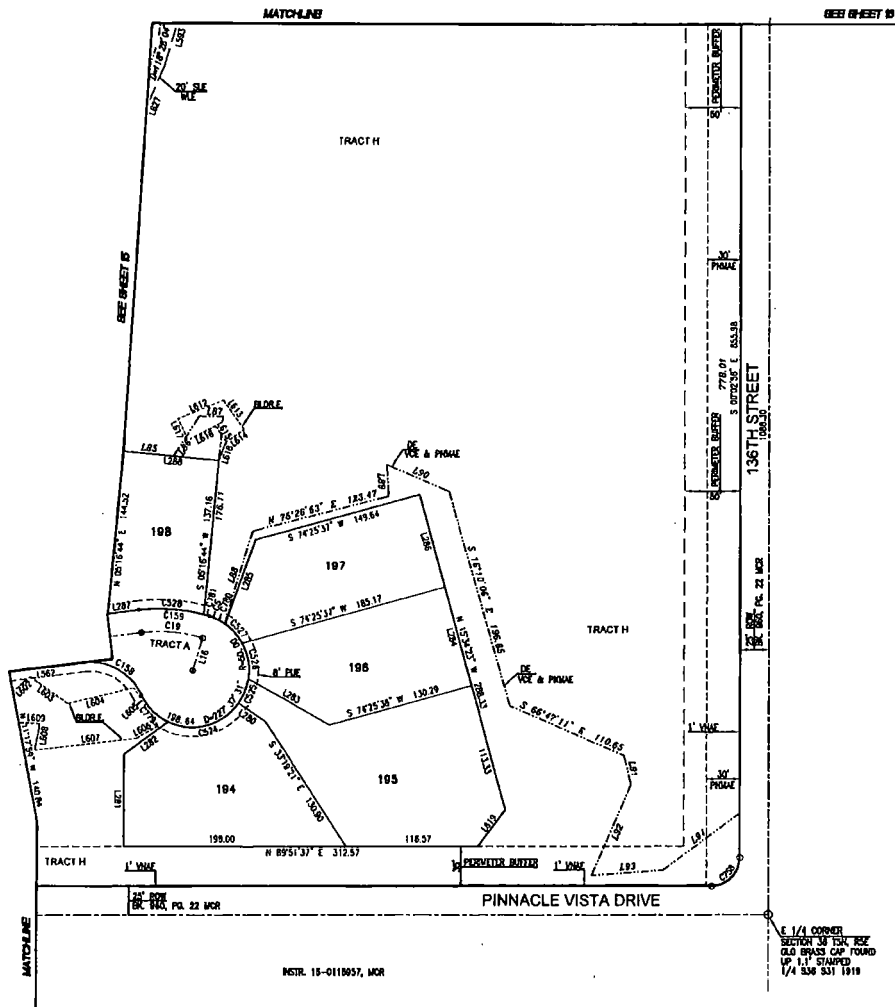
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approved RT  
date 2-24-16

sheet  
15 of 20



5843-14-1 O.S. # 50-58, 50-60, PP 2-PP-2014, ZONING# 15-ZN2011, MASTER PLAN# 1-MP-2013

DISTR. 09-0507430, MCR



1721 N. ROSE GARDEN LANE  
SUITE 4  
PHOENIX, ARIZONA 85027  
PHONE: 923-445-2003

**RSTeem**  
Land Surveyors

EXPIRES 6-30-16

**FINAL PLAN**  
**REATA RANCH**  
A REPLAT OF "DESERT ESTATES AT PINNACLE PEAK" AND "PO VERDE ESTATES" LOCATED IN A PORTION OF THE NORTHWEST 1/4 SECTION 16, T11N, R10E, S14E, MARICOPA COUNTY, ARIZONA.

job no.	1-30
design	SM
approved	RT
date	2-24-16

sheet  
16 of 20

5843-14-1 O.S. # 50-59, 50-60, PP 2-PP-2014, ZONING# 15-ZN2011, MASTER PLAN# 1-MP-2013

REATA RANCH

Table with columns: LINE, BEARING, DISTANCE. Contains 100 rows of survey data.

Table with columns: LINE, BEARING, DISTANCE. Contains 100 rows of survey data.

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Table with columns: LINE, BEARING, DISTANCE. Contains 100 rows of survey data.

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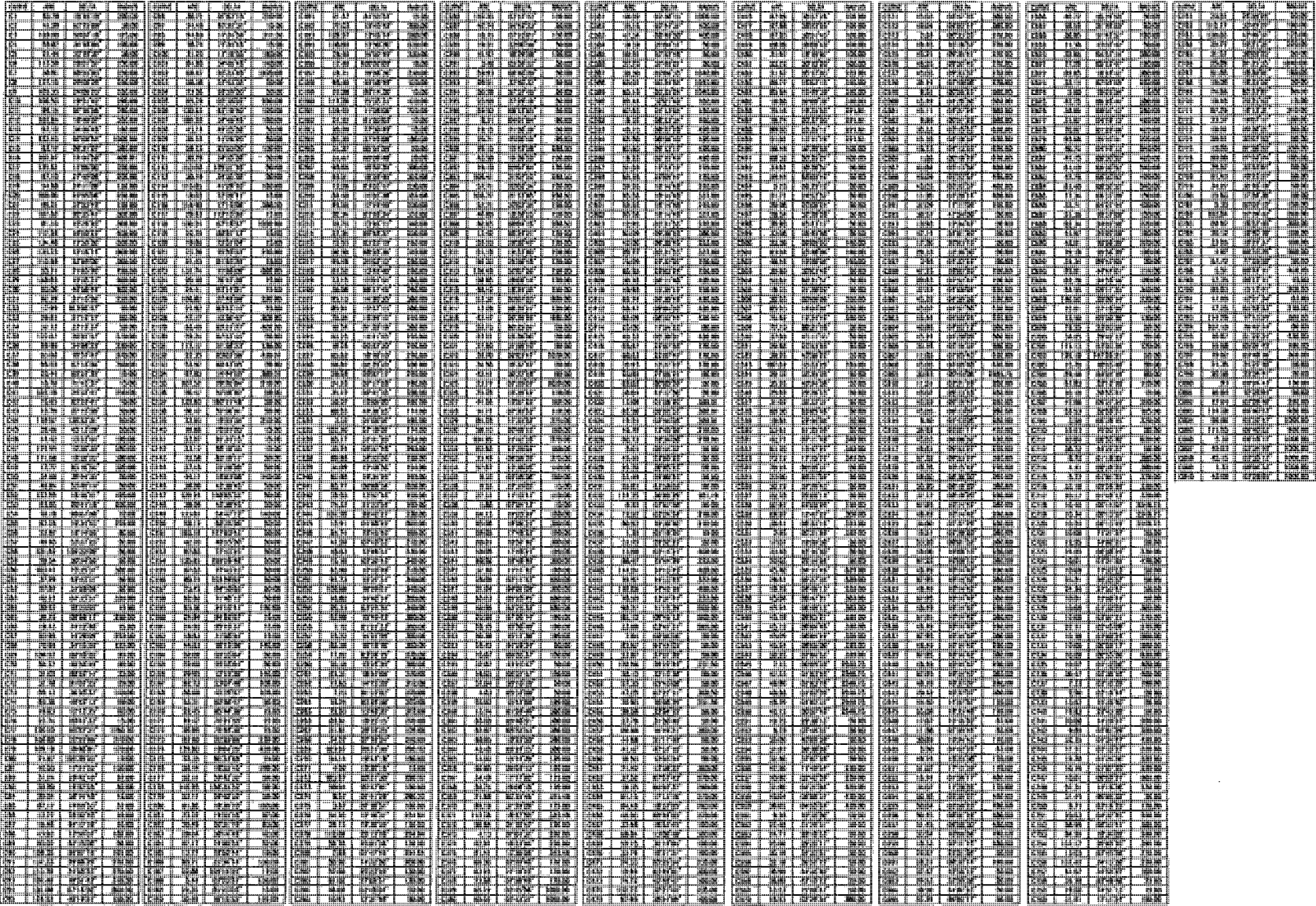
Table with columns: LINE, BEARING, DISTANCE. Contains 100 rows of survey data.

Table with columns: CURVE, ARC, DELTA, RADIUS, CHORD LENGTH, CHORD BEARING, TAN LENGTH. Contains 18 rows of curve data.

Table with columns: LINE, BEARING, DISTANCE. Contains 100 rows of survey data.

Project information including 'REATA RANCH', 'FINAL PLAN', 'RSTeam', 'Lynn S. Reynolds', and 'DESERT ESTATES AT PRINCE PEARL'.

Vertical text on the right margin: 'REATA RANCH' and 'O.S. # 50-58, 50-60, PP. NO. 2-PP-2014, ZONING # 15-ZN2011, MASTER PLAN # 1-MP-2013'.



sheet  
18 of 20

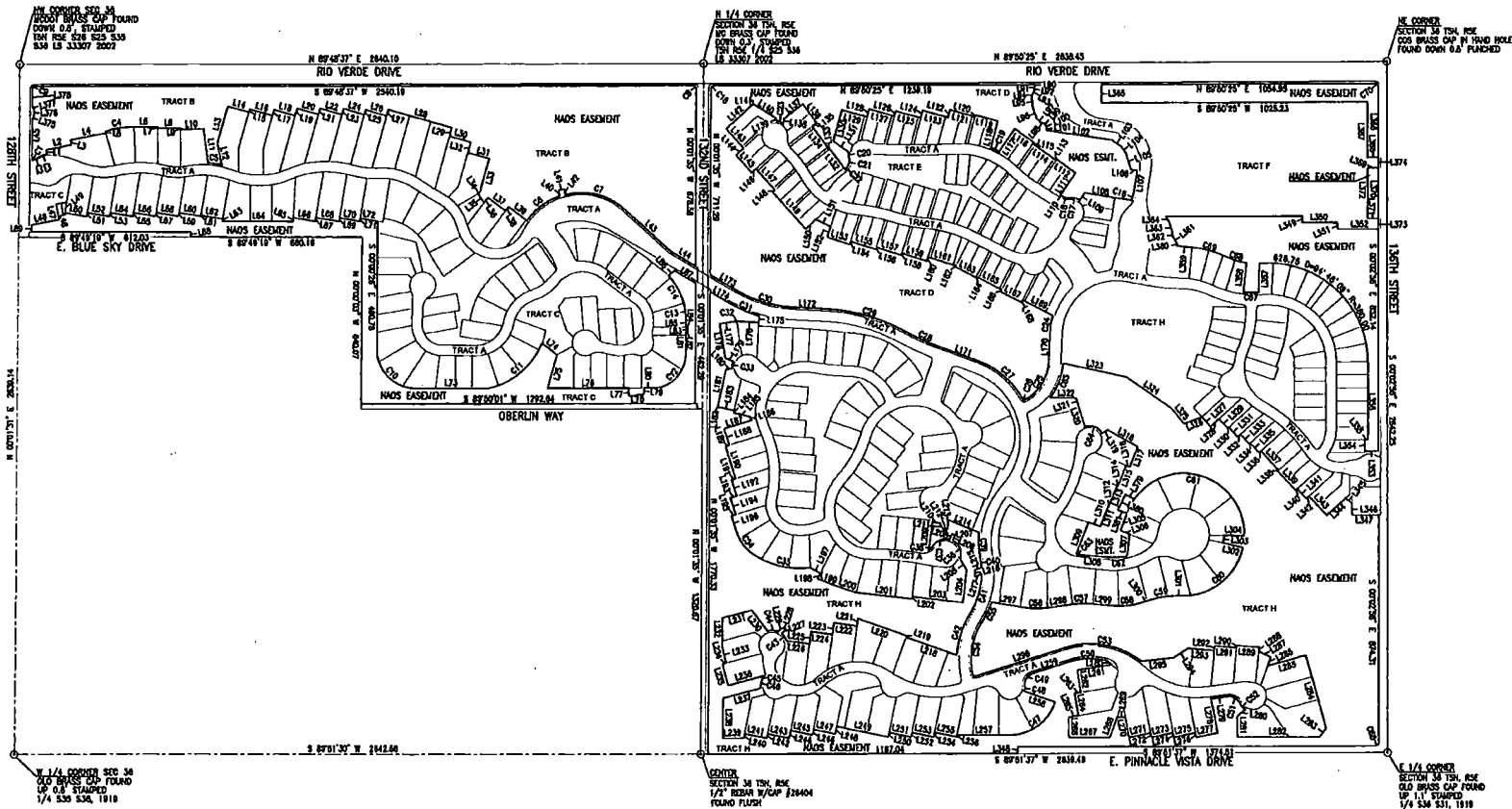
job no. 1-30  
design SM  
approved RT  
date 2-24-18

**FINAL PLAT**  
**REATA RANCH**  
A BEHALF OF "REATA RANCH ESTATES AT PINACOLE REAT" AND "REO VERDE ESTATES" LOCATED IN A PORTION OF THE NORTH HALF OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 8 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, SCOTTSDALE, ARIZONA



1771 N. ROSE GARDEN LANE  
SUITE 4  
PHOENIX, ARIZONA 85027  
PHONE 602-445-2700





N 1/4 CORNER SEC 36  
 OLD BRASS CAP FOUND  
 DOWN 0.4' STAMPED  
 1/4 1/4 530 530 530  
 1/4 1/4 33307 2002

N 1/4 CORNER  
 SECTION 36 T34N R5E  
 NO BRASS CAP FOUND  
 DOWN 0.2' STAMPED  
 1/4 1/4 530 530  
 1/4 1/4 33307 2002

N 1/4 CORNER  
 SECTION 36 T34N R5E  
 OLD BRASS CAP IN HOLE  
 FOUND DOWN 6.0' PLACED

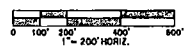
W 1/4 CORNER SEC 36  
 OLD BRASS CAP FOUND  
 UP 0.8' STAMPED  
 1/4 530 530 1918

CORNER  
 SECTION 36 T34N R5E  
 1/4" BRASS W/CAP 228404  
 FOUND FLUSH

E 1/4 CORNER  
 SECTION 36 T34N R5E  
 OLD BRASS CAP FOUND  
 UP 1.1' STAMPED  
 1/4 530 531 1918

**LEGEND**

- = NATURAL AREA OPEN SPACE (NAOS)
- = LOT OR TRACT LINE
- EMT = EASEMENT



1721 N. ROSE CANYON LANE  
 SUITE #  
 PHOENIX, ARIZONA 85027  
 PHONE: 602-442-2003

EXPIRES 9-30-18

**FINAL PLAT**  
**REATA RANCH**  
 A REPLAT OF "DESERT ESTATES AT PINNACLE PEAK" AND "RIO VERDE  
 ESTATES" LOCATED IN A PORTION OF THE NORTH 1/4 OF SECTION 36,  
 TOWNSHIP 34 NORTH, RANGE 5 EAST, MARICOPA COUNTY, ARIZONA

job no. 1-30  
 design SM  
 approved RT  
 date 2-24-18

sheet  
 19 of 20

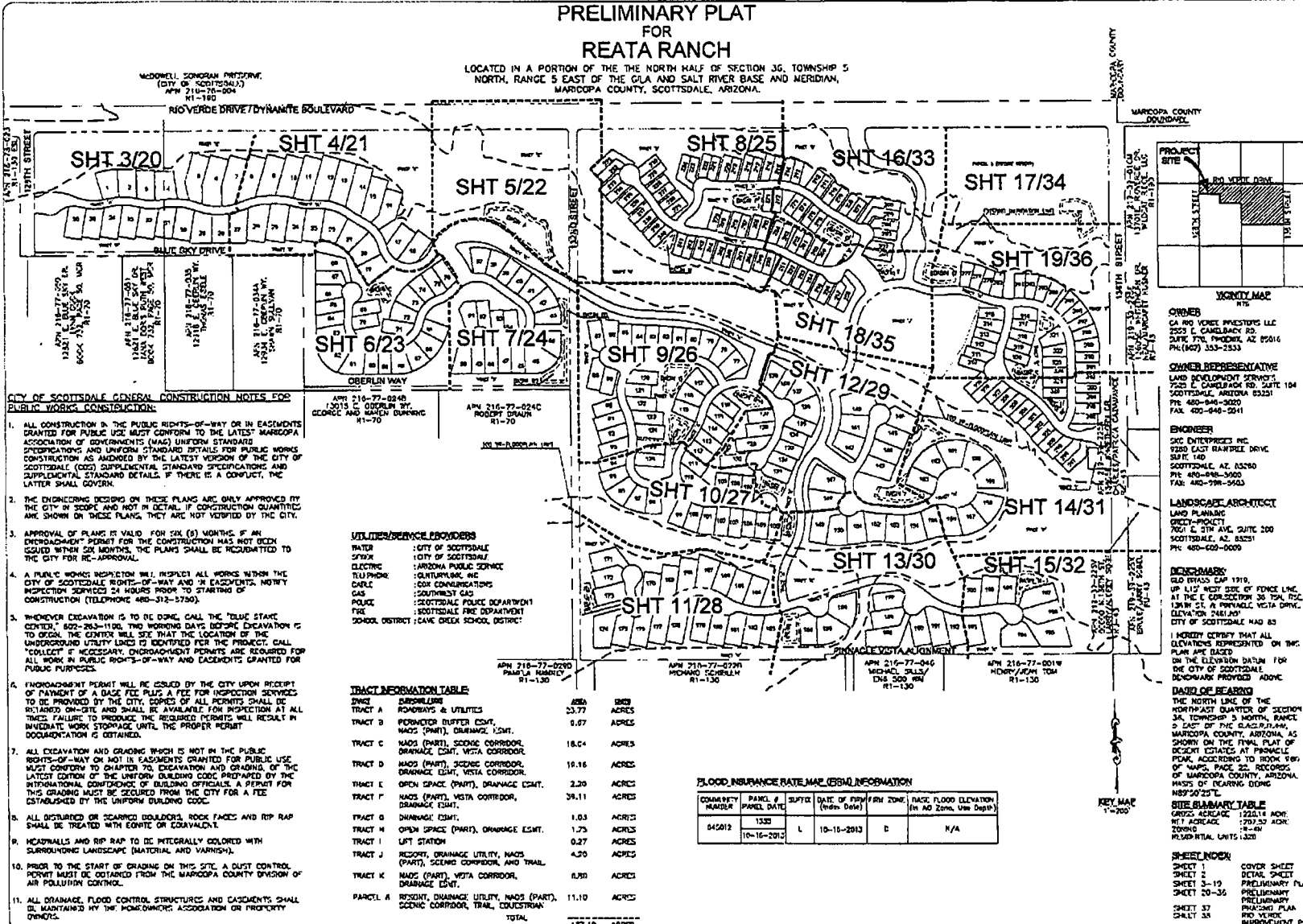
5843-14-1 O.S. # 50-58, 50-60, PP NO. 2-PP-2014, ZONING# 15-ZN2011, MASTER PLAN# 1-MP-2013

REATA RANCH



**PRELIMINARY PLAT  
FOR  
REATA RANCH**

LOCATED IN A PORTION OF THE THE NORTH HALF OF SECTION 36, TOWNSHIP 5  
NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN,  
MARICOPA COUNTY, SCOTTSDALE, ARIZONA.



**CITY OF SCOTTSDALE GENERAL CONSTRUCTION NOTES FOR PUBLIC WORKS CONSTRUCTION:**

1. ALL CONSTRUCTION IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION AS ADOPTED BY THE LATEST VERSION OF THE CITY OF SCOTTSDALE (COS) SUPPLEMENTAL STANDARD SPECIFICATIONS AND SUPPLEMENTAL STANDARD DETAILS IF THERE IS A CONFLICT, THE LATTER SHALL GOVERN.
2. THE ENGINEERING DESIGNS ON THESE PLANS ARE ONLY APPROVED BY THE CITY IN SCOPE AND NOT IN DETAIL. IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE CITY.
3. APPROVAL OF PLANS IS VALID FOR SIX (6) MONTHS. IF AN ENCROACHMENT PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN SIX MONTHS, THE PLANS SHALL BE RE-SUBMITTED TO THE CITY FOR RE-APPROVAL.
4. A PUBLIC WORKS INSPECTION WILL INSPECT ALL WORKS WITHIN THE CITY OF SCOTTSDALE RIGHTS-OF-WAY AND IN EASEMENTS. NOTIFY INSPECTION SERVICES 24 HOURS PRIOR TO STARTING OF CONSTRUCTION (TELEPHONE 480-312-3100).
5. WHENEVER EXCAVATION IS TO BE DONE, CALL THE "TOLL FREE CENTER" 800-263-1180, TWO WORKING DAYS BEFORE EXCAVATION IS TO BEGIN. THE CENTER WILL SITE THE LOCATION OF THE UNDERGROUND UTILITY LINES TO IDENTIFY FOR THE PROJECT. CALL "COLLECT" IF NECESSARY. ENCROACHMENT PERMITS ARE REQUIRED FOR ALL WORK IN PUBLIC RIGHTS-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PURPOSES.
6. ENCROACHMENT PERMIT WILL BE ISSUED BY THE CITY UPON RECEIPT OF PAYMENT OF A DAGE FEE PLUS A FEE FOR INSPECTION SERVICES TO BE PROVIDED BY THE CITY. COPIES OF ALL PERMITS SHALL BE RETAINED ON-SITE AND SHALL BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PROVIDE THE REQUIRED INFORMATION WILL RESULT IN IMMEDIATE WORK STOPPAGE UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.
7. ALL EXCAVATION AND GRADING WHICH IS NOT IN THE PUBLIC RIGHTS-OF-WAY OR NOT IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO CHAPTER 20, EXCAVATION AND GRADING, OF THE LATEST EDITION OF THE UNIFORM BUILDING CODE PREPARED BY THE INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS. A PERMIT FOR THIS GRADING MUST BE OBTAINED FROM THE CITY FOR A FEE ESTABLISHED BY THE UNIFORM BUILDING CODE.
8. ALL DISTURBED OR SEVERED BOUNDARIES, ROCK FACES AND RIP RAP SHALL BE TREATED WITH EROSION CONTROL.
9. HEADWALLS AND RIP RAP TO BE INTEGRALLY COLORED WITH SURROUNDING LANDSCAPE (MATERIAL AND VARIANTS).
10. PRIOR TO THE START OF GRADING ON THIS SITE, A DUST CONTROL PERMIT MUST BE OBTAINED FROM THE MARICOPA COUNTY DIVISION OF AIR POLLUTION CONTROL.
11. ALL DRAINAGE FLOOD CONTROL STRUCTURES AND CASSEMENTS SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION OR PROPERTY OWNERS.

**UTILITY/SERVICE PROVIDERS**

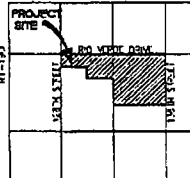
WATER : CITY OF SCOTTSDALE  
 SEWER : CITY OF SCOTTSDALE  
 ELECTRIC : ARIZONA PUBLIC SERVICE  
 TELEPHONE : COUNTRYWIDE INC.  
 CABLE : COX COMMUNICATIONS  
 GAS : SOUTHWEST GAS  
 POLICE : SCOTTSDALE POLICE DEPARTMENT  
 FIRE : SCOTTSDALE FIRE DEPARTMENT  
 SCHOOL DISTRICT : CAVE CREEK SCHOOL DISTRICT

**TRACT INFORMATION TABLE**

TRACT	DESCRIPTION	AREA	SQS	ACRES
TRACT A	ROADWAYS & UTILITIES	23.77		ACRES
TRACT B	PERFORATOR BUFFER ZONE, HAQS (PART), DRAINAGE EGMT.	0.07		ACRES
TRACT C	HAQS (PART), SCENE CORRIDOR, DRAINAGE EGMT, VISTA CORRIDOR	18.04		ACRES
TRACT D	HAQS (PART), SCENE CORRIDOR, DRAINAGE EGMT, VISTA CORRIDOR	18.16		ACRES
TRACT E	OPEN SPACE (PART), DRAINAGE EGMT.	2.20		ACRES
TRACT F	HAQS (PART), VISTA CORRIDOR, DRAINAGE EGMT.	39.11		ACRES
TRACT G	DRAINAGE EGMT.	1.03		ACRES
TRACT H	OPEN SPACE (PART), DRAINAGE EGMT.	1.75		ACRES
TRACT I	LIFT STATION	0.27		ACRES
TRACT J	REZORT, DRAINAGE UTILITY, HAQS (PART), SCENE CORRIDOR, AND TRAIL	4.20		ACRES
TRACT K	HAQS (PART), VISTA CORRIDOR, DRAINAGE EGMT.	0.80		ACRES
PARCEL A	RESORT, DRAINAGE UTILITY, HAQS (PART), SCENE CORRIDOR, TRAIL, EDUCATION	11.10		ACRES
<b>TOTAL</b>		<b>137.10</b>		<b>ACRES</b>

**FLOOD INSURANCE RATE (FIRM) INFORMATION**

COUNTY NUMBER	PANEL #	SUBPT	DATE OF REV. (FROM DATE)	RISK ZONE	BASE FLOOD ELEVATION (FOR AD ZONE, USE DEPT)
042012	1320	L	10-10-2013	D	N/A



**OWNER**  
 CA PRO VEST INVESTORS LLC  
 2025 E. CAROLINA RD.  
 SUITE 170, PHOENIX, AZ 85016  
 PH: (602) 353-2533

**OWNER REPRESENTATIVE**  
 LAND DEVELOPMENT SERVICES  
 1001 E. CAROLINA RD. SUITE 104  
 SCOTTSDALE, ARIZONA 85261  
 PH: 480-846-3020  
 FAX: 480-846-2611

**ENGINEER**  
 SDC ENTERPRISES INC.  
 9220 EAST RAINBOW DRIVE,  
 SUITE 140  
 SCOTTSDALE, AZ 85260  
 PH: 480-996-3600  
 FAX: 480-796-9048

**LANDSCAPE ARCHITECT**  
 LAND PLANNING  
 7001 E. 3TH AVE, SUITE 200  
 SCOTTSDALE, AZ 85261  
 PH: 480-429-0000

**BOUNDARY**  
 OLD BRASS CAP 1910,  
 UP 1/2" WEST SIDE OF FENCE LINE,  
 AT THE INTERSECTION OF TOLSON RD.  
 1/2" IN ST. A. PARALLEL VISTA DRIVE,  
 ELEVATION 7461.80'  
 CITY OF SCOTTSDALE HAS AS  
 I HEREBY CERTIFY THAT ALL  
 ELEVATIONS REPRESENTED ON THIS  
 PLAN ARE BASED  
 ON THE ELEVATION DATUM FOR  
 THE CITY OF SCOTTSDALE.  
 BENCHMARK PROVIDED ABOVE

**DATE OF REBAR**  
 THE NORTH LINE OF THE  
 NORTHWEST QUARTER OF SECTION  
 36, TOWNSHIP 5 NORTH, RANGE  
 5 EAST OF THE GILA/RIP RAP,  
 MARICOPA COUNTY, ARIZONA, AS  
 SHOWN ON THE FINAL PLAT OF  
 DECKET ESTATES AT PHOENIX  
 PARK, ACCORDING TO BOOK 089  
 OF MAPS, PAGE 22, RECORDS  
 OF MARICOPA COUNTY, ARIZONA,  
 HAS BEEN REBARRED.

**SITE BINARY TABLE**  
 GROSS ACRES: 122.14 AC.  
 NET ACRES: 79.52 AC.  
 ZONING: R1-130  
 PLANNING UNIT: 1320

**SHEET NOTES**  
 SHEET 1 COVER SHEET  
 SHEET 2 DETAIL SHEET  
 SHEET 3-19 PRELIMINARY PLAT  
 SHEET 20-36 PRELIMINARY  
 SHEET 37 PRELIMINARY  
 SHEET 38 PFD VERBIC  
 SHEET 39 IMPROVEMENT PLAN

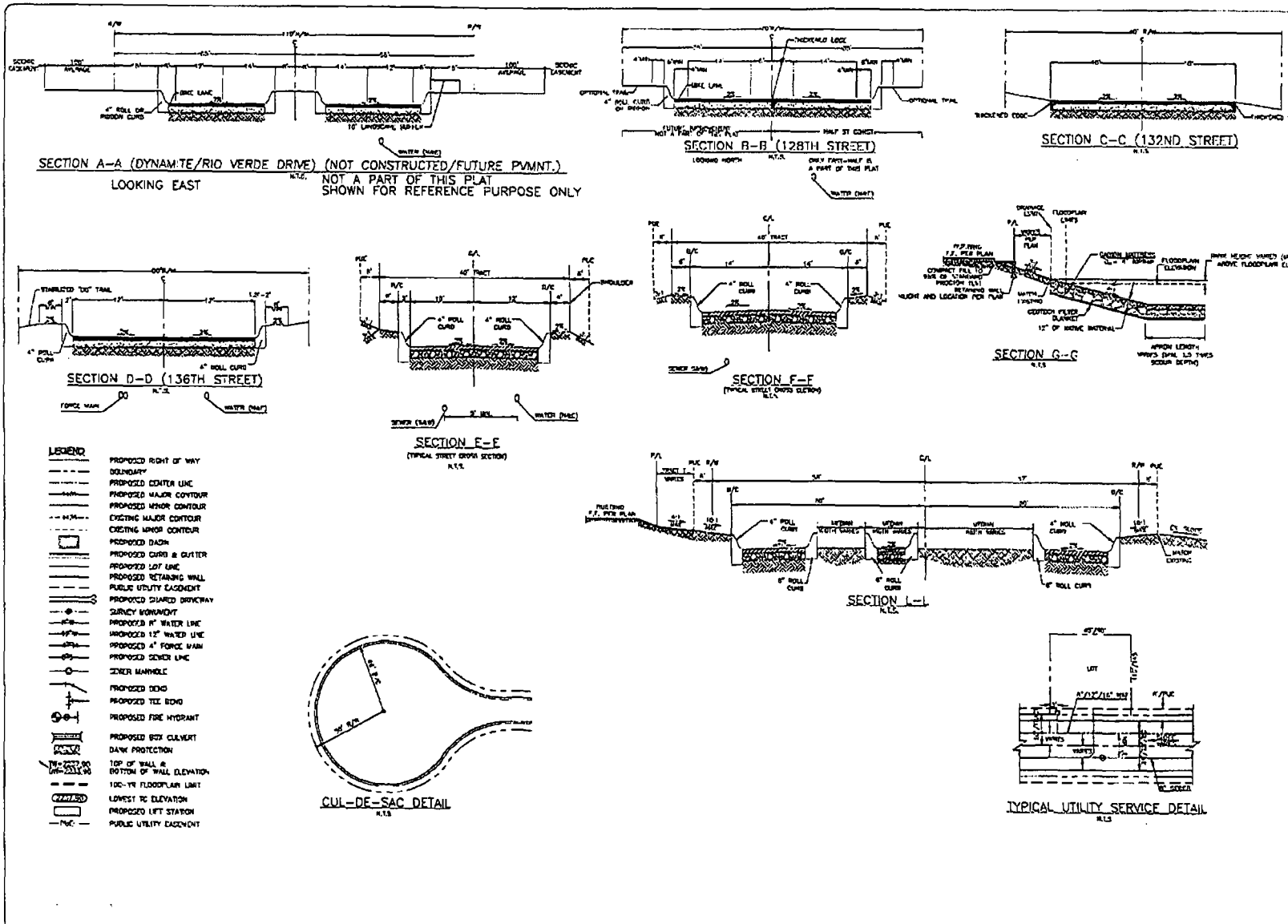
**REATA RANCH  
COVER SHEET**

CITY OF SCOTTSDALE, ARIZONA

JOB NO. 3611  
 DESIGN JAR  
 APPROVED 07/23  
 DATE 5/26/14  
 REVISIONS

SHEET  
1 of 38

C.S. # 50-59, P.R.M. # 2-PP-2014, ZONING 15-ZN2011, MASTER PLAN # 1-MP-2013



**SECTION A-A (DYNAMITE/RIO VERDE DRIVE) (NOT CONSTRUCTED/FUTURE PMNT.)**  
 LOOKING EAST  
 NOT A PART OF THIS PLAN  
 SHOWN FOR REFERENCE PURPOSE ONLY

**SECTION B-B (128TH STREET)**  
 LOOKING NORTH  
 ONLY PART-HALF IS  
 A PART OF THIS PLAN

**SECTION C-C (132ND STREET)**

**SECTION D-D (136TH STREET)**

**SECTION F-F**  
 (TYPICAL STREET CROSS SECTION)

**SECTION G-G**

**SECTION E-E**  
 (TYPICAL STREET CROSS SECTION)

**SECTION L-L**

**CUL-DE-SAC DETAIL**

**TYPICAL UTILITY SERVICE DETAIL**

- LEGEND**
- PROPOSED RIGHT OF WAY BOUNDARY
  - PROPOSED CENTER LINE
  - PROPOSED MAJOR CONTOUR
  - PROPOSED MINOR CONTOUR
  - EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR
  - PROPOSED DASH
  - PROPOSED CURB & GUTTER
  - PROPOSED LOT LINE
  - PROPOSED RETAINING WALL
  - PUBLIC UTILITY CASHEMENT
  - PROPOSED SHARED DRIVEWAY
  - TURNING MONUMENT
  - PROPOSED 12" WATER LINE
  - PROPOSED 4" FORCE MAIN
  - PROPOSED SEWER LINE
  - ZENER MANHOLE
  - PROPOSED DEBO
  - PROPOSED TEE DEBO
  - PROPOSED FIRE HYDRANT
  - PROPOSED BOX CULVERT
  - BANK PROTECTION
  - TOP OF WALL & BOTTOM OF WALL ELEVATION
  - 100-YR FLOODPLAIN LIMIT
  - LOWEST FC ELEVATION
  - PROPOSED LIFT STATION
  - PUBLIC UTILITY CASHEMENT

**REATA RANCH**

DETAIL SHEET

CITY OF SCOTTSDALE, ARIZONA

ZONING# 15-ZN2011, MASTER PLAN# T-MP-2013

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Job no. 10-11  
 design JAA  
 approved DFD  
 date 5/20/11  
 revisions

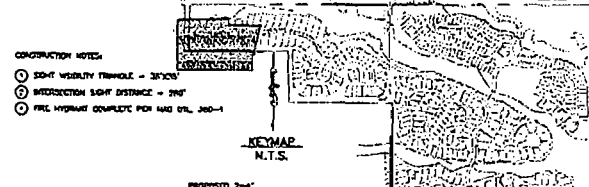
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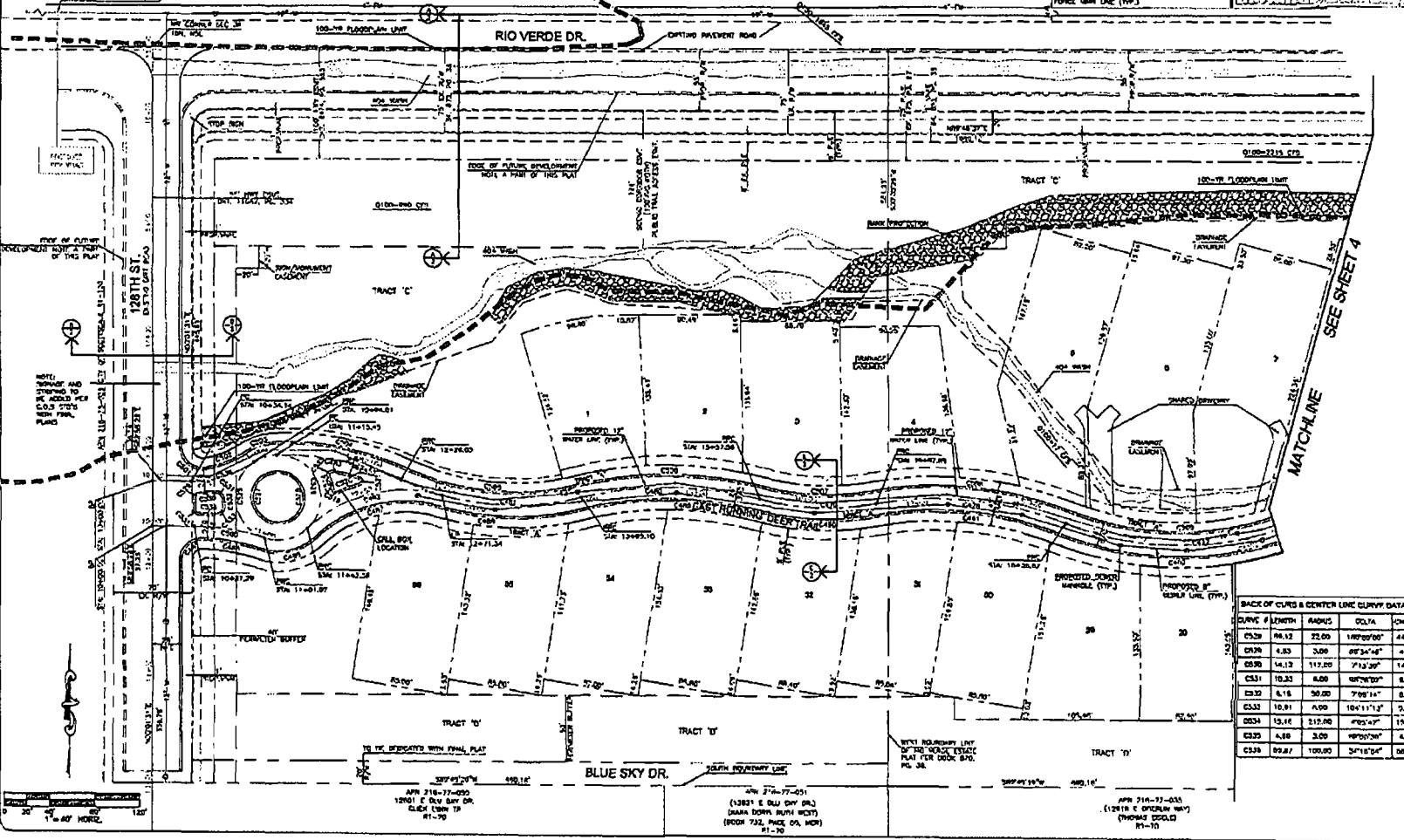
2 of 34

REATA RANCH

BACK OF CURB & CENTER LINE CURVE DATA					BACK OF CURB & CENTER LINE CURVE DATA					BACK OF CURB & CENTER LINE CURVE DATA					BACK OF CURB & CENTER LINE CURVE DATA				
CURVE #	LENGTH	RADIUS	DELTA	CHORD	CURVE #	LENGTH	RADIUS	DELTA	CHORD	CURVE #	LENGTH	RADIUS	DELTA	CHORD	CURVE #	LENGTH	RADIUS	DELTA	CHORD
C177	219.28	790.00	44°51'17"	713.30	C483	82.53	128.00	16°07'53"	83.76	C501	30.82	18.00	89°03'23"	37.18	C519	3.79	3.00	107°14'14"	3.34
C178	173.70	330.00	31°08'73"	171.30	C485	84.33	50.00	47°13'04"	51.69	C502	40.34	88.00	39°12'50"	38.89	C520	21.13	132.00	7°47'14"	21.11
C179	100.33	250.00	24°09'23"	104.25	C487	116.86	113.00	34°07'11"	111.00	C503	29.31	50.00	37°14'37"	27.84	C521	6.12	3.00	146°44'15"	5.83
C180	187.47	330.00	28°01'53"	182.31	C489	133.78	242.00	29°02'27"	131.82	C504	119.04	282.00	29°01'57"	116.82	C522	24.43	330.00	8°31'18"	24.44
C181	168.06	290.00	24°03'30"	163.03	C491	179.90	370.00	29°01'53"	155.06	C505	158.68	226.00	39°02'52"	158.00	C523	4.30	3.00	127°14'17"	3.57
C182	128.98	175.00	29°07'14"	123.34	C493	170.36	262.00	24°08'23"	168.87	C506	140.34	244.00	29°01'57"	148.36	C524	11.40	80.00	17°01'50"	11.28
C183	113.50	292.00	29°01'57"	112.41	C495	187.22	350.00	31°08'23"	188.17	C507	140.27	179.00	24°08'57"	139.53	C525	119.28	38.00	100°00'00"	78.00
C184	26.80	18.00	87°18'45"	23.80	C497	229.09	292.00	44°51'57"	223.65	C508	180.51	133.00	31°09'57"	178.04	C526	118.24	38.00	100°00'00"	78.00
					C500	63.18	200.00	17°16'14"	63.81	C509	200.00	200.00	44°51'57"	200.00	C527	68.12	22.00	147°00'00"	64.00



- CONSTRUCTION NOTES:
- 1. SOFT WEARABLE FURNISH - 30%20
  - 2. INTERSECTION SIGHT DISTANCE - 200'
  - 3. PAV. HIGHWAY COMPLETE PER H&M DTL 300-1



BACK OF CURB & CENTER LINE CURVE DATA				
CURVE #	LENGTH	RADIUS	DELTA	CHORD
C528	86.12	22.00	180°00'00"	44.00
C529	4.83	3.00	88°34'48"	4.11
C530	14.13	112.00	7°12'30"	14.12
C531	10.23	8.00	89°00'00"	6.10
C532	8.18	50.00	7°08'14"	8.18
C533	10.91	8.00	104°11'13"	5.47
C534	13.16	212.00	4°05'47"	13.15
C535	6.88	3.00	100°00'00"	4.21
C536	89.87	100.00	54°18'04"	66.98

3817707-0001, INC.
   
 1400 E. BAYVIEW DRIVE
   
 SCOTTSDALE, AZ 85261
   
 PH: 480-344-8888
   
 FAX: 480-344-8883
   
 WWW: 3817707.COM

**REATA RANCH**
  
 PRELIMINARY PLAN
   
 CITY OF SCOTTSDALE, ARIZONA

Job No. 30-11
   
 Design JAB
   
 Approved BYG
   
 Date 8/2014

Reviewers:

Sheet
   
 3 of 30

O.S. # 50-58, 50-60, PRELIM # 2-PP-2014, ZONING # 15-ZN201, MASTER PLAN # MP-2013



815 ENTERPRISE, INC.  
 ENGINEERED DESIGN  
 2500 N. GILBERT  
 SCOTTSDALE, AZ 85261  
 TEL: 480-990-8800  
 FAX: 480-990-8808  
 WWW.ESDINC.COM



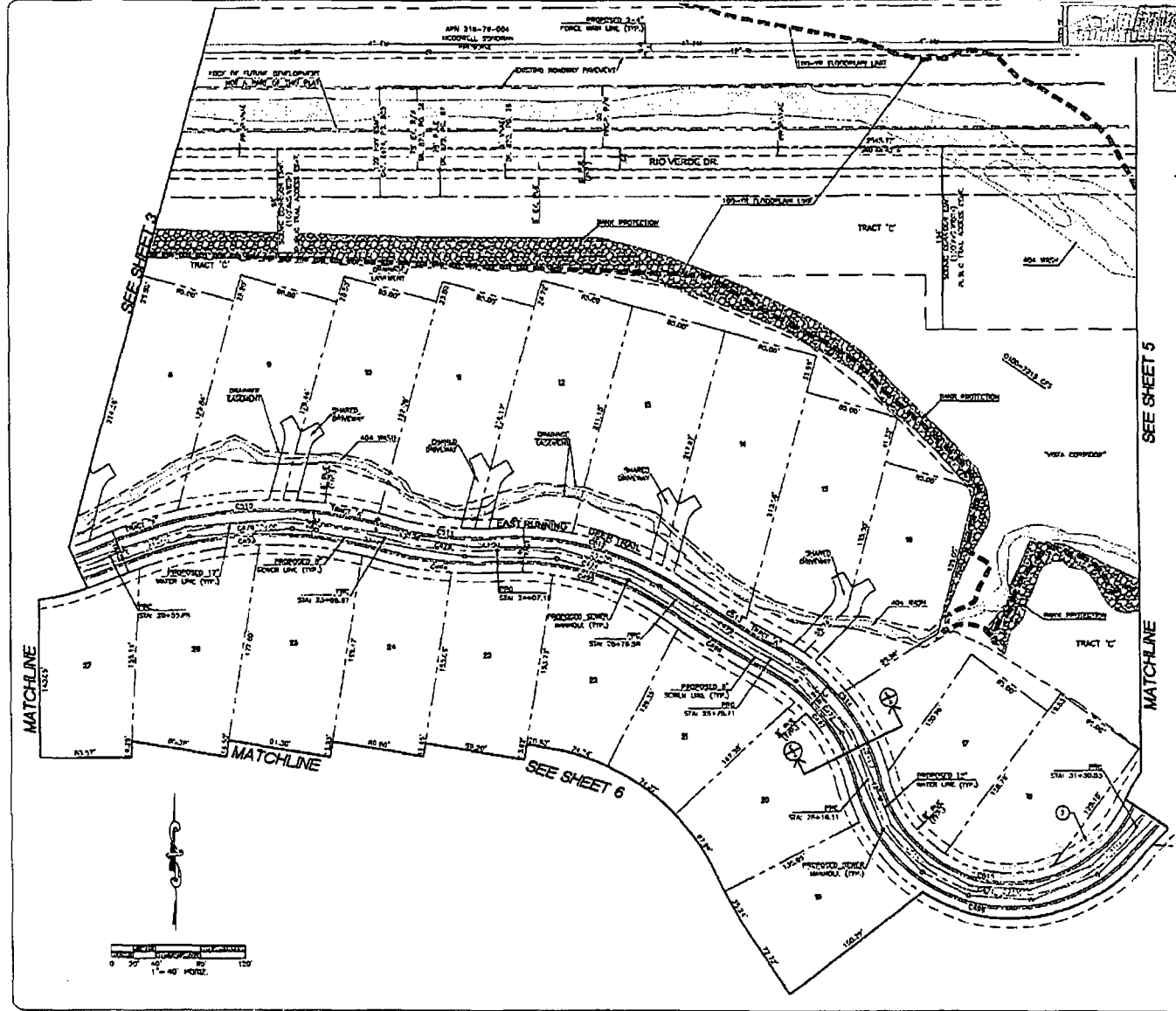
**REATA RANCH**  
 PRELIMINARY PLAT  
 CITY OF SCOTTSDALE, ARIZONA

Job no. 36-11  
 design JAR  
 approved BJD  
 date 8/2/14

revisions

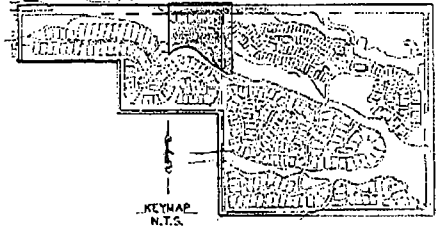
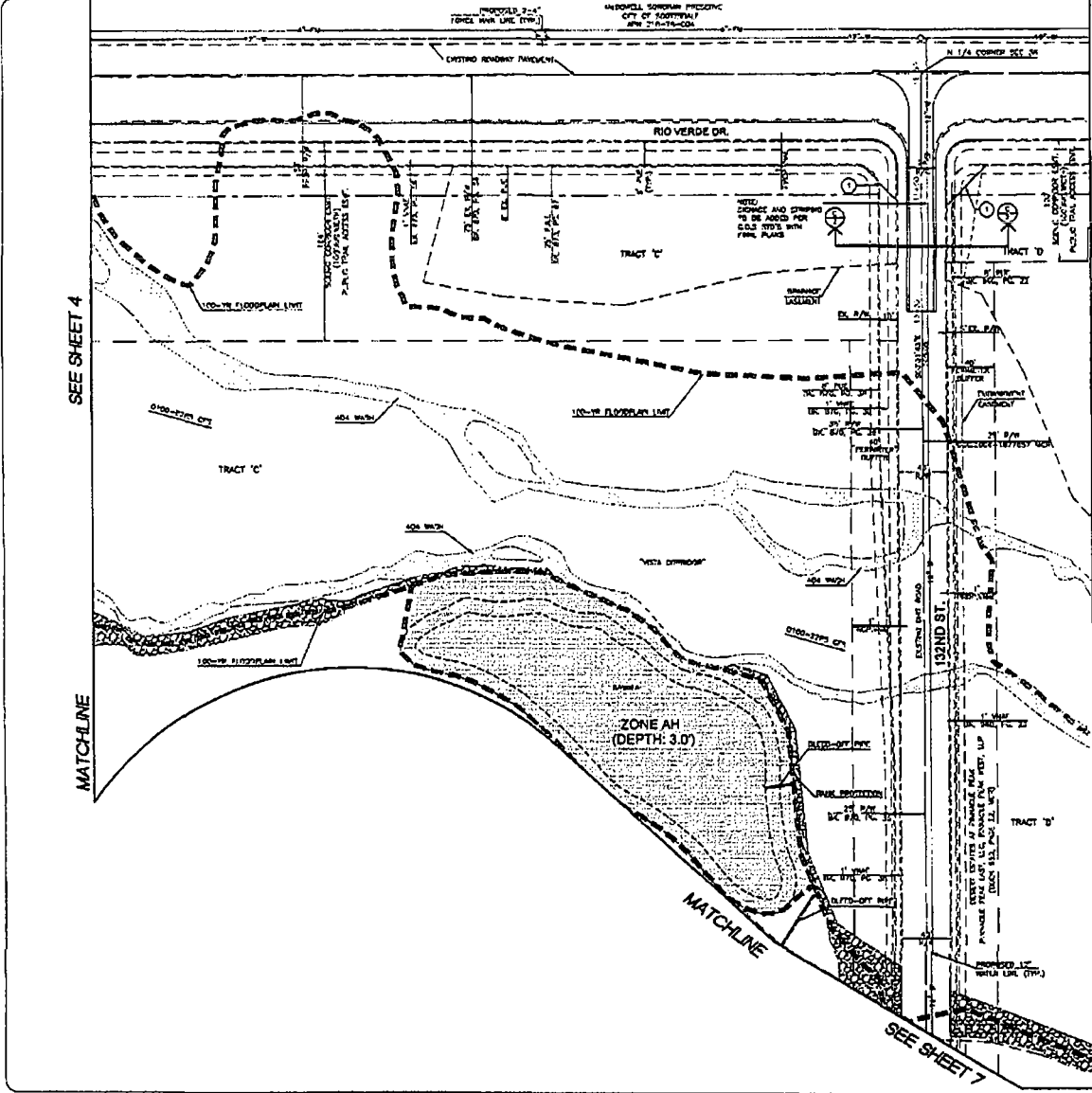
street

REATA RANCH  
 O.S. # 50-59, 50-60, PRL# # 2-PP-2014, ZONING# 15-ZN201, MASTER PLAN# 1-AP-2013



- CONSTRUCTION NOTES:
- ① SIGHT TRIANGLE = 35'x35'
  - ② INTERSECTION SIGHT DISTANCE = 280'
  - ③ FIRE HYDRANT COMPLETE FOR 1/4" DTL, 240'-1"

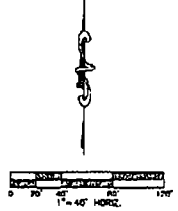
CURVE #	LENGTH	RADIUS	DELTA	CHORD
C171	311.62	134.00	133.0973°	245.02
C172	143.80	170.00	48°18'51"	129.19
C173	95.14	780.00	7°18'56"	98.07
C174	183.38	350.00	32°42'12"	186.76
C175	102.30	390.00	15°18'43"	100.03
C176	235.78	300.00	39°55'06"	245.75
C183	242.43	348.00	39°54'20"	237.24
C184	104.67	300.00	18°51'42"	104.17
C185	181.29	324.00	36°49'12"	184.18
C186	105.64	390.00	7°18'56"	105.58
C187	133.79	155.00	46°18'51"	175.28
C188	222.48	146.00	126°33'11"	255.61
C189	256.19	372.00	39°54'36"	253.84
C191	96.37	270.00	15°17'47"	95.89
C192	177.51	340.00	36°49'12"	174.14
C193	97.81	764.00	7°18'56"	97.34
C194	123.32	182.00	48°18'51"	148.61
C195	197.68	133.00	138°17'37"	329.14



BACK OF CURB & CENTER LINE CURVE DATA

CURVE #	LENGTH	PCOBS	DDTA	CHORD
C119	43.00	30.00	89°20'00"	42.38
C537	43.21	30.00	89°09'48"	42.49

- CONSTRUCTION NOTES:
- ① 90° WETLAND FENCE - 3"X6"
  - ② INTERSECTION SIGN DISTANCE - 280'
  - ③ PER HYDRAULIC COMPLETE PER MAG. OF 300-1



REATA RANCH

PRELIMINARY PLAN  
CITY OF SCOTTSDALE, ARIZONA

Job No. 30-11  
design JAP  
approved BNS  
data 6/20/14

Revisions

Sheet

8 of 38

SCOTTSDALE, AZ 85258  
PH: 480-343-1800  
FAX: 480-343-2800  
WWW.DJW.COM

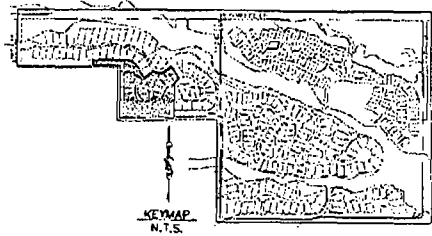
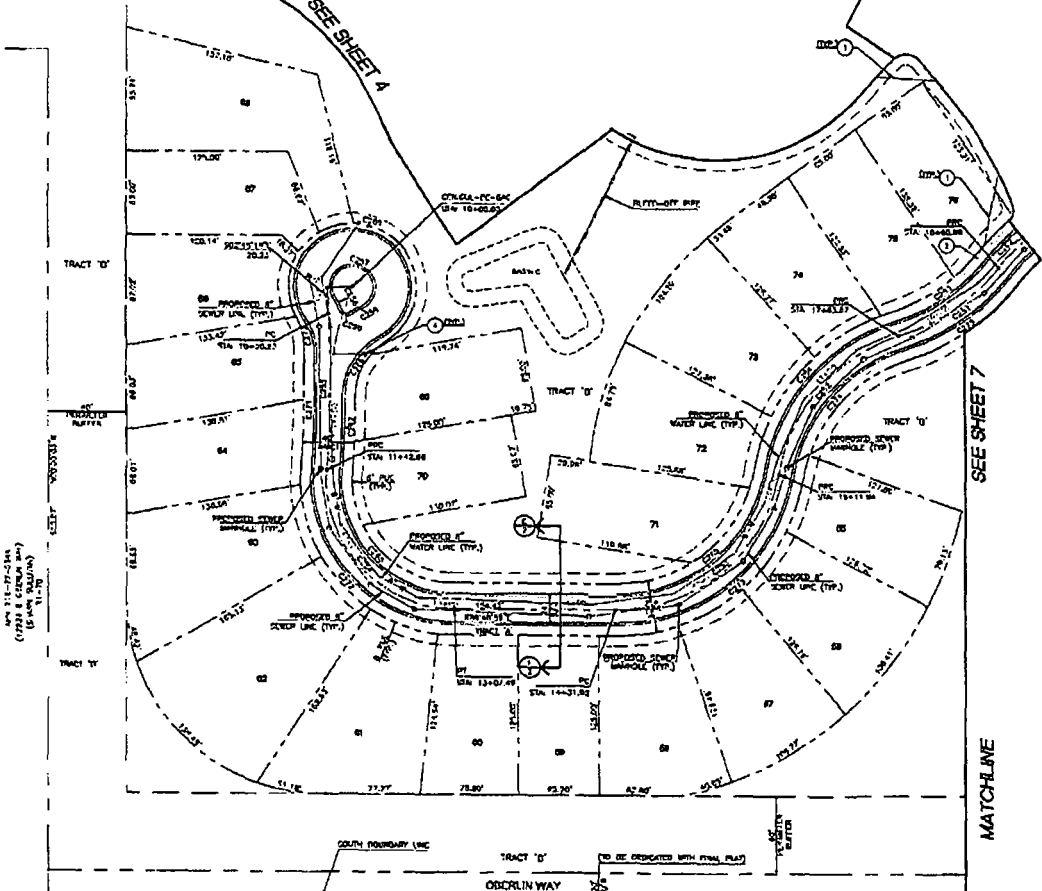
MATCHLINE

SEE SHEET A

SEE SHEET 5

SEE SHEET 7

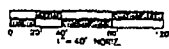
MATCHLINE



BACK OF CURB & CENTER LINE CURVE DATA

CURVE #	CHORD	BACKSIC	PIVOTA	CHORD
C201	87.12	180.00	34°40'48"	82.64
C202	181.83	148.00	42°10'48"	144.04
C211	180.62	130.00	79°20'32"	142.84
C214	184.84	105.00	67°20'32"	144.84
C215	122.43	100.00	73°20'54"	122.24
C216	111.14	85.00	74°20'54"	111.15
C217	74.83	145.00	27°18'48"	21.14
C218	111.14	85.00	74°20'54"	111.15
C219	7.00	4.00	102°20'14"	6.14
C220	53.83	153.00	17°20'14"	52.84
C221	88.24	148.00	34°18'48"	82.87
C224	104.83	152.00	42°10'48"	104.87
C225	183.44	118.00	79°20'32"	180.62
C248	183.23	285.00	64°20'32"	183.14
C217	36.83	107.20	74°20'54"	36.82
C218	25.17	85.00	87°20'48"	25.16
C219	720.14	44.00	27°15'14"	42.04
C216	21.20	53.80	32°22'48"	21.20
C217	83.70	888.00	37°20'32"	89.87
C219	184.82	112.00	84°20'32"	184.45
C220	188.44	142.00	79°20'32"	181.20
C221	134.84	174.00	62°10'48"	132.18
C222	184.47	172.00	34°40'48"	182.81

- CONSTRUCTION NOTES:
- ① SIGHT TRIANGLE = 35'x35'
  - ② INTERSECTION POINT DISTANCE = 750'
  - ③ FIRE HYDRANT COMPLETE FOR 180' D.L. 340'-1

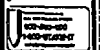


APN 216-77-0280  
PANELA PROPERTY  
81-130

WILLYA\_SECTION 14

APN 216-77-0220  
(180' W & CENTER WAY)  
(200' W & NORTH RUNDOWN)  
81-70

APN 216-77-0210  
(ROBERT BRANN)  
81-70



**REATA RANCH**  
PRELIMINARY PLAN  
CITY OF SCOTTSDALE, ARIZONA

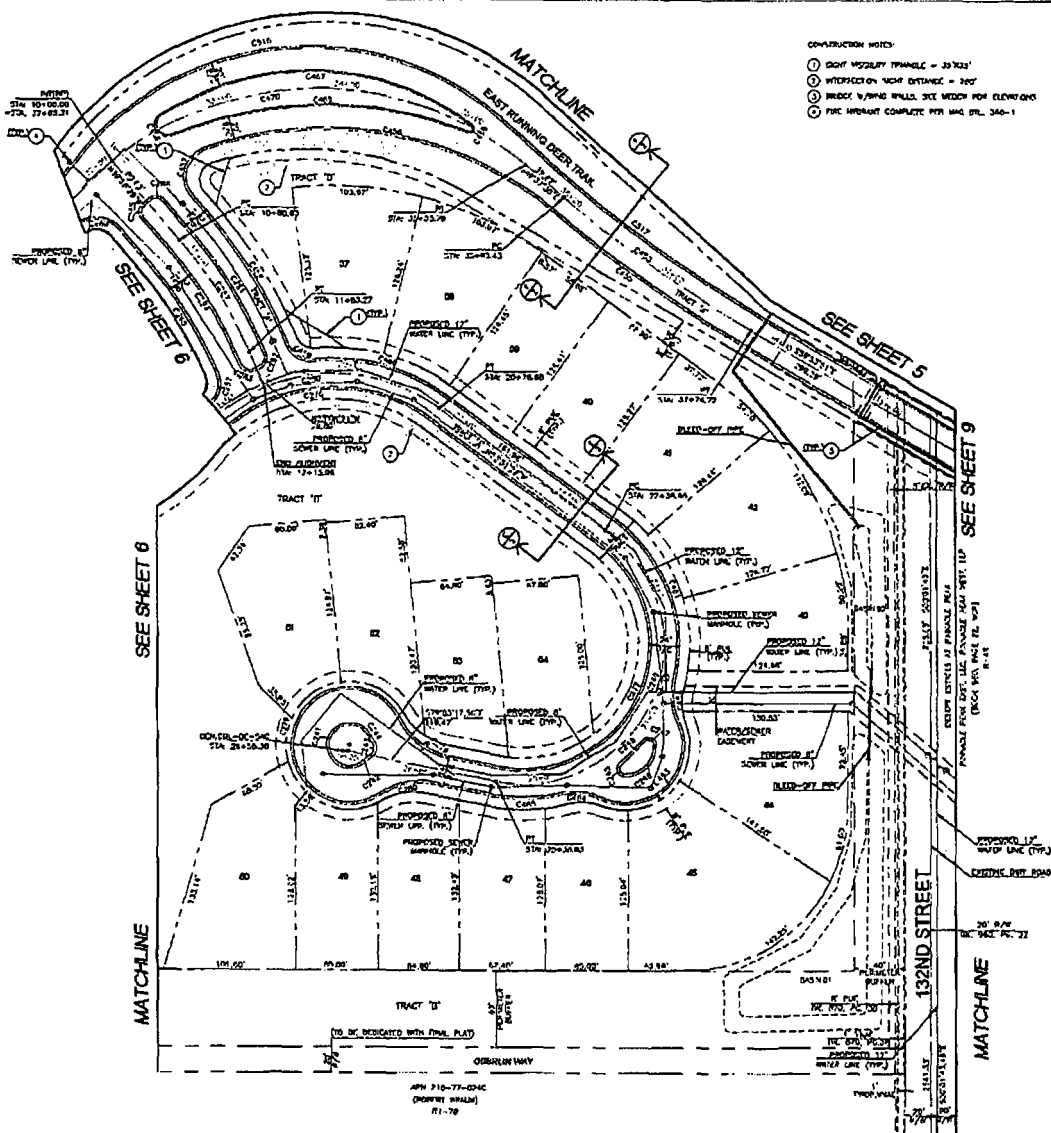
Job no. 36-11  
design JAR  
approved RGD  
date 6/20/14  
revisions

sheet  
5 of 36

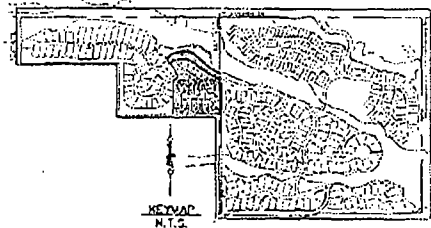
REATA RANCH

O.S. # 50-59, 50-60, PRM # 2-PP-2014, ZONING # 15-2N20R MASTER PLAN # 1-RP-2013





- CONSTRUCTION NOTES
- ① DONT VERTICAL CURVE = 33' X 33'
  - ② INTERSECTION W/RT DISTANCE = 300'
  - ③ BRIDGE W/RTING SHALL USE MDOF FOR ELEVATIONS
  - ④ PAVE IMPROVEMENT COMPLETE WITH MGS DTL 346-1



BACK OF CURVE & CENTER LINE CURVE DATA

CURVE #	LCOMT	RADIUS	DELTA	CHORD
C241	77.78	18.60	378°27'16"	20.90
C142	6.49	83.00	3°53'03"	6.42
C243	6.77	6.00	83°18'56"	6.73
C244	6.47	10.00	3°53'04"	6.41
C245	6.72	4.00	126°12'04"	7.00
C246	39.90	22.00	82°38'20"	32.09
C147	6.72	4.00	136°12'34"	7.00
C248	23.43	122.00	1°19'40"	23.30
C249	292.00	118.00	15°44'05"	214.20
C250	215.00	180.00	86°11'17"	194.84
C250	83.00	315.00	16°48'07"	93.34
C251	23.07	15.00	73°22'22"	21.82
C148	191.20	128.00	84°18'17"	174.21
C277	264.70	88.00	156°48'02"	191.20
C278	18.08	87.20	3°24'53"	18.27
C279	223.20	45.00	176°12'53"	66.12
C280	41.00	22.00	127°11'11"	46.83
C281	106.49	329.00	18°48'07"	102.09
C282	11.70	7.00	90°00'00"	16.81
C283	11.70	7.00	90°00'00"	16.81
C284	99.89	348.90	18°48'07"	93.62
C285	9.43	5.00	90°00'00"	8.49
C286	9.47	6.00	90°00'00"	8.49
C287	107.84	390.00	18°48'07"	102.97
C452	779.29	1000.00	10°14'31"	179.09
C453	172.86	1014.00	18°07'14"	172.83
C456	28.24	379.00	89°49'38"	278.77
C457	4.76	23.00	187°14'03"	37.24
C458	111.56	360.00	18°48'07"	111.18
C459	23.87	14.00	123°25'29"	21.52
C460	113.30	132.00	42°42'34"	110.80
C461	142.89	132.00	87°00'34"	134.89
C462	33.80	37.00	37°27'17"	33.26
C463	140.42	46.00	138°09'34"	63.84
C464	33.80	37.00	37°27'17"	33.26
C465	81.76	122.00	3°18'30"	81.37
C466	7.20	2.50	184°34'22"	4.96
C467	257.34	210.00	90°11'49"	214.24
C468	23.23	8.00	173°04'41"	16.84
C469	327.09	309.00	48°18'06"	290.77
C470	478.33	290.00	8°27'16"	474.70
C486	37.74	23.00	54°07'28"	33.84
C514	433.07	290.00	187°47'04"	372.45
C517	546.46	488.00	139°00'00"	334.60

REATA RANCH

PRELIMINARY PLAN

CITY OF SCOTTSDALE, ARIZONA

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job no. 20-11  
 design by  
 approved by  
 date 2019

revisions

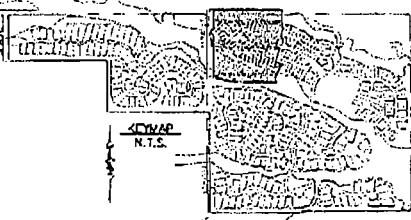
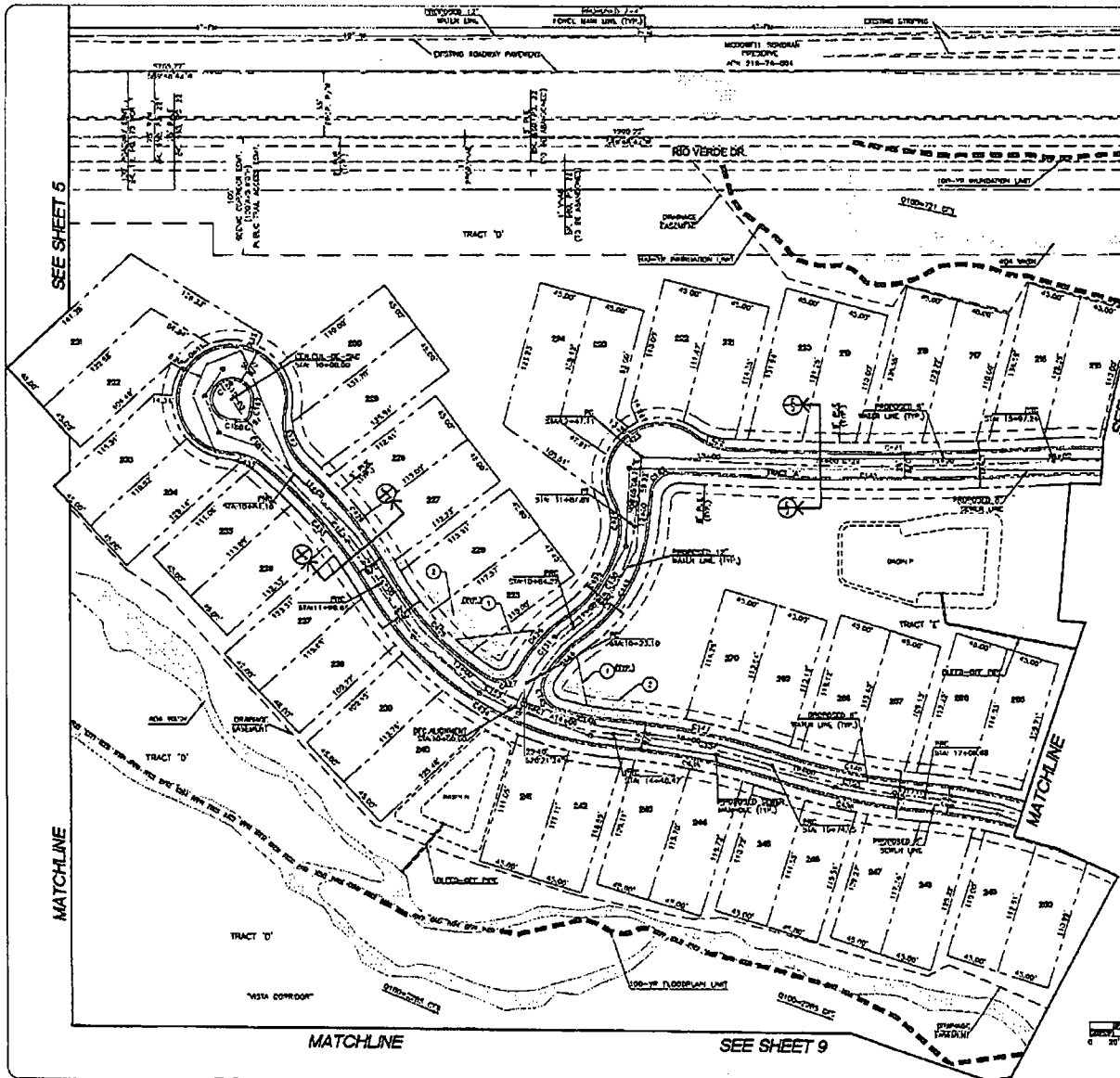
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sheet

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REATA RANCH

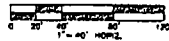
C.S. # 50-59, 50-60, PHLM # 2-PP-2014, ZONING # 15-ZN2011, MASTER PLAN # 1-MP-2013



BACK OF CURB & CENTER LINE CURVE DATA

CURVE #	LENGTH	RADIUS	DELTA	CHORD
C108	200.12	2946.75	7°18'36"	348.85
C109	183.82	120.00	89°29'32"	100.43
C131	81.17	120.00	24°12'17"	88.81
C141	332.88	2576.70	7°10'54"	322.82
C142	37.52	14.00	87°38'11"	24.82
C143	113.86	132.00	47°22'21"	110.48
C144	42.87	104.00	37°44'22"	42.24
C145	33.43	18.00	06°28'40"	28.64
C146	47.43	128.00	17°28'51"	47.00
C147	137.17	412.00	12°50'20"	128.88
C148	131.08	649.00	12°48'14"	125.76
C151	81.10	300.00	15°29'20"	80.83
C182	117.86	400.00	16°50'21"	117.44
C183	241.81	236.00	33°25'02"	232.30
C184	134.48	400.00	12°07'33"	134.20
C185	153.73	993.00	12°46'14"	153.44
C186	77.83	16.00	27°04'11"	20.77
C187	8.31	78.00	6°08'27"	8.31
C181	9.29	8.00	87°50'42"	8.71
C189	4.71	76.00	8°08'27"	8.31
C197	278.14	254.75	41°16'10"	275.97
C192	31.00	45.00	37°02'51"	26.44
C193	196.43	44.00	156°24'21"	89.18
C194	24.07	44.00	48°26'20"	23.31
C195	78.81	108.00	42°14'02"	77.82
C196	40.33	132.00	26°11'17"	38.87
C197	28.14	16.00	47°42'04"	28.66
C198	117.02	326.00	24°16'17"	115.84
C199	121.02	412.00	16°50'21"	120.93
C190	48.00	48.00	56°26'13"	48.00
C191	274.63	48.00	27°04'11"	267.71
C192	31.34	48.00	37°24'14"	30.78
C193	125.87	258.00	20°02'04"	124.88
C194	253.42	247.00	67°23'05"	243.88
C195	21.79	894.00	12°30'30"	21.61
C196	138.41	812.00	12°47'14"	136.13

- CONSTRUCTION NOTES:
- ① SIGN HEIGHT FRAME = 35'33"
  - ② INTERSECTION SIGN DISTANCE = 280'
  - ③ FIRE HYDRANT COMPLETE PER IAC OR. 300-1



REATA RANCH

PRELIMINARY PLAN  
CITY OF SCOTTSDALE, ARIZONA

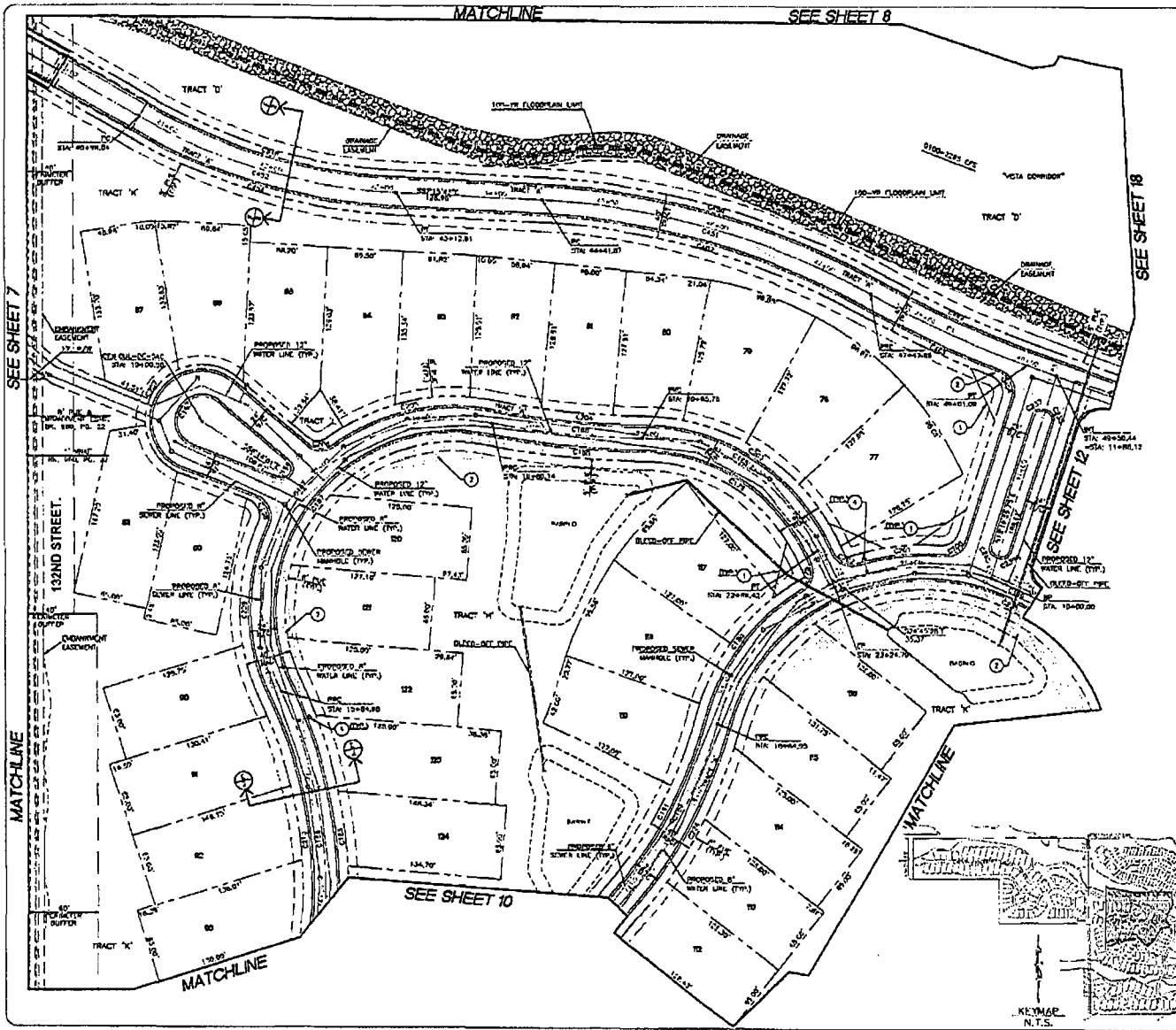
Job no. 20-11  
design JLR  
approved MJD  
date 02/21

revisions

sheet  
8 of 38

CSO INTERPRET, INC.  
1000 L. WATKINS DRIVE  
SUITE 100  
SCOTTSDALE, AZ 85260  
PH: 480-940-8888  
FAX: 480-940-9888  
WWW.CSOWAL.COM

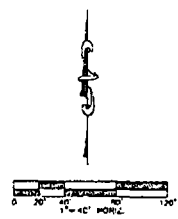
REATA RANCH  
O.S. # 50-58-50-60, PRLM # 15-ZN2014, MASTER PLAN # 1-MP-2013



**BACK OF CURB A CENTER LINE CURVE DATA**

CURVE #	LENGTH	PIVOT	BPT	CIORD
C1	153.43	1005.00	84727	153.25
C143	75.86	32.00	1894305	45.20
C144	37.93	6.00	1891736	15.71
C145	125.87	170.00	421418	143.76
C146	125.81	200.00	1178700	175.42
C147	375.19	170.00	1101023	303.24
C148	740.95	400.00	3831482	710.71
C170	109.68	180.00	8240110	170.49
C178	26.81	18.00	8200140	23.82
C190	147.58	300.00	4170246	140.26
C141	191.19	300.00	3844543	174.49
C148	277.04	410.00	3831482	271.49
C187	346.88	150.00	17896337	292.11
C188	137.84	710.00	1700699	137.92
C189	189.72	400.00	2844443	185.03
C19	683.58	180.00	2094234	373.41
C20	24.75	18.00	786144	22.31
C201	77.87	702.00	220157	77.48
C09	55.81	18.00	8200640	23.82
C03	287.34	140.00	821818	194.26
C04	133.29	499.00	1106100	133.04
C205	148.97	180.00	471248	143.76
C208	24.11	18.00	704448	22.33
C207	180.33	48.00	1094203	70.94
C208	24.11	18.00	823807	24.24
C209	136.44	100.00	185248	133.48
C010	290.42	399.00	863148	250.01
C24	182.32	412.00	2844443	180.54
C22	83.84	178.00	7094734	300.20
C27	8.12	6.00	800000	8.49
C28	8.42	8.99	800000	8.48
C28	8.42	6.00	800000	8.49
C28	8.42	6.00	800000	8.49
C02	298.44	981.00	273721	298.03
C43	154.25	1014.00	73309	134.14
C49	37.40	14.00	871323	34.73
C44	131.29	890.00	84727	121.13
C45	312.13	890.00	73721	308.47
C41	395.70	878.00	188971	300.14
C42	236.40	800.00	272123	234.34
C46	245.48	814.00	272123	243.18
C18	237.11	490.00	272123	229.41

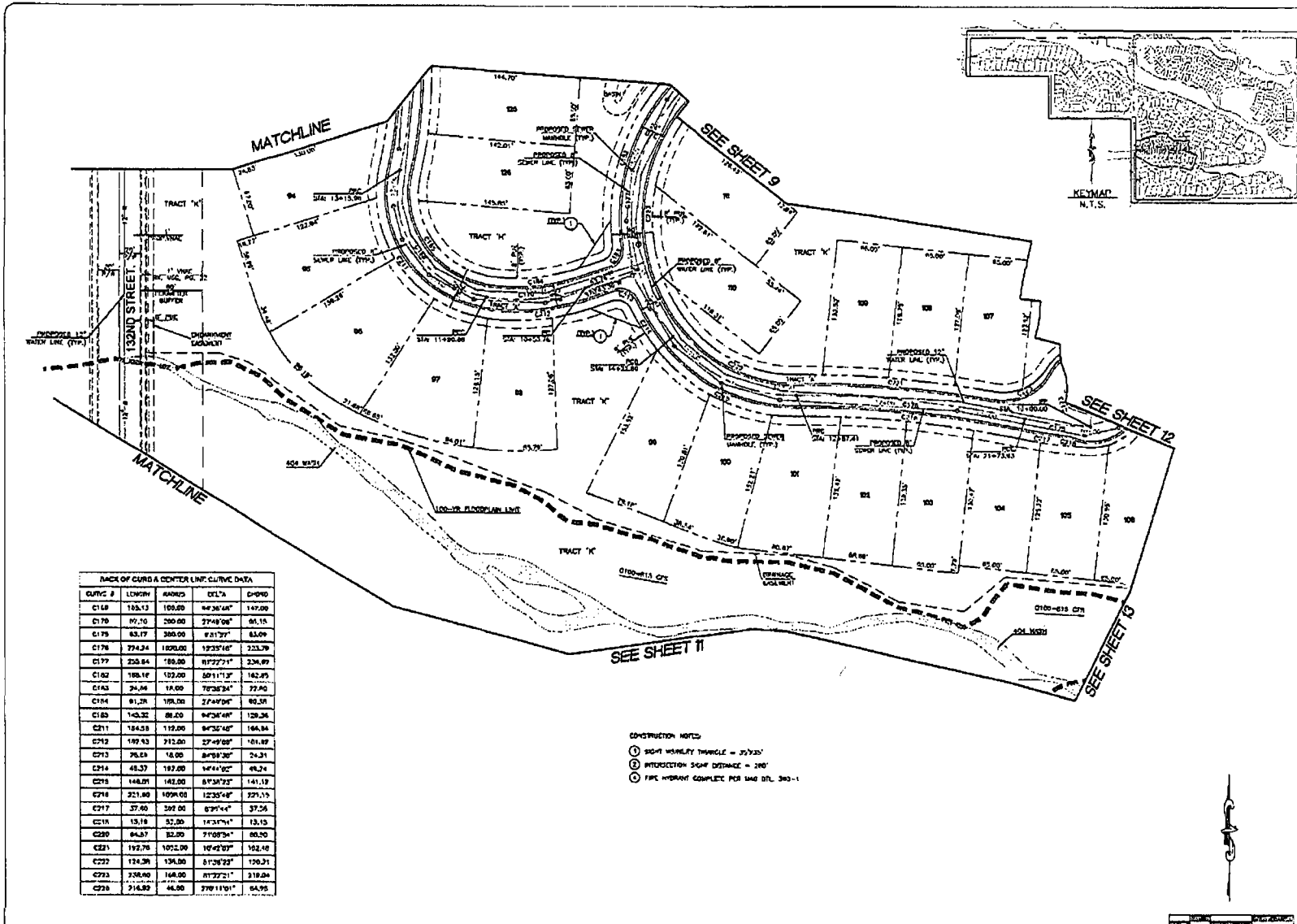
**CONSTRUCTION NOTES:**  
 1. 8'-0" VISIBILITY TRIANGLE = 35'-0"  
 2. INTERSECTION SIGHT DISTANCE = 200'  
 3. PAVE W/DRIVE COMPLETE FOR H&O STL 380'-1'



**REATA RANCH**  
 PRELIMINARY PLAN  
 CITY OF SCOTTSDALE, ARIZONA

job no.	2011
design	SAJ
approved	DS
date	5/20/14
revisions	
sheet	8 of 38

REATA RANCH  
 O.S. # 50-59, 50-60, PRLM # 2-PP-2014, ZONING # 15-ZN2011, MASTER PLAN # 1-PP-2013

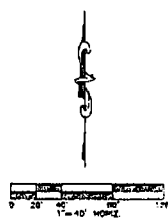


**BACK OF CURB A CENTER LINE CURVE DATA**

CURVE #	LOWBY	BACKSIC	DELTA	CHORD
C169	155.12	169.00	84°30'48"	147.00
C170	92.70	200.00	37°49'08"	86.15
C175	63.17	300.00	8°21'37"	63.09
C176	774.24	1020.00	19°33'48"	223.78
C177	253.64	180.00	81°22'21"	224.89
C182	188.16	120.00	69°11'13"	162.85
C183	24.04	15.00	79°38'34"	22.80
C184	61.28	105.00	2°49'09"	80.20
C185	143.32	80.00	84°26'48"	128.24
C211	184.53	120.00	84°32'48"	164.84
C212	192.43	210.00	27°49'08"	161.89
C213	26.63	15.00	84°59'30"	24.21
C214	48.37	187.00	14°41'02"	49.24
C215	148.01	142.00	8°33'23"	141.12
C216	221.80	1098.00	12°35'48"	221.13
C217	37.80	292.00	8°29'44"	37.56
C218	15.18	52.00	14°31'41"	15.15
C220	64.67	52.00	7°10'09"	80.20
C221	192.76	1012.00	10°42'02"	192.48
C222	124.28	124.00	81°26'22"	126.21
C223	228.80	168.00	81°22'21"	218.04
C224	216.82	64.00	7°01'10"	64.95

**CONSTRUCTION NOTES**

- 1 SOFT WAREBLE THICKNESS = 30.75"
- 2 INTERSECTION SCAMP DISTANCE = 200'
- 3 PIPE HYDRANT COMPLETE PER IAWG DTL 303-1



**REATA RANCH**  
PRELIMINARY PLAT  
CITY OF SCOTTSDALE, ARIZONA

510 ENTERPRISE, INC.  
400 E. SHANTREE DRIVE  
SUITE 100  
SCOTTSDALE, AZ 85259  
PH: 602-954-9977  
FAX: 602-954-9977  
WWW.ETICAL.COM

SEAL

REGISTERED PROFESSIONAL ENGINEER  
NO. 14842  
STATE OF ARIZONA

REGISTERED PROFESSIONAL LAND SURVEYOR  
NO. 27622-AT  
STATE OF ARIZONA

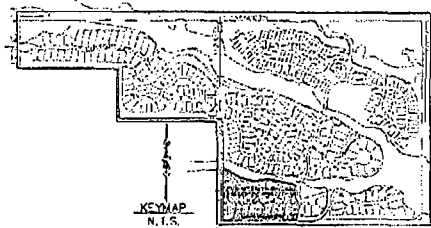
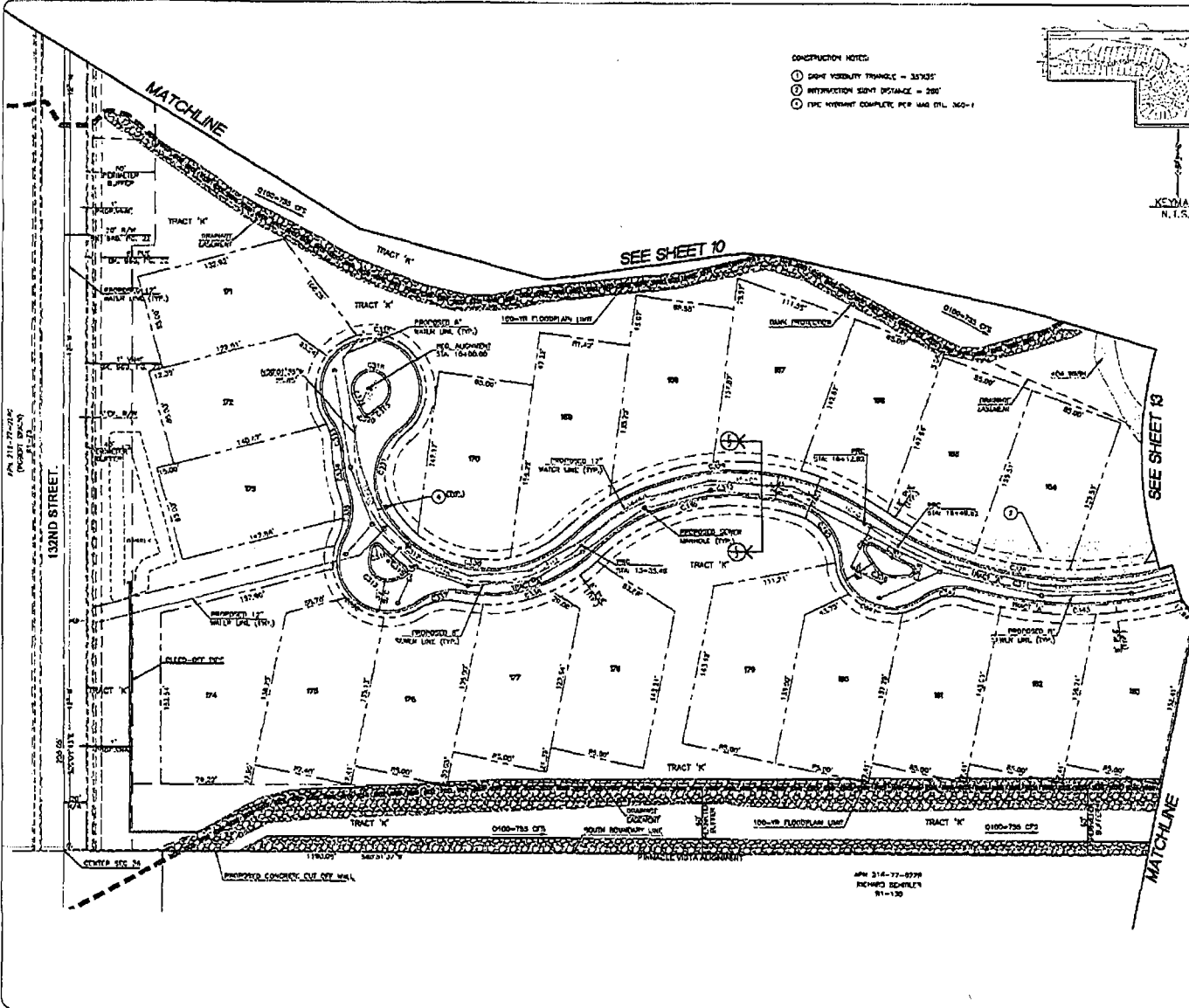
REATA RANCH

Job no. 50-11  
design JAR  
approved CAG  
date 5/20/14  
revisions

sheet

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O.S. # 50-59, 50-60, PRLM # 2-PP-2014, ZONING# 15-ZN2011, MASTER PLAN# 1-MP-2016



BACK OF CURB & CENTER LINE CURVE DATA

CURVE #	LENGTH	RADIUS	DTLTA	CURVE
C207	34.16	342.00	87.3743°	34.16
C208	10.63	4.00	162.1832°	7.77
C209	16.99	18.00	104.4743°	15.94
C210	10.78	4.00	154.2231°	7.80
C211	301.21	400.00	32.1751°	298.84
C212	277.42	281.41	28.5022°	274.09
C213	32.20	18.00	119.1732°	27.25
C214	8.88	4.00	128.6034°	7.21
C215	25.13	132.00	12.3641°	24.07
C216	8.99	4.00	128.6034°	7.21
C217	202.40	120.00	118.0823°	204.40
C218	26.06	18.00	27.1607°	25.42
C219	12.18	42.00	8.3933°	12.15
C220	7.40	4.00	109.5838°	4.28
C221	12.18	42.00	8.3933°	12.15
C222	281.13	318.00	30.3932°	273.87
C223	283.83	213.41	28.5022°	271.29
C224	185.24	168.00	18.5244°	184.72
C225	77.18	32.00	85.0324°	70.78
C226	217.81	44.00	27.1607°	64.81
C227	31.19	18.00	34.2132°	30.72
C228	35.41	132.00	10.3308°	35.20
C229	42.14	52.00	40.2241°	40.21
C230	42.14	52.00	40.2241°	40.21
C231	124.02	48.00	188.3634°	67.02
C232	42.14	52.00	40.2241°	40.21
C233	123.96	120.00	12.3641°	119.48
C234	203.20	180.00	31.2231°	183.84
C235	83.51	82.00	70.2542°	84.04
C236	92.48	45.00	127.1332°	81.18
C237	47.33	52.00	32.0012°	45.10
C238	147.88	342.00	22.0642°	146.71

**REATA RANCH**  
 PRELIMINARY PLAN  
 CITY OF SCOTTSDALE, ARIZONA

Job no. 30-11  
 design JAR  
 approved SKD  
 date 9/2/14

revisions  
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sheet  
 11 of 38

C.S. # 50-59, 50-60, PRELIM # 2-PP-2014, ZONING # 15-ZN2011, MASTER PLAN # M-P-10-3  
 REATA RANCH

REATA RANCH



SCOTT E. HINES, INC.  
3000 E. SANDSTONE DRIVE  
LITCHFIELD, AZ 85140  
PH: 480-459-4848  
WWW.SHI.CO.AZ



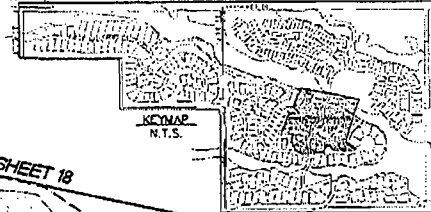
PAUL A. WHITE, INC.  
3000 E. SANDSTONE DRIVE  
LITCHFIELD, AZ 85140  
PH: 480-459-4848  
WWW.SHI.CO.AZ



**REATA RANCH**  
PRELIMINARY PLAT  
CITY OF SCOTTSDALE, ARIZONA

Job no. 10-11  
Design JAR  
Approved NPS  
Date 02/14  
Revisions  
Sheet 12 of 38

C.S. # 50-59; 50-60, PRLM # 2-PF-2014; ZONING # IS-ZN2014; MASTER PLAN # 1-MP-2010



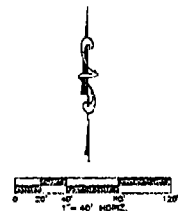
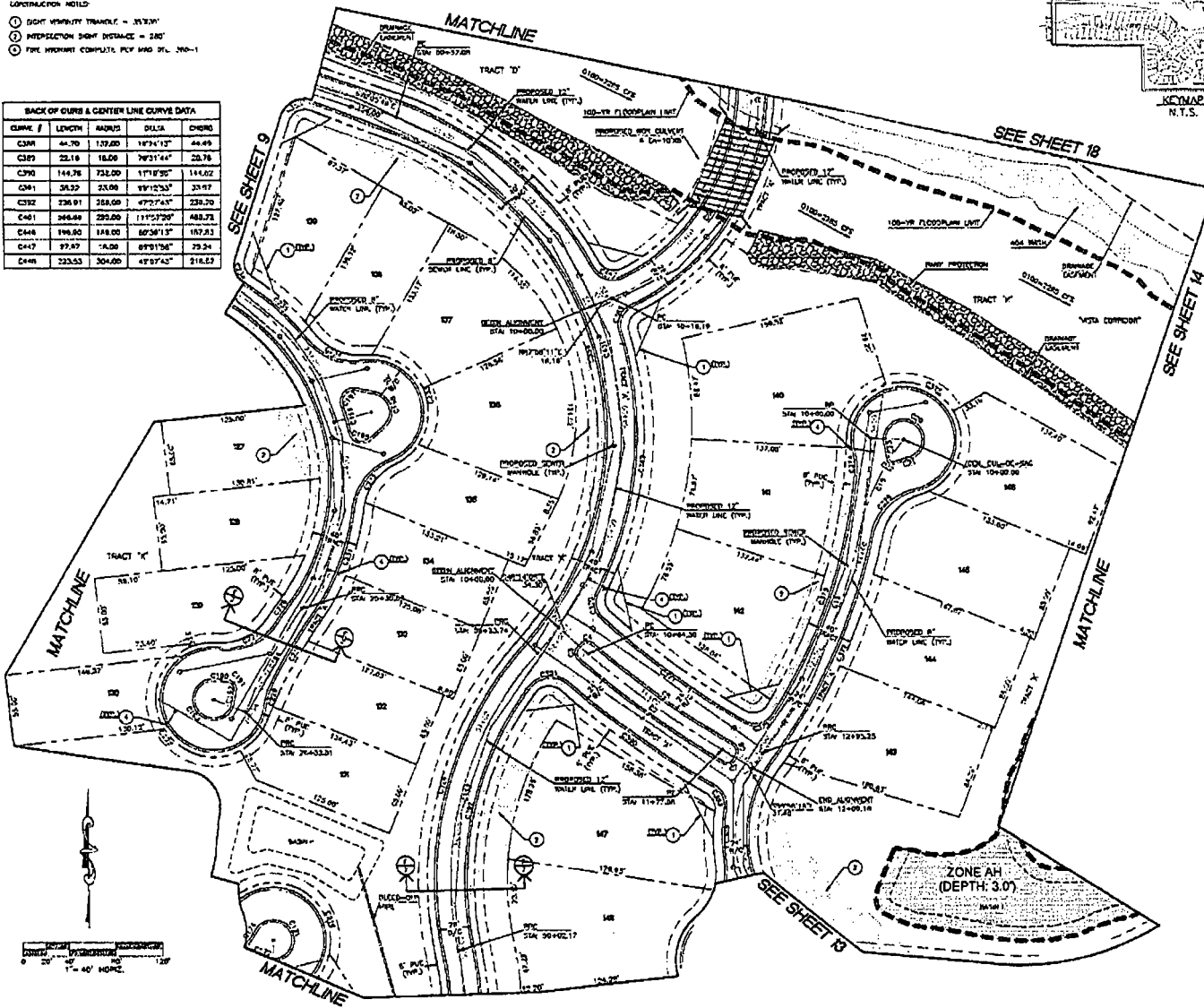
BACK OF CURBS & CENTER LINE CURVE DATA

CURVE #	LENGTH	RADIUS	DELTA	CHORD
C1	148.00	704.00	174°10"	144.77
C2	8.42	6.00	80°00'00"	6.49
C3	8.42	6.00	80°00'00"	6.48
C4	41.34	692.00	174°10"	141.20
C5	8.42	6.00	80°00'00"	6.49
C6	8.42	6.00	80°00'00"	6.49
C7	8.42	6.00	80°00'00"	6.49
C8	81.84	193.00	27°12'00"	84.78
C9	239.38	480.00	20°14'40"	230.85
C10	75.01	14.00	27°31'27"	72.31
C11	12.04	80.00	8°27'14"	12.03
C12	7.37	4.00	105°28'00"	6.37
C13	12.84	80.00	8°27'14"	12.83
C14	328.00	200.00	80°22'34"	316.38
C15	278.40	300.00	45°29'24"	278.38
C16	72.75	18.00	28°23'11"	74.92
C17	12.10	47.00	8°27'14"	12.09
C18	12.10	47.00	8°27'14"	12.09
C19	12.10	47.00	8°27'14"	12.09
C20	12.10	47.00	8°27'14"	12.09
C21	12.10	47.00	8°27'14"	12.09
C22	12.10	47.00	8°27'14"	12.09
C23	12.10	47.00	8°27'14"	12.09
C24	12.10	47.00	8°27'14"	12.09
C25	12.10	47.00	8°27'14"	12.09
C26	12.10	47.00	8°27'14"	12.09
C27	12.10	47.00	8°27'14"	12.09
C28	12.10	47.00	8°27'14"	12.09
C29	12.10	47.00	8°27'14"	12.09
C30	12.10	47.00	8°27'14"	12.09
C31	12.10	47.00	8°27'14"	12.09
C32	12.10	47.00	8°27'14"	12.09
C33	12.10	47.00	8°27'14"	12.09
C34	12.10	47.00	8°27'14"	12.09
C35	12.10	47.00	8°27'14"	12.09
C36	12.10	47.00	8°27'14"	12.09
C37	12.10	47.00	8°27'14"	12.09
C38	12.10	47.00	8°27'14"	12.09
C39	12.10	47.00	8°27'14"	12.09
C40	12.10	47.00	8°27'14"	12.09
C41	12.10	47.00	8°27'14"	12.09
C42	12.10	47.00	8°27'14"	12.09
C43	12.10	47.00	8°27'14"	12.09
C44	12.10	47.00	8°27'14"	12.09
C45	12.10	47.00	8°27'14"	12.09
C46	12.10	47.00	8°27'14"	12.09
C47	12.10	47.00	8°27'14"	12.09
C48	12.10	47.00	8°27'14"	12.09
C49	12.10	47.00	8°27'14"	12.09
C50	12.10	47.00	8°27'14"	12.09
C51	12.10	47.00	8°27'14"	12.09
C52	12.10	47.00	8°27'14"	12.09
C53	12.10	47.00	8°27'14"	12.09
C54	12.10	47.00	8°27'14"	12.09
C55	12.10	47.00	8°27'14"	12.09
C56	12.10	47.00	8°27'14"	12.09
C57	12.10	47.00	8°27'14"	12.09
C58	12.10	47.00	8°27'14"	12.09
C59	12.10	47.00	8°27'14"	12.09
C60	12.10	47.00	8°27'14"	12.09

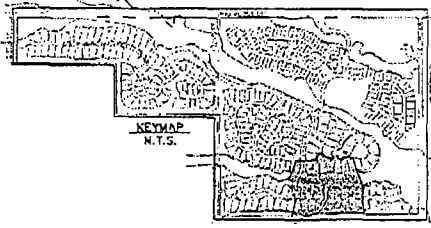
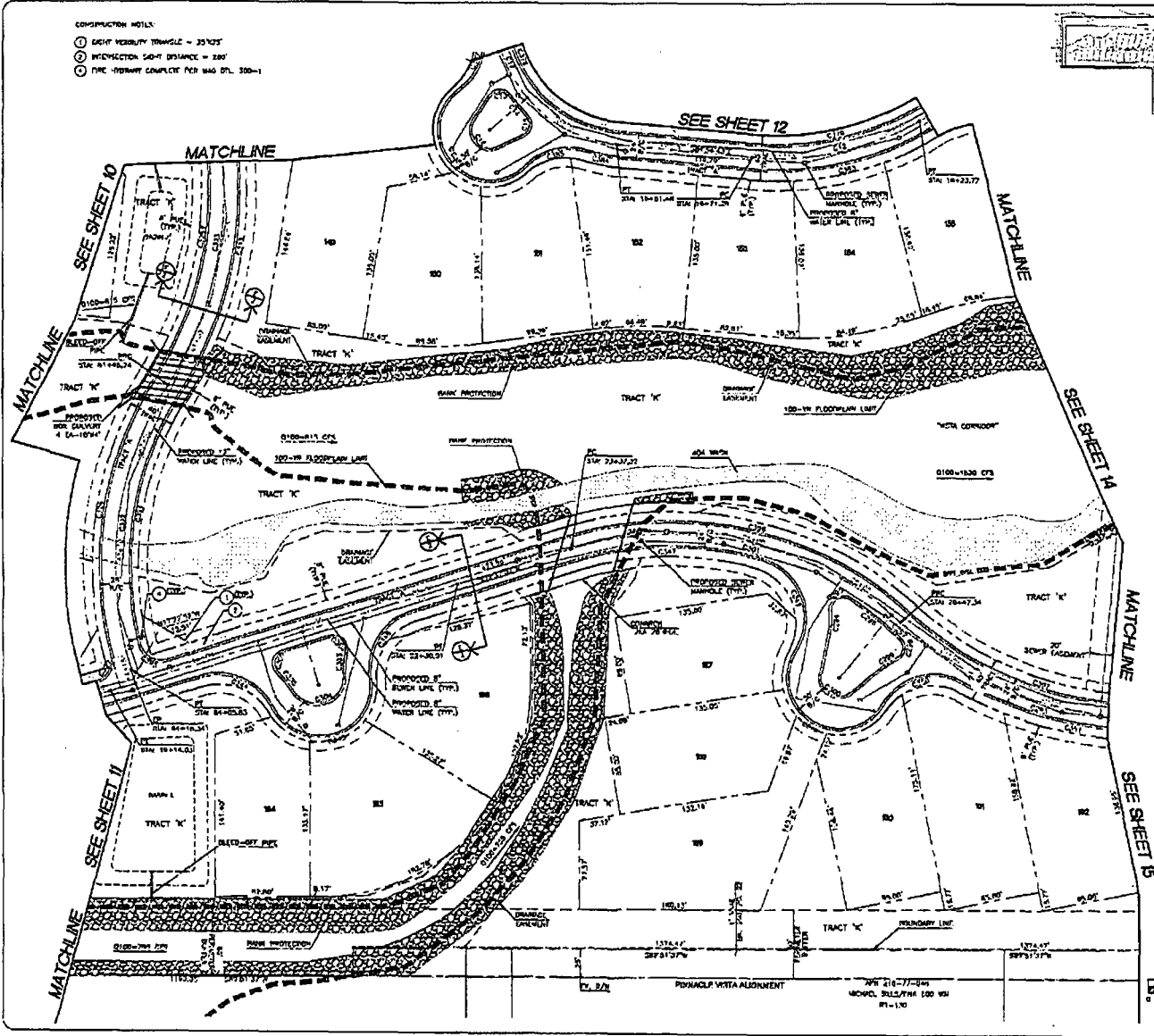
- CONSTRUCTION NOTES
- 1. SIGHT TRIANGLE - SEE PLAN
  - 2. INTERSECTION POINT DISTANCE = 200'
  - 3. FIRE DEPARTMENT COMPLETE PUMP AND 3"00" DIA. 150-1

BACK OF CURBS & CENTER LINE CURVE DATA

CURVE #	LENGTH	RADIUS	DELTA	CHORD
C361	44.70	137.00	187°21'17"	44.49
C362	22.18	18.00	78°21'44"	22.78
C363	144.78	731.00	171°18'50"	144.02
C364	34.32	23.00	88°12'33"	33.97
C365	236.91	258.00	47°27'43"	228.70
C366	266.69	220.00	111°27'20"	288.72
C367	198.80	188.00	80°58'13"	187.81
C368	27.87	18.00	87°01'56"	27.24
C369	225.53	204.00	47°07'42"	218.23



- CONSTRUCTION NOTES
- ① EXIST. VERTICAL TANGENT = 35.00'
  - ② PROJECTION 50-M' DISTANCE = 330'
  - ③ THE TYPICAL COMPLETE PER MAG. ST. 330-1



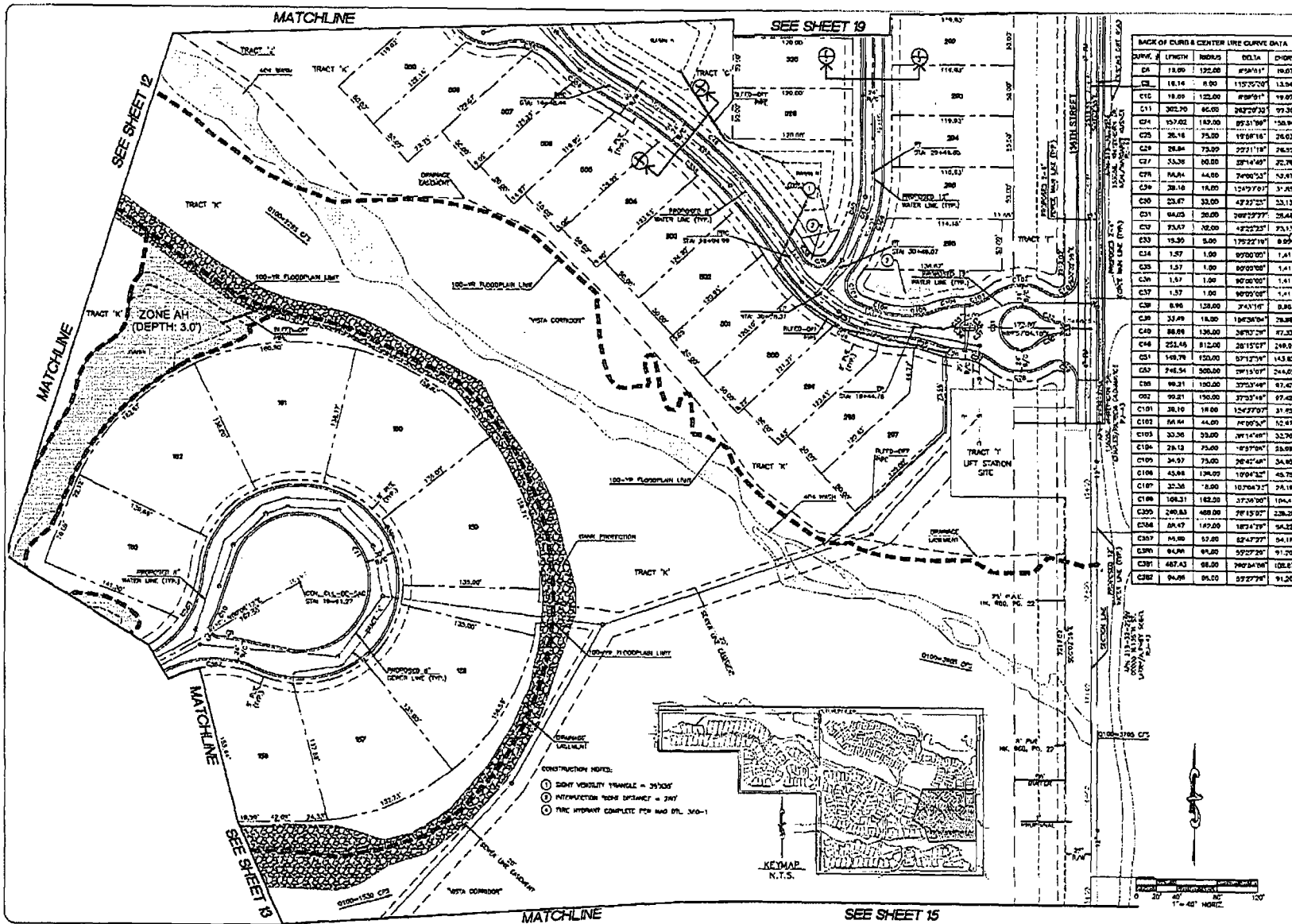
BACK OF CURB & CENTER LINE CURV. DATA

CURVE #	LENGTH	RADIUS	DELTA	CHORD
C12	152.80	2500.00	349°30'00"	150.19
C13	19.20	10.00	11°42'00"	14.33
C14	24.64	139.00	10°28'00"	24.00
C15	19.50	10.00	11°42'00"	18.33
C16	41.28	18.00	149°01'45"	30.88
C17	206.19	130.00	122°18'20"	215.24
C18	273.28	200.00	48°07'00"	245.15
C19	22.95	75.00	17°16'54"	22.96
C20	22.32	10.00	137°18'44"	17.97
C21	47.43	200.00	9°28'12"	47.38
C22	15.70	332.00	1°25'30"	15.22
C23	18.74	10.00	11°30'00"	18.08
C24	14.78	75.00	12°28'14"	14.75
C25	29.52	18.00	14°26'29"	30.21
C26	210.03	100.00	39°12'30"	206.11
C27	20.81	10.00	11°51'00"	19.70
C28	21.04	74.00	13°51'00"	20.99
C29	42.86	20.00	150°11'46"	45.72
C30	21.04	70.00	18°31'54"	20.98
C31	20.21	10.00	11°14'41"	19.79
C32	250.09	300.00	49°46'20"	252.00
C33	243.08	330.00	43°38'00"	237.73
C34	232.91	300.00	43°38'30"	227.33
C35	259.59	314.00	44°37'30"	248.57
C36	39.34	18.00	88°34'12"	38.14
C37	23.85	32.00	81°02'24"	23.09
C38	130.15	48.00	147°04'42"	99.09
C39	23.86	32.00	81°02'24"	23.09
C40	193.21	200.00	32°33'36"	183.24
C41	67.16	10.00	109°58'22"	63.90
C42	142.83	44.00	181°48'42"	91.99
C43	78.69	10.00	87°48'00"	75.12
C44	206.56	332.00	30°30'42"	200.23
C45	230.07	100.00	120°19'20"	190.21
C46	142.19	200.00	34°32'00"	143.94
C47	159.82	202.00	34°57'00"	157.94
C48	27.31	32.00	11°04'24"	27.46
C49	94.81	52.00	82°39'30"	94.03
C50	127.00	48.00	187°18'12"	91.70
C51	25.41	52.00	40°35'40"	24.03
C52	294.22	330.00	52°36'30"	248.13
C53	228.78	280.00	49°55'30"	223.18
C54	29.40	18.00	92°44'30"	28.77
C55	222.43	312.00	59°12'30"	205.27
C56	263.14	300.00	48°27'00"	250.21



**REATA RANCH**  
 PRELIMINARY PLAN  
 CITY OF SCOTTSDALE, ARIZONA

NO.	DATE	BY	CHKD.
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100	2011		



**BACK OF CURB & CENTER LINE CURVE DATA**

SURVE. #	LENGTH	BEARINGS	DELTA	CHORD
C4	18.14	8.00	115°32'54"	13.54
C5	18.28	122.00	8°59'51"	19.87
C11	302.70	82.00	242°29'32"	97.39
C24	157.02	132.00	89°31'30"	108.84
C25	26.14	75.00	19°08'14"	26.03
C29	28.84	75.00	222°11'18"	26.37
C27	53.26	60.00	22°14'43"	27.76
C76	14.84	44.00	24°00'53"	13.47
C26	38.16	14.00	124°57'47"	37.75
C10	23.67	33.00	42°27'23"	23.13
C31	64.03	20.00	287°27'27"	28.44
C12	73.67	20.00	42°27'23"	73.13
C33	15.30	5.00	175°22'19"	8.62
C14	1.57	1.00	89°02'02"	1.41
C35	1.57	1.00	89°02'02"	1.41
C36	1.57	1.00	89°02'02"	1.41
C37	1.57	1.00	89°02'02"	1.41
C38	6.96	128.00	2°43'16"	6.96
C39	33.49	18.00	146°34'34"	28.86
C40	88.86	136.00	267°21'29"	87.33
C48	251.45	812.00	28°15'02"	248.97
C51	149.78	125.00	87°12'34"	143.82
C52	242.54	305.00	27°13'57"	244.02
C56	98.21	150.00	37°33'44"	97.42
C52	98.21	150.00	37°33'44"	97.42
C101	38.10	18.00	124°27'27"	37.20
C102	56.64	44.00	78°05'11"	52.47
C103	33.26	29.00	281°45'41"	32.76
C104	28.13	75.00	87°59'54"	28.03
C109	34.97	75.00	26°42'41"	34.45
C106	43.88	174.00	170°43'21"	43.73
C107	31.26	18.00	107°04'17"	31.16
C108	108.21	182.20	37°39'30"	106.14
C105	240.43	480.00	78°15'07"	238.15
C106	36.47	167.00	182°47'39"	36.22
C107	36.46	57.00	82°47'27"	36.18
C108	84.94	84.00	52°27'28"	81.70
C109	487.43	98.00	740°34'08"	483.57
C102	94.08	95.00	82°27'28"	91.20

**REATA RANCH**  
 PRELIMINARY PLAN  
 CITY OF SCOTTSDALE, ARIZONA

Job no. 2011  
 design SAR  
 approved SCS  
 date 5/2/11

revisions

sheet  
 14 of 28

O.S. # 50-59, 50-60, PRLM # 2-PP-2014, ZONING# 15-ZR2011, MASTER PLAN# 1-MP-2013





SKG CONSULTING, INC.  
1750 N. MOUNTAIN VIEW DRIVE  
SUITE 540  
SCOTTSDALE, AZ 85258  
TEL: 480-998-8888  
FAX: 480-998-8883  
WWW.SKGCAL.COM



100-000000  
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**REATA RANCH**  
PRELIMINARY PLAT  
CITY OF SCOTTSDALE, ARIZONA

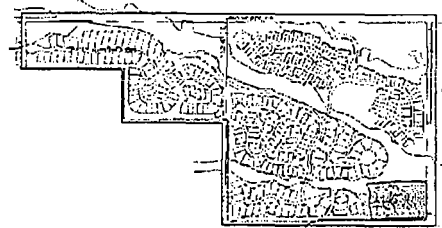
job no. 35-11  
design JAK  
approved RJC  
date 5/20/14

revisions

sheet  
16 of 38

REATA RANCH

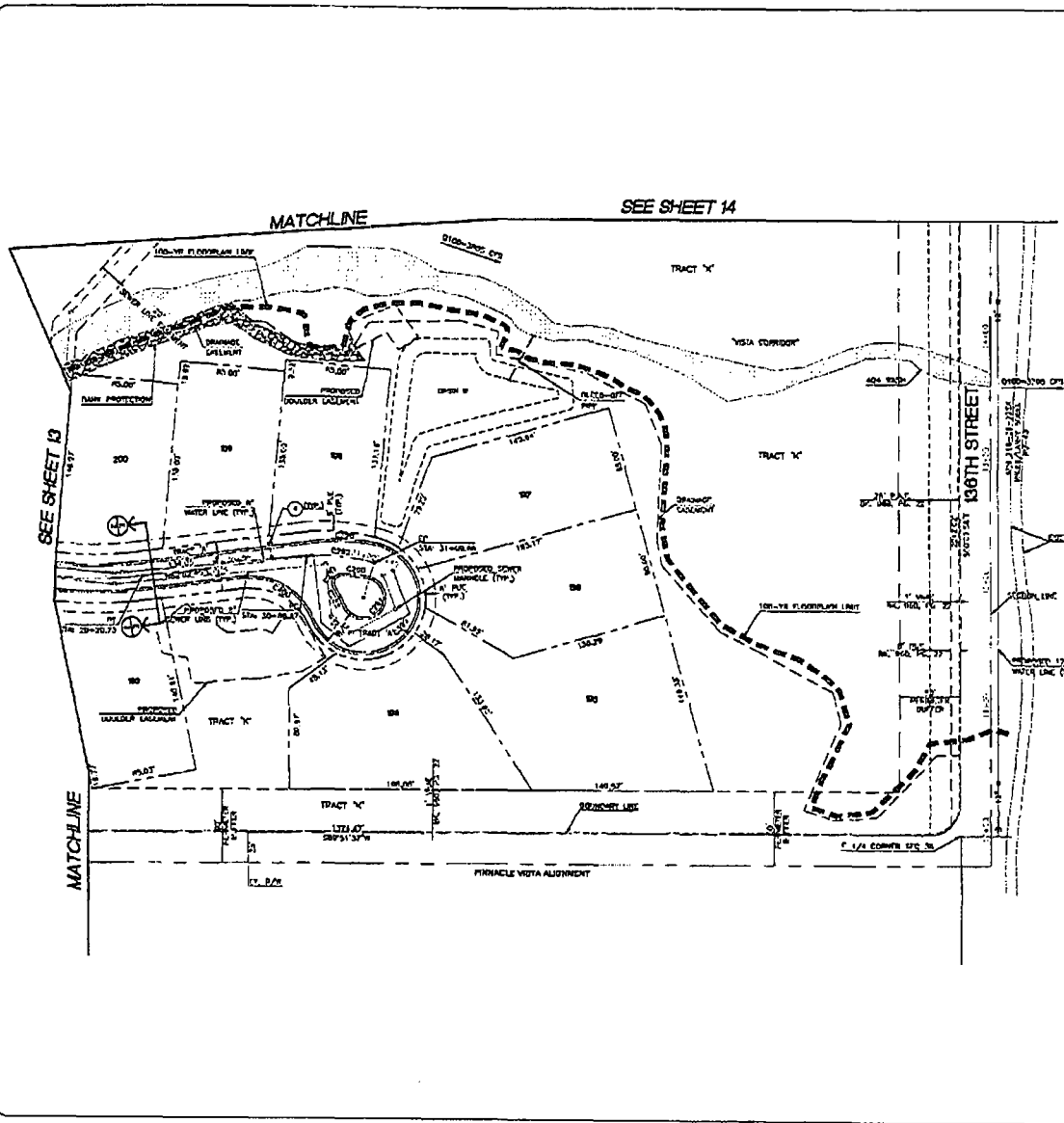
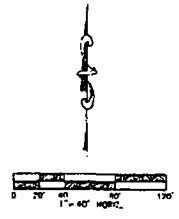
O.S. # 50-59, 50-60, PPLM # 2-PP-2014, ZONING# 15-ZN2011, MASTER PLAN# 1-MP-2013



BACK OF CURB & CENTER LINE CURVE DATA

CURVE #	LENGTH	RADIUS	DELTA	CHORD
CP06	14.24	63.00	172°1'42"	14.33
CP08	12.09	6.00	129°01'54"	10.70
CP09	20.29	120.00	8°41'10"	20.25
CP01	60.37	16.00	237°30'34"	20.63
CP02	54.48	130.00	2°18'41"	54.41
CP04	45.92	150.00	7°23'29"	45.44
CP05	190.00	66.00	237°09'29"	66.00
C400	26.14	63.00	70°04'54"	62.22

- CONSTRUCTION NOTES
- ① SIGHT TRIANGLE "TRIANGLE" = 70/300'
  - ② INTERSECTION SIGHT DISTANCE = 390'
  - ③ FIRE HYDRANT COMPLETE PER IAS STD. 591-1



SEE SHEET 14

SEE SHEET 13

MATCHLINE

MATCHLINE

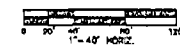
- CONSTRUCTION NOTES:
- ① SHORT VERTICAL CURVE = 35%±
  - ② INTERSECTION SIGHT DISTANCE = 287'
  - ③ FIRE HYDRANT COMPLETE PER MUT RES. 360-1


BACK OF CURVE & CENTER LINE CURVE DATA

CURVE #	LENGTH	PC/USC	DC/TA	CHORD
C114	92.30	150.00	37°13'27"	90.29
C115	30.00	37.200	8°34'27"	30.00
C116	32.33	60.00	7°39'48"	31.90
C117	129.70	49.00	14°42'32"	80.83
C118	42.00	60.00	48°14'27"	40.81
C119	92.00	99.00	6°22'58"	92.91
C120	165.24	345.00	18°32'51"	165.23
C121	762.81	312.00	48°18'27"	254.83




BACK OF CURVE & CENTER LINE CURVE DATA

CURVE #	LENGTH	PC/USC	DC/TA	CHORD
C16	19.54	140.00	6°44'45"	19.63
C17	3.57	3.00	108°23'22"	4.90
C18	12.74	30.00	22°44'45"	12.68
C19	7.29	3.00	136°19'50"	3.62
C20	23.50	199.00	1°06'44"	23.48
C21	7.94	3.00	152°03'00"	8.87
C22	3.22	108.00	1°49'00"	3.22
C23	7.87	3.00	146°32'48"	8.75
C24	2.90	28.00	5°01'34"	2.86
C25	7.34	3.00	151°38'05"	3.82
C26	5.43	180.00	1°18'29"	5.43
C27	41.84	34.00	70°30'48"	36.25
C28	41.81	14.00	148°38'00"	38.44
C29	10.34	180.00	2°34'00"	10.34
C30	41.83	34.00	69°09'23"	36.19
C31	60.08	100.00	20°38'49"	60.35
C32	7.26	3.00	102°01'00"	3.92
C33	11.79	100.00	4°04'13"	11.79
C34	9.42	30.00	14°27'12"	9.34
C35	221.27	140.00	89°23'18"	199.93
C36	148.00	140.00	81°18'48"	182.24
C37	60.11	100.00	34°34'17"	60.11
C38	60.34	30.00	69°09'23"	51.74
C39	90.51	100.00	26°34'17"	90.14
C40	243.24	154.00	80°35'18"	244.24
C41	181.54	170.00	91°18'48"	148.72
C42	50.79	22.00	80°01'42"	45.27
C43	198.80	140.00	81°18'48"	142.28
C44	194.90	140.00	81°18'48"	142.28
C45	181.78	150.00	38°22'00"	21.90
C46	7.92	1.00	142°22'18"	1.29
C47	113.47	120.00	30°47'31"	120.78
C48	23.23	8.00	101°10'20"	18.00
C49	47.11	20.00	66°06'18"	42.42
C50	55.21	100.00	21°09'30"	64.90
C51	114.28	100.00	6°40'53"	114.23
C52	106.89	400.00	17°30'31"	106.92
C53	252.41	300.00	4°11'37"	240.03
C54	25.90	15.00	82°23'56"	23.72
C55	32.90	100.00	11°38'07"	30.24
C56	118.68	804.00	6°40'53"	119.02
C57	112.12	412.00	12°35'31"	111.72
C58	242.32	200.00	48°12'27"	233.23
C59	115.88	300.00	32°03'00"	115.29
C60	198.14	120.00	60°33'18"	176.65
C61	82.30	190.00	32°15'22"	80.83
C62	81.53	80.00	72°22'47"	77.28





SCOTTSDALE, AZ 85260  
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FAX: 480-948-8801  
WWW.SCOTTSDALE.AZ.GOV

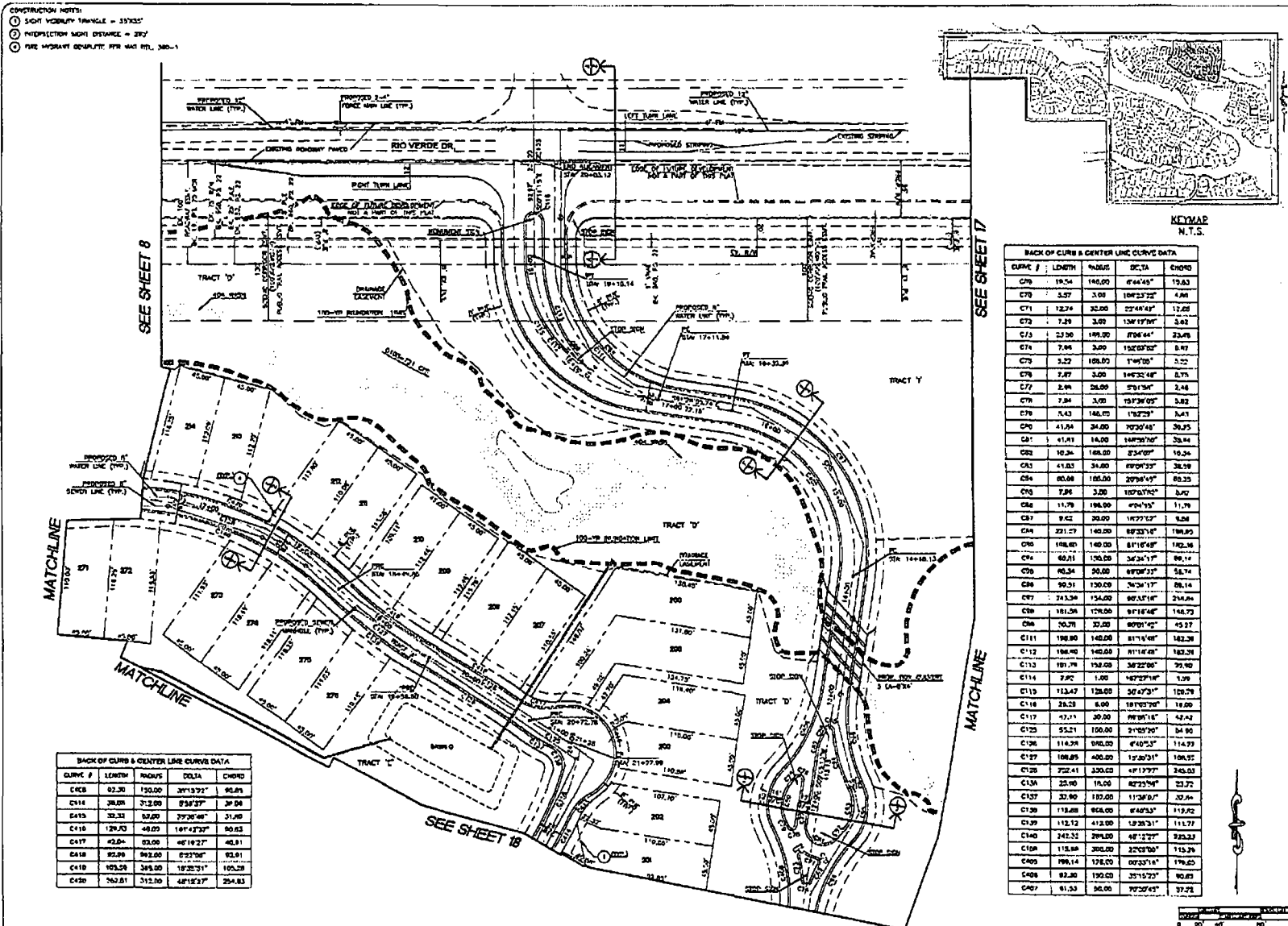




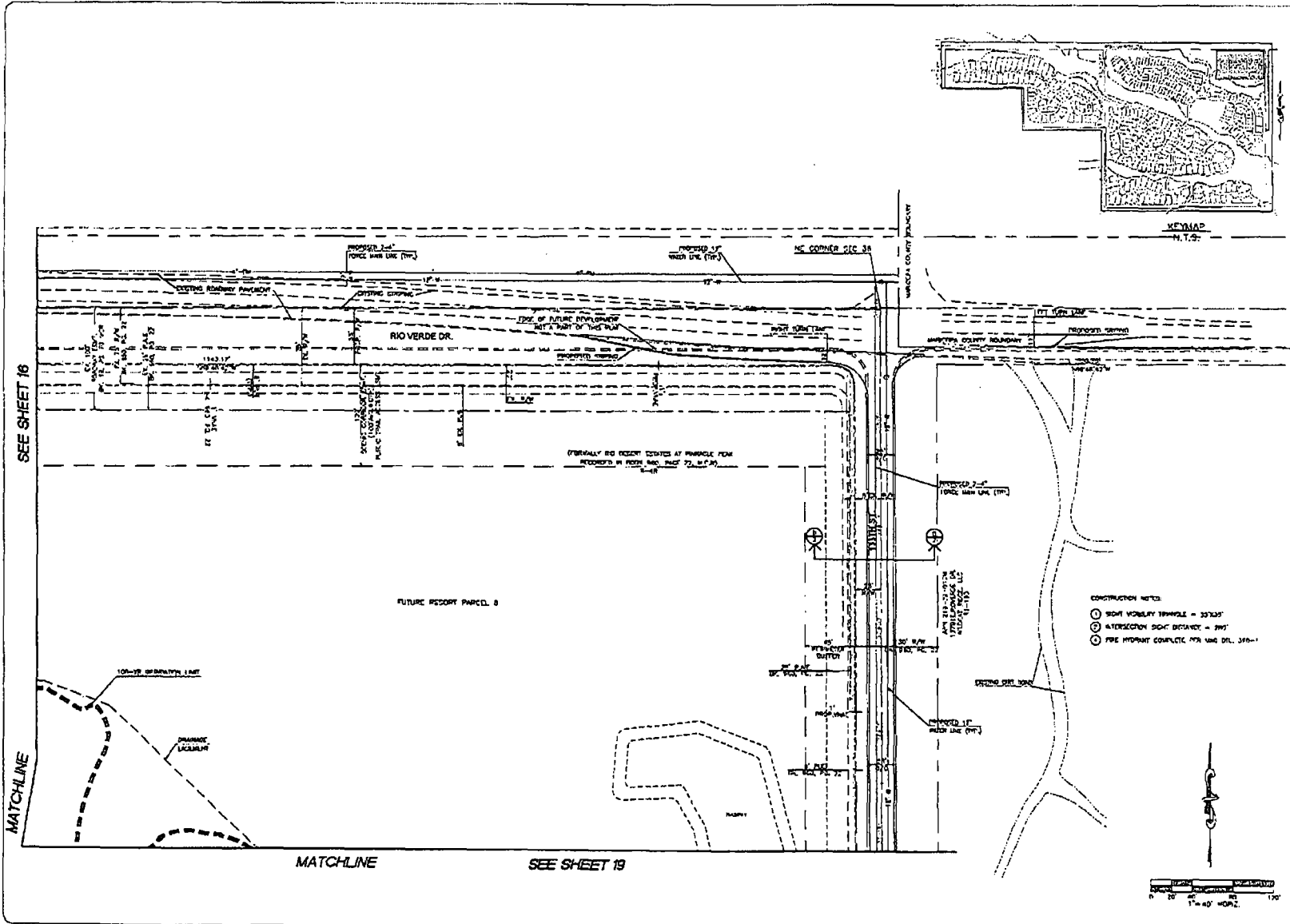
**REATA RANCH**  
PRELIMINARY PLAN  
CITY OF SCOTTSDALE, ARIZONA

Job no. 26-11  
design JAR  
approved DCS  
date 11/01/14  
revisors

sheet 16 of 38

O.S. # 50-50, 50-60, PHLM # 2-PP-2014, ZONING # 15-ZN2011, MASTER PLAN # 1-MP-2013  
 REATA RANCH





REATA RANCH

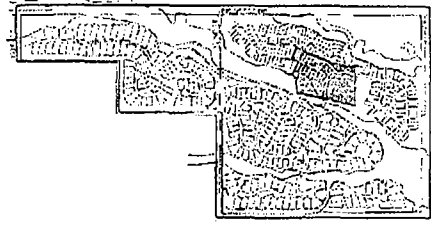
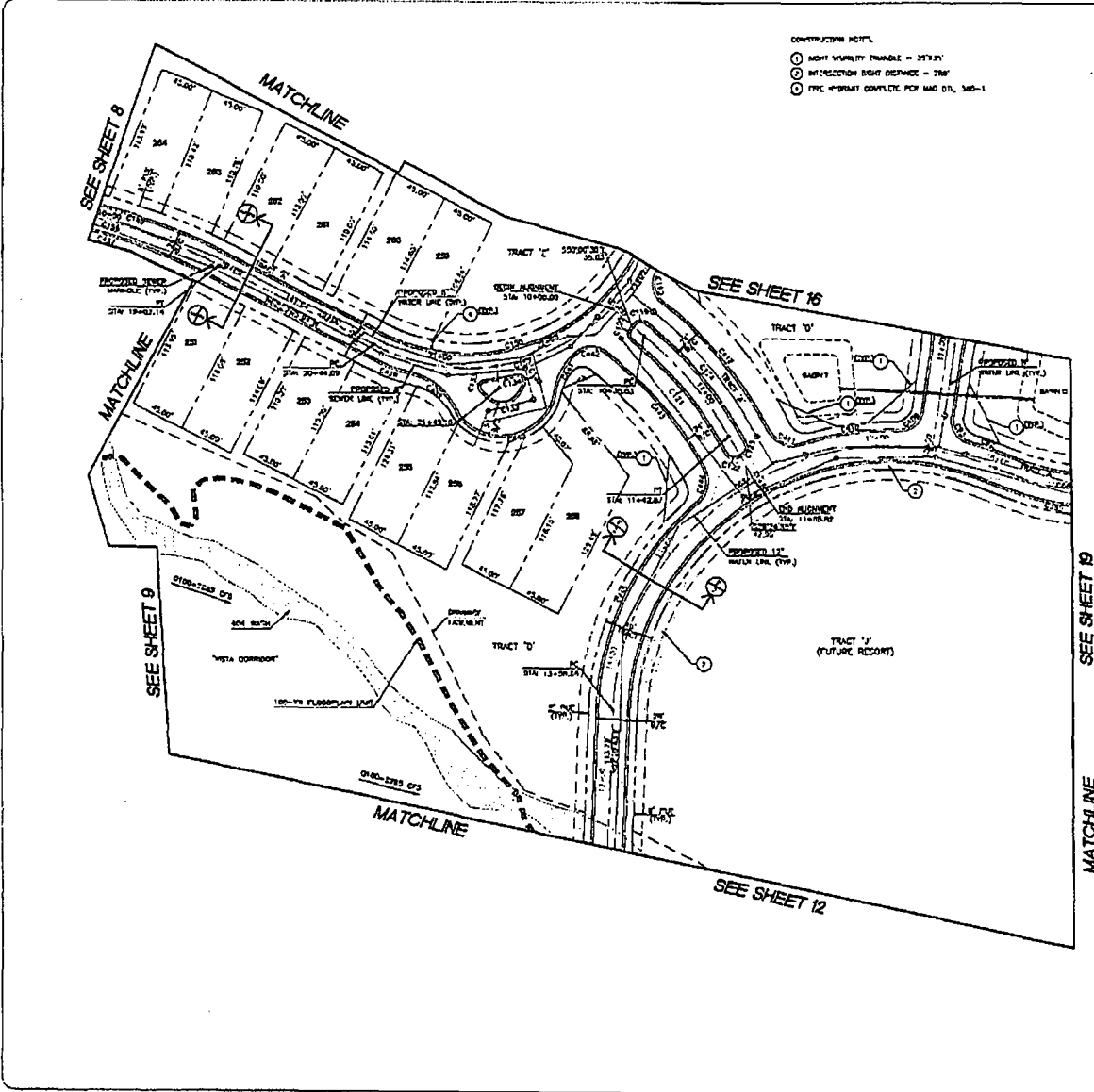
PRELIMINARY PLAT  
CITY OF SCOTTSDALE, ARIZONA

ZONING # 15-ZN2014, MASTER PLAN # 1-MP-2013

O.S. # 50-59, 50-60, PRLM # 2-PP-2014

job no.	20-11
design	JAB
approved	MOJ
date	1/2014
revisions	
sheet	17 of 38

- CONSTRUCTION NOTES
- ① SOFT VERTICAL TURNABLE = 32'x32'
  - ② INTERSECTION SOFT DRIVEWAY = 20'x7'
  - ③ FIRE HYDRANT COMPLETE WITH VMS DFL 3/8" x 1"



BACK OF CURB & CENTER LINE CURVE DATA

CURVE #	LENGTH	ARC/100'	CH118	CH290
C04	127.00	250.00	3722'04"	153.38
C07	643.34	230.00	1707'02"	377.84
C02	20.51	246.00	6'41'36"	36.49
C03	24.07	18.00	62'39'54"	33.09
C119	6.42	6.00	90'00'00"	6.49
C120	6.42	6.00	90'00'00"	6.49
C121	24.96	292.00	20'32'41"	104.38
C122	6.42	6.00	90'00'00"	6.49
C124	116.71	309.00	20'32'41"	116.71
C132	26.74	14.00	132'50'56"	25.03
C133	6.24	4.00	132'51'36"	7.23
C134	27.48	103.00	4'29'03"	37.43
C135	6.24	4.00	132'51'36"	7.23
C149	194.10	512.00	32'10'08"	194.81
C150	201.08	194.00	62'47'51"	211.03
C156	183.48	502.00	22'10'08"	184.26
C187	248.43	170.00	62'47'51"	227.08
C185	144.76	284.00	31'25'04"	142.88
C396	416.38	216.00	110'27'02"	254.85
C408	26.07	15.00	62'50'56"	23.40
C410	63.46	244.00	4'33'48"	63.05
C411	31.36	23.00	78'06'49"	26.68
C412	119.34	332.00	20'39'41"	116.89
C415	25.24	16.00	81'17'07"	23.40
C437	136.82	444.00	22'10'08"	137.64
C438	46.23	182.00	12'41'36"	46.34
C439	43.79	82.50	44'15'03"	42.47
C440	116.00	46.00	143'11'16"	87.31
C441	26.42	32.00	60'07'24"	26.88
C447	23.26	16.00	80'26'47"	23.24
C443	66.53	208.00	20'39'41"	65.81
C444	31.24	23.00	78'06'49"	26.88
C445	127.40	244.00	40'11'12"	127.28

**REATA RANCH**  
 PRELIMINARY PLAN  
 CITY OF SCOTTSDALE, ARIZONA

job no. 36-11  
 design JAR  
 approved SJS  
 date 5/20/14  
 revisions  
 sheet 18 of 38

O.S. # 50-59, 60-60, PRLM # 2-PP-2014, ZONING 15-ZN2011, MASTER PLAN# 1-MP-2013  
 REATA RANCH



**REATA RANCH**  
PRELIMINARY PLAT  
CITY OF SCOTTSDALE, ARIZONA

Job No. 3011  
Design Approved Date 12/14/14  
Date 12/14/14

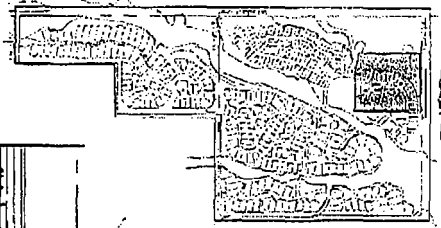
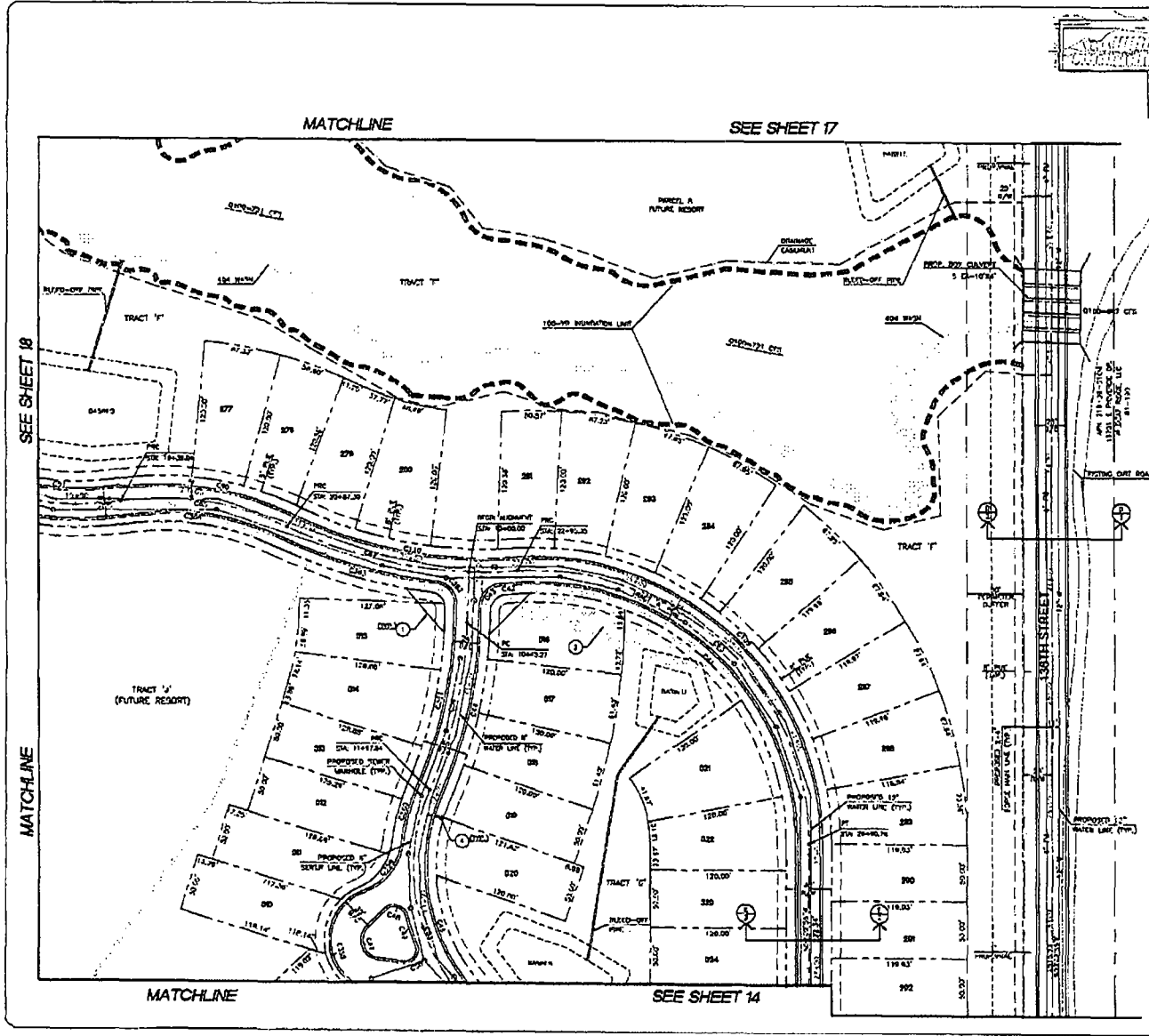
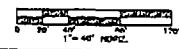
Revisions

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CONSTRUCTION NOTES:  
① 50-1 VERTICAL CURVE = 20'±20'  
② INTERSECTION SIGHT DISTANCE = 240'  
③ FIRE HYDRANT COMPLETE PER AFD 071.240-1

KEYMAP  
N.T.S.

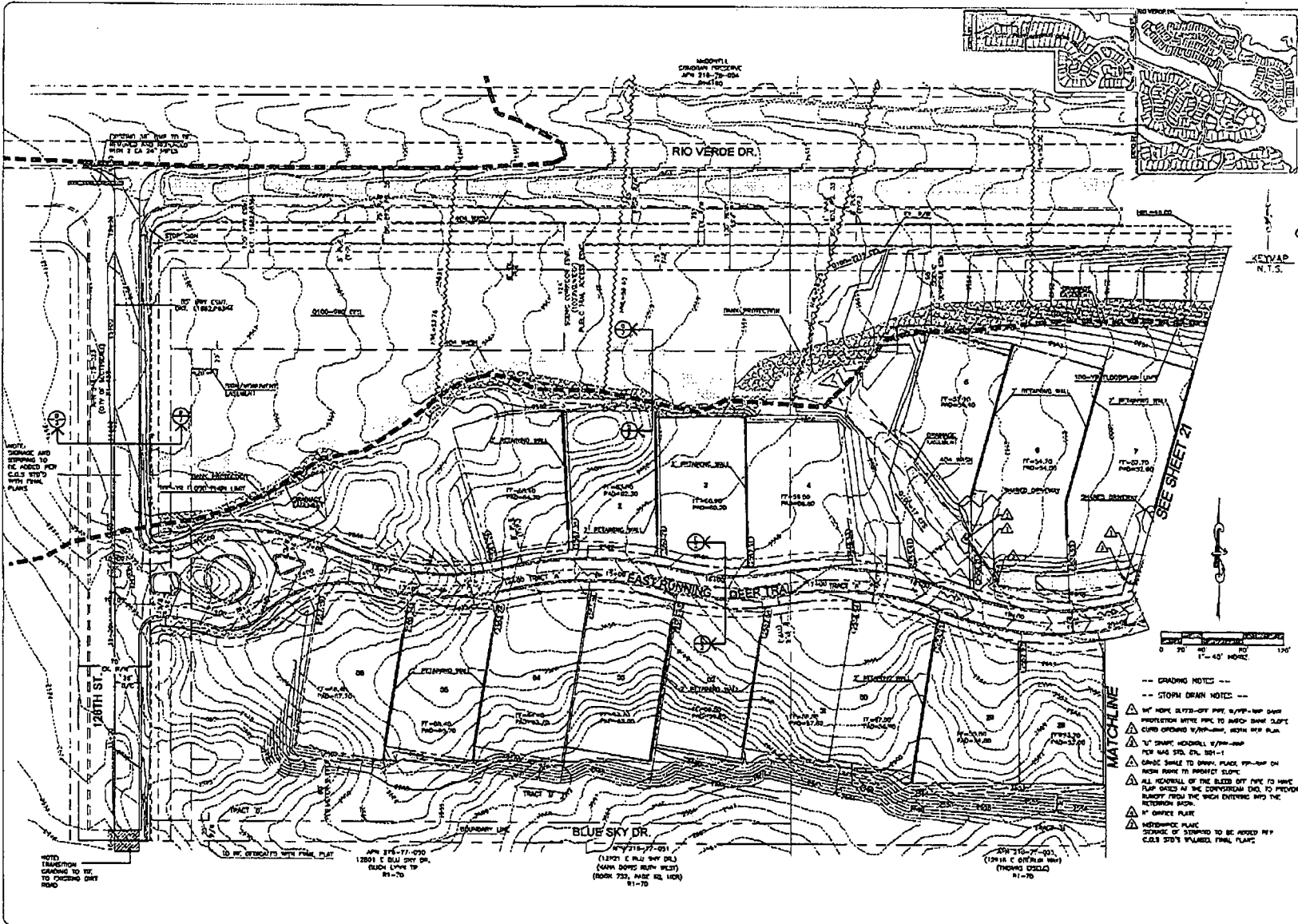
CURVE #	LENGTH	RMPTS	DELTA	CHORD
C41	335.64	298.00	84°23'46"	234.27
C42	15.18	412.00	2°08'38"	15.17
C43	27.02	18.00	89°55'34"	24.25
C44	108.94	412.00	2°14'00"	124.48
C45	233.19	184.00	84°55'41"	213.29
C47	24.93	16.00	172°42'05"	27.47
C48	20.83	10.00	118°28'25"	17.27
C49	27.36	182.00	2°48'51"	27.25
C50	20.83	10.00	118°28'25"	17.27
C53	205.40	170.00	84°20'42"	224.74
C54	132.27	400.00	2°14'06"	131.26
C55	395.41	248.00	84°27'44"	332.16
C56	208.05	400.00	2°44'22"	205.77
C59	148.29	200.00	33°44'40"	144.08
C60	132.16	742.00	2°05'14"	131.87
C61	129.41	736.00	31°25'34"	175.79
C109	415.16	252.00	64°23'45"	344.74
C110	201.61	388.00	38°44'20"	189.54
C336	140.84	44.00	172°07'32"	81.81
C339	94.92	92.00	82°47'23"	84.18
C340	24.00	162.00	14°41'04"	82.81
C381	147.20	300.00	2°14'48"	144.21
C382	27.02	18.00	89°55'34"	24.25
C383	141.28	412.00	19°41'21"	140.09
C384	83.82	298.00	22°38'27"	82.42



SEE SHEET 17

SEE SHEET 14

SEE SHEET 18





152 ENTERPRISE, INC.  
1202 E. SHARPE DRIVE  
SUITE 300  
SCOTTSDALE, AZ 85258  
PH: (480) 948-8888  
FAX: (480) 948-8888  
WWW.152ENG.COM



152 ENTERPRISE, INC.  
1202 E. SHARPE DRIVE  
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SCOTTSDALE, AZ 85258  
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152 ENTERPRISE, INC.  
1202 E. SHARPE DRIVE  
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FAX: (480) 948-8888  
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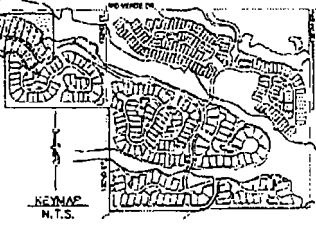
**REATA RANCH**  
PRELIMINARY GRADING PLAN  
CITY OF SCOTTSDALE, ARIZONA

Job No. 10-11  
design JAR  
approved JDS  
date 10/24/14  
revisions

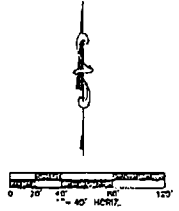
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20 of 30

U.S. # 50-59, 50-60, PRELIM # 2-PP-2014, ZONING# 15-ZN2014, MASTER PLAN# 1-MP-2013

REATA RANCH



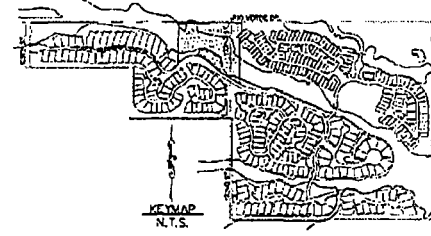
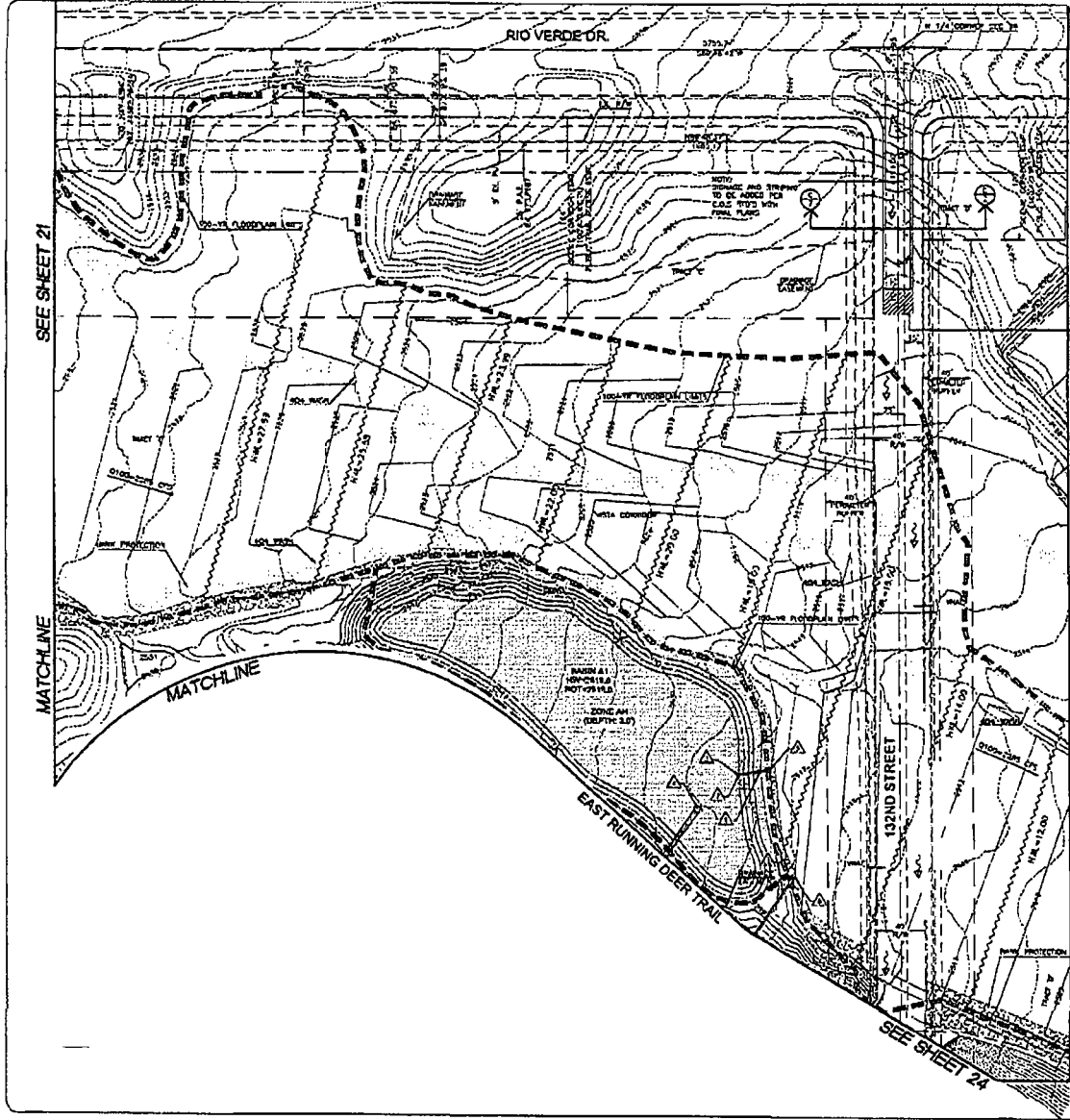
- GRADING NOTES ---  
 --- STORM DRAIN NOTES ---
- ▲ 12" CORR BLEED-OFF PIPE 1/4" MIN. SLOPE PROTECTION AT THE PIPE TO MATCH MAIN SLOPE
  - ▲ CURB DRAINAGE 1/4" MIN. SLOPE PER PLAN
  - ▲ 12" CORR. BLEED-OFF 1/4" MIN. SLOPE PER THE STD. CTD. 501-1
  - ▲ GROUND DRAIN TO DRAIN PLACE 1/4" MIN. SLOPE FROM TO PROTECT SLOPE
  - ▲ ALL HEADS OF THE BLEED OFF PIPE TO HAVE FLAP GATES AT THE DOWNSTREAM END TO PREVENT REFLOW FROM THE MAIN DRAINAGE INTO THE RETENTION DRAIN
  - ▲ 6" GROUND PLATE
  - ▲ 12" GROUND PLATE



JEFFERY A. SMITH  
 No. 12345  
 State of Arizona

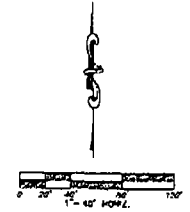
**REATA RANCH**  
 PRELIMINARY GRADING PLAN  
 CITY OF SCOTTSDALE, ARIZONA

Job no.	20-11
design	JAR
approved	S/S
date	5/2/14
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sheet	21 of 38



NOTE: TRANSITION GRADING TO THE EXISTING DIRT ROAD

- GRADING NOTES --
- ▲ 1" VERT. SLOPE-OFF FROM 1/2" PER FOOT SLOPE PROVISIONS MAY VARY TO MATCH EXIST. SLOPE CIRC. DEPENDING ON 1/2" MAP, BOTH FOR PLAN
  - ▲ 1" VERT. HEADWALL 1/2" PER FOOT
  - ▲ 1" VERT. SLOPE TO EXIST. PLACE 1" PER FOOT FROM BANK TO EXISTING SLOPE
  - ▲ ALL HEADWALLS OF THE BLEED OFF PIPE TO HAVE FLAP GATED AT THE DOWNSTREAM END, TO PREVENT BACKFLOW FROM THE MAIN DRAINAGE INTO THE SUBPLANT BASIN
  - ▲ 1" VERT. SLOPE TO BE ADDED TO PROTECT EXISTING WALLS, FINAL PLAN
- STONE DRAIN NOTES --



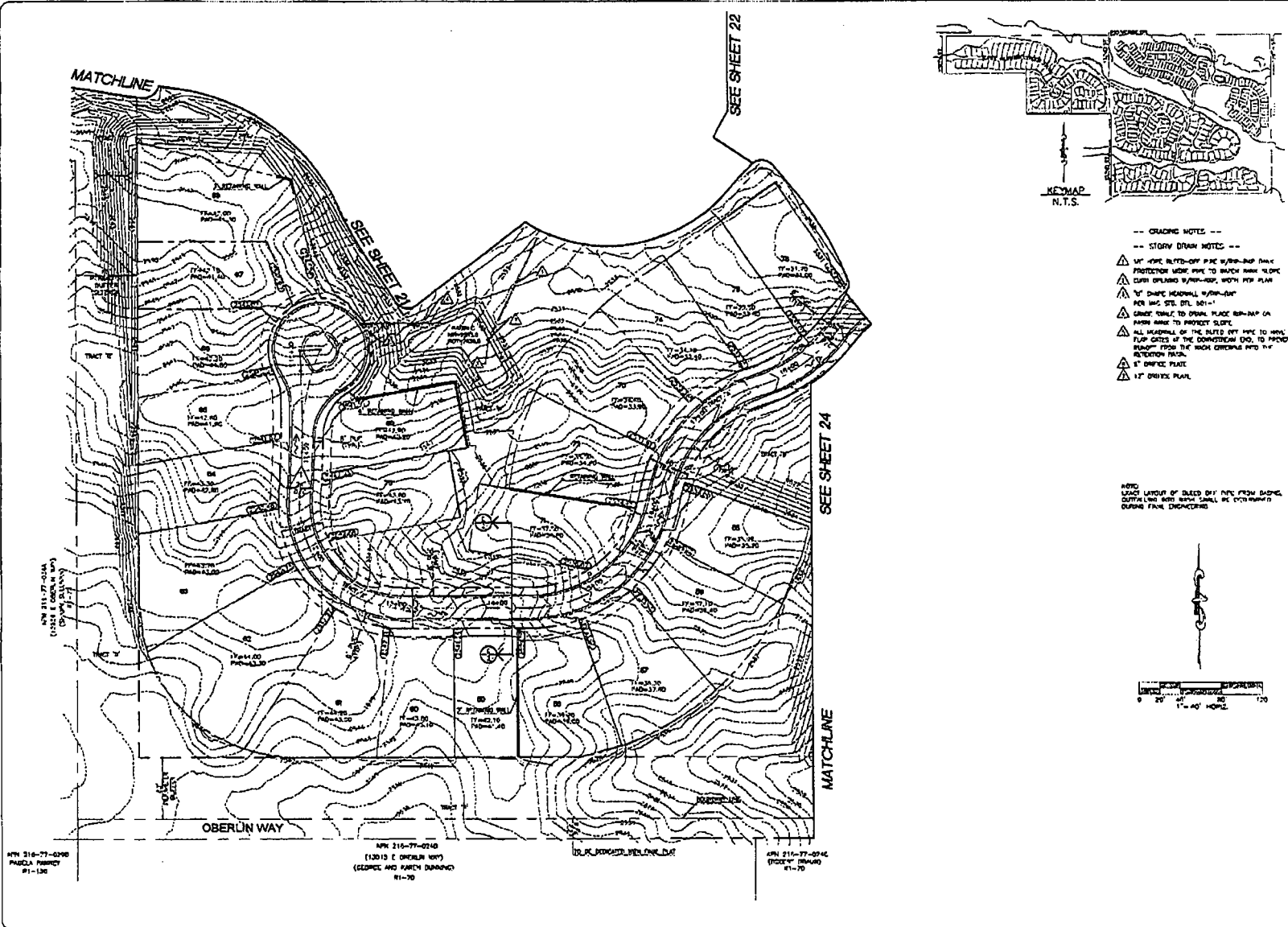
SCOTT L. ANDERSON  
NO. 15400  
STATE OF ARIZONA  
REGISTERED PROFESSIONAL ENGINEER

**REATA RANCH**  
PRELIMINARY GRADING PLAN  
CITY OF SCOTTSDALE, ARIZONA

Job No.	30-11
Design	J.R.
Approved	J.H.
Date	5/20/14
Revisions	
Sheet	22 of 38

C.S. # 50-59, 50-60, FROM # 2-PF-2014, ZONING# 15-2N201L MASTER PLAN# 1-MP-2013 REATA RANCH





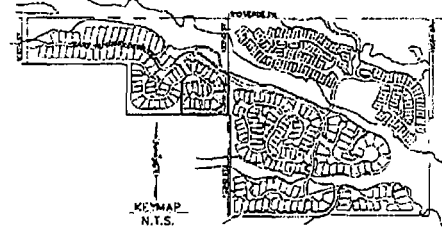
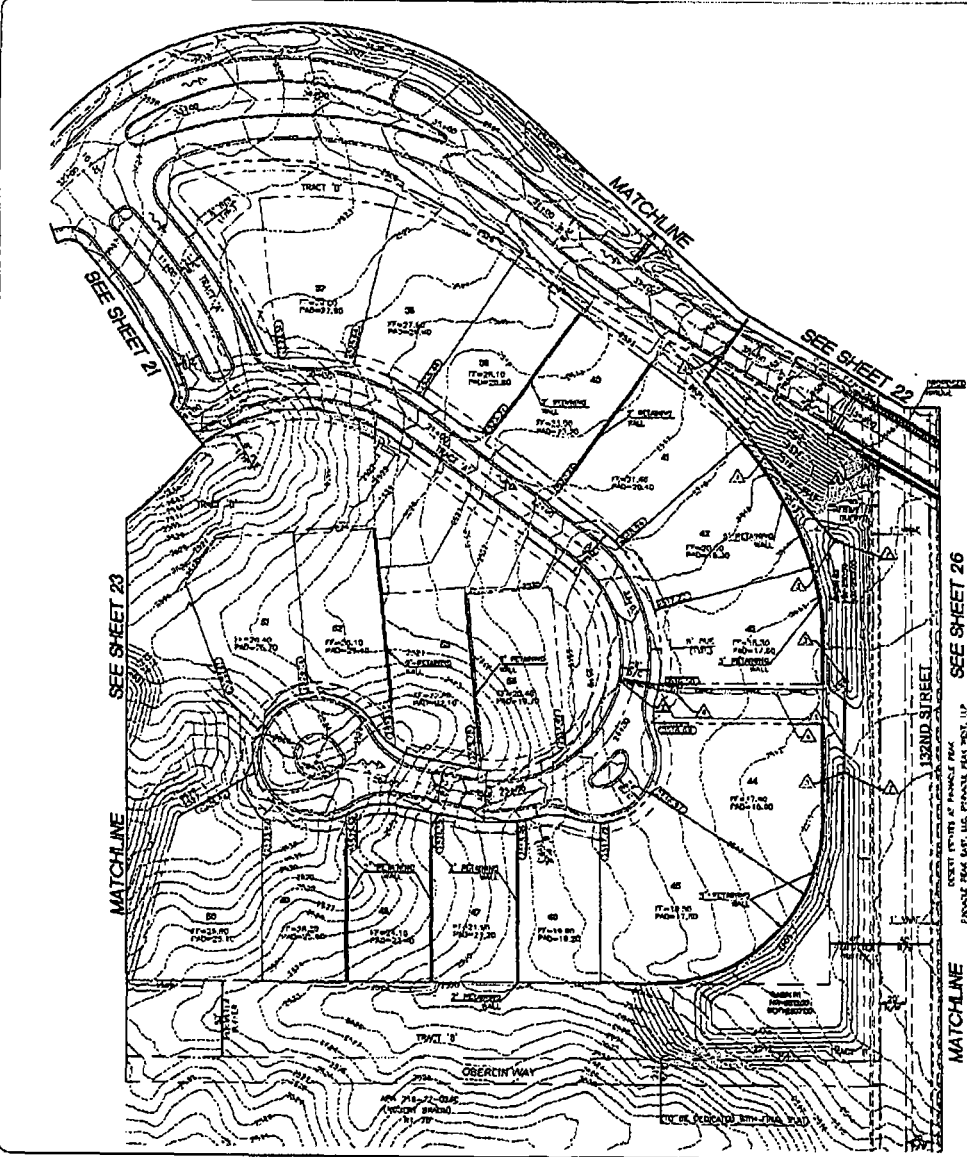
210 UNIVERSITY, INC.  
 4700 E. BARNETT DRIVE  
 SUITE 100  
 SCOTTSDALE, ARIZONA 85258  
 PHONE: 480-948-8888  
 FAX: 480-948-8888  
 WWW: 210INC.COM

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 4700 E. BARNETT DRIVE  
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 FAX: 480-948-8888  
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REATA RANCH  
 PRELIMINARY GRADING PLAN  
 CITY OF SCOTTSDALE, ARIZONA

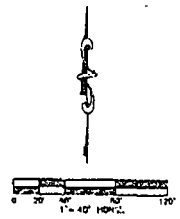
Job no.	30-11
design	JAR
approved	CMO
date	5/20/14
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sheet	
	23 of 38


REATA RANCH  
 PRELIMINARY GRADING PLAN  
 CITY OF SCOTTSDALE, ARIZONA



- GRADING NOTES ---
- STORM DRAIN NOTES ---
- ▲ 1" MORE ALLEY-OFF RAMP 1/8" PER FOOT FROM PROTECTION MATING POINT TO WATER MAIN TAP. CLEAR OPENING 1/8" PER FOOT WITH 8" PLATE
  - ▲ 1" DRAINAGE RETENTION 1/8" PER FOOT FOR 2" DIA. 6" DIA. 1" DIA. 1" DIA.
  - ▲ DRAIN SHALL TO DRAIN, PLACE 2" DIA. ON BENCH MARK TO PROTECT SLOPE.
  - ▲ ALL HEADWALLS OF THE BUILT OFF PIPE TO HAVE PLATE GATES AT THE DOWNSTREAM END TO PREVENT BACKUP FROM THE MAIN IMPROVING INTO THE RETENTION BASIN.
  - ▲ 6" OFFICE PLATE
  - ▲ 12" OFFICE PLATE


NOTE: COST LAUNCH OF BELLS OF 12" DIA. EXISTING OUTFALLS INTO MAIN SHALL BE DETERMINED DURING FINAL CHECKING





SKP  
S&K ENGINEERS, INC.  
3600 N. GILBERT STREET  
TROY, AZ  
PHOENIX, AZ 85208  
PH: 602-994-3800  
WWW.SKPEAZ.COM



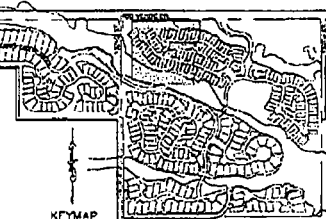
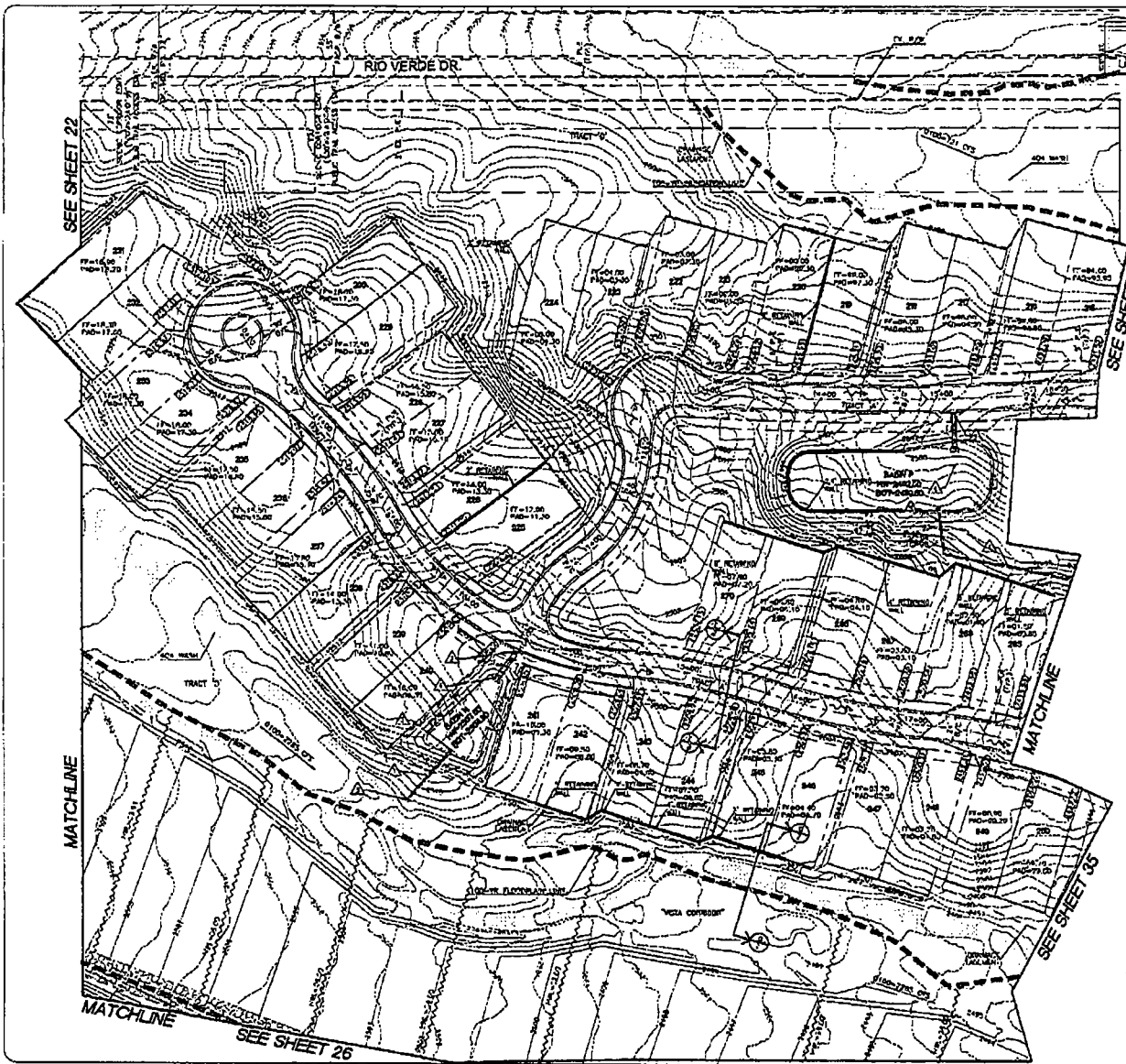


**REATA RANCH**  
PRELIMINARY GRADING PLAN  
CITY OF SCOTTSDALE, ARIZONA

job no.	2611
design	ASH
approved	SWS
date	02/04
revisions	
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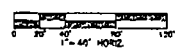
O.S. # 50-59, 50-60, PRLM # 2-PP-2014, ZONING 15-ZN201, MASTER PLAN# 1-MP-2013

REATA RANCH



- GRADING NOTES --
- STORM DRAIN NOTES --
- ▲ 18" HOPE BLEED-OFF PIPE @ 1/8"=1" SLOPE DOWN PROTECTION WITH PIPE TO MATCH BANK SLOPE
  - ▲ CATCH BASINS @ 1/8"=1" SLOPE WITH PIPE PLAN
  - ▲ UP SHAPE HEADWALL @ 1/8"=1" SLOPE WITH STD. 20'-1'
  - ▲ CHECK GRADE TO DRIVE FORCE @ 1/8"=1" ON DOWN BANK TO PROTECT SLOPE
  - ▲ ALL HEADWALLS OF THE BLEED OFF PIPE TO HAVE FLARE GAUGES AT THE DOWNSTREAM END TO PREVENT RUNOFF FROM THE BANK ENTERING INTO THE RETENTION BASIN
  - ▲ 6" GRIFFICE PLATE
  - ▲ 12" GRIFFICE PLATE

NOTE: CHECK LENGTH OF BLEED OFF PIPE FROM POINT OFFFLOWING INTO WHICH SHALL BE DETERMINED DURING FINAL ENGINEERING



SKS ENGINEERING, INC.  
2320 E. RIMMICK DRIVE  
SUITE 104  
SCOTTSDALE, AZ 85261  
PH: 480-342-9000  
FAX: 480-342-9001  
WWW.SKS-ENG.COM

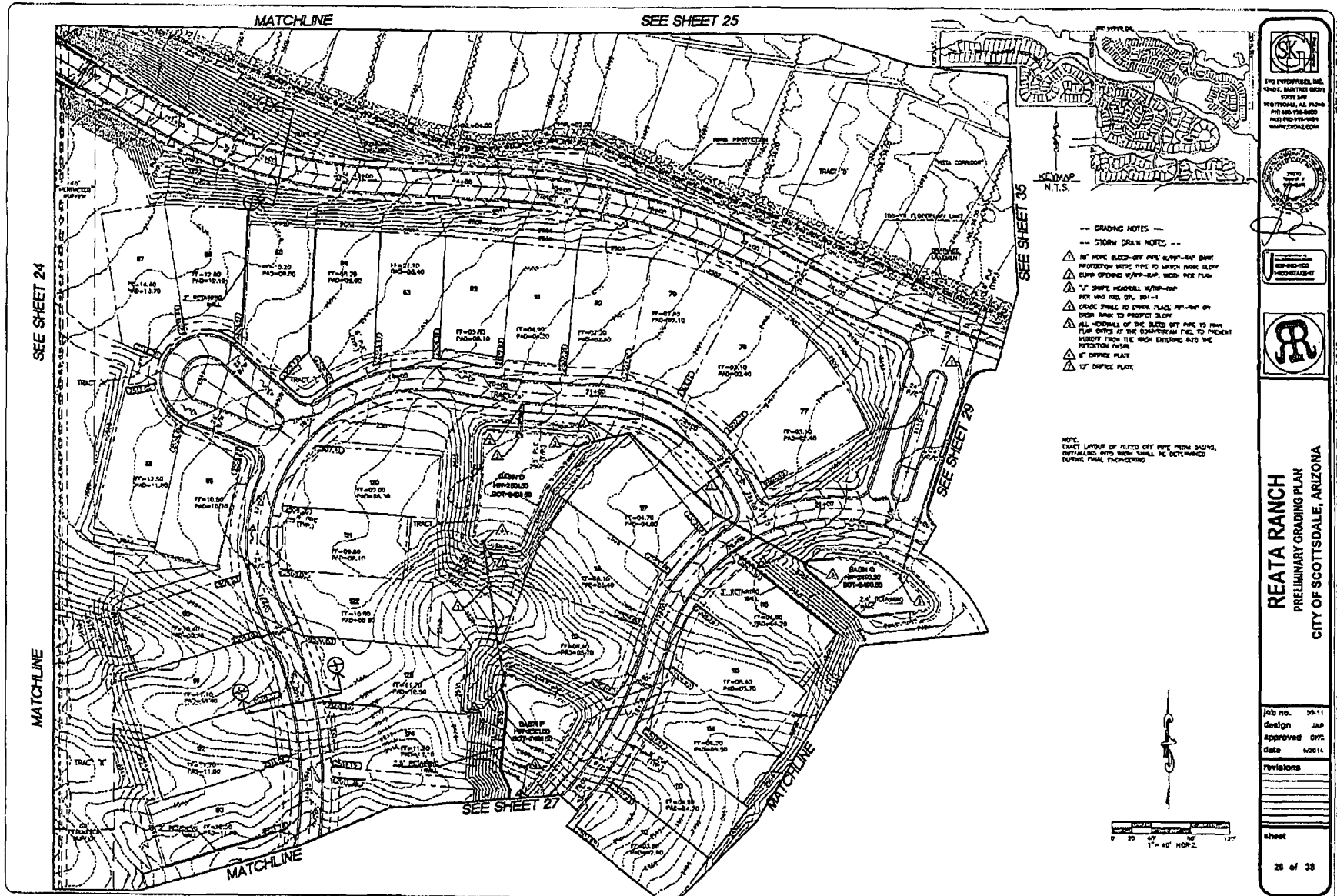
**REATA RANCH**  
PRELIMINARY GRADING PLAN  
CITY OF SCOTTSDALE, ARIZONA

job no. 30-11  
design JAA  
approved nrc  
date 02/14  
revisions

sheet 25 of 38

U.S. # 50-59, 50-60, PRLM # 2-PP-2014, ZONING # 15-ZN201L MASTER PLAN # 1-MP-2013

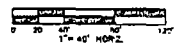
REATA RANCH



SCMAP  
N.T.S.

- GRADING NOTES ---
- STORM DRAIN NOTES ---
- ▲ 12" HDPE SLEEVES OFF PIPE, 4" MIN. SLOPE PROTECTION WITH 12" SAND BANK SLOPE
  - ▲ CURB GRADING 1/4" MIN. SLOPE, 12" MIN. PER PLAN
  - ▲ 1" SHARP HEADWALL WITH 1/4" MIN. SLOPE TO 12" DFL 301-1
  - ▲ GRADE SHALL BE SLOPE PLACED 1/4" MIN. ON EACH BANK TO PROTECT SLOPE
  - ▲ ALL HEADWALLS OF THE SLEEVES OFF PIPE TO HAVE FLAP COVERS AT THE QUANTIFIABLE END TO PREVENT FLOW FROM THE WASH ENTERING INTO THE HEADWALL FLAP
  - ▲ 1" CURB RISE
  - ▲ 1" IMPACT PLATE

NOTE:  
EXACT LAYOUT OF FLEETS OFF PIPE FROM DRAIN, DISTANCES AND SLOPE SHALL BE DETERMINED DURING FINAL ENGINEERING



**REATA RANCH**  
PRELIMINARY GRADING PLAN  
CITY OF SCOTTSDALE, ARIZONA

Job no.	95-11
Design	JAK
Approved	07%
Date	6/20/14
Revisions	

Sheet  
28 of 38

REATA RANCH

O.S. # 50-59, 50-60, PRLM # 2-PP-2014, ZONING# 15-ZN2011, MASTER PLAN# 1-MP-2013



S.K. PETERSEN, INC.  
 8706 E. SHERWOOD DRIVE  
 SUITE 400  
 SCOTTSDALE, AZ 85268  
 (602) 331-4440  
 FAX: (602) 331-3880  
 WWW.SKPI.COM



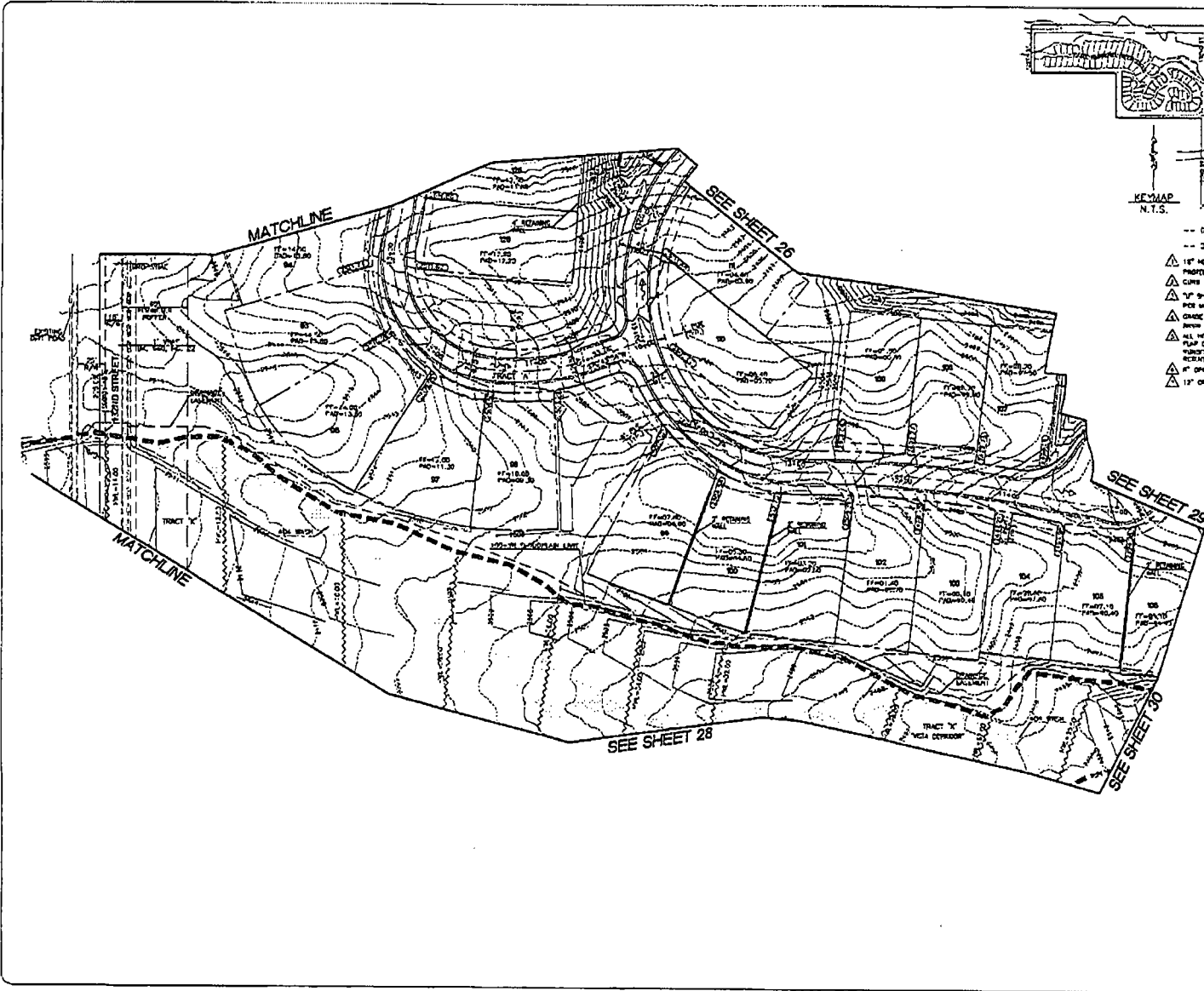
S.K. PETERSEN, INC.  
 8706 E. SHERWOOD DRIVE  
 SUITE 400  
 SCOTTSDALE, AZ 85268  
 (602) 331-4440  
 FAX: (602) 331-3880  
 WWW.SKPI.COM



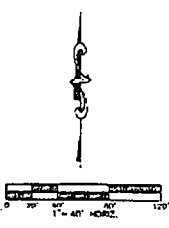
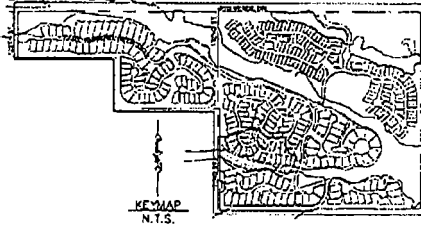
S.K. PETERSEN, INC.  
 8706 E. SHERWOOD DRIVE  
 SUITE 400  
 SCOTTSDALE, AZ 85268  
 (602) 331-4440  
 FAX: (602) 331-3880  
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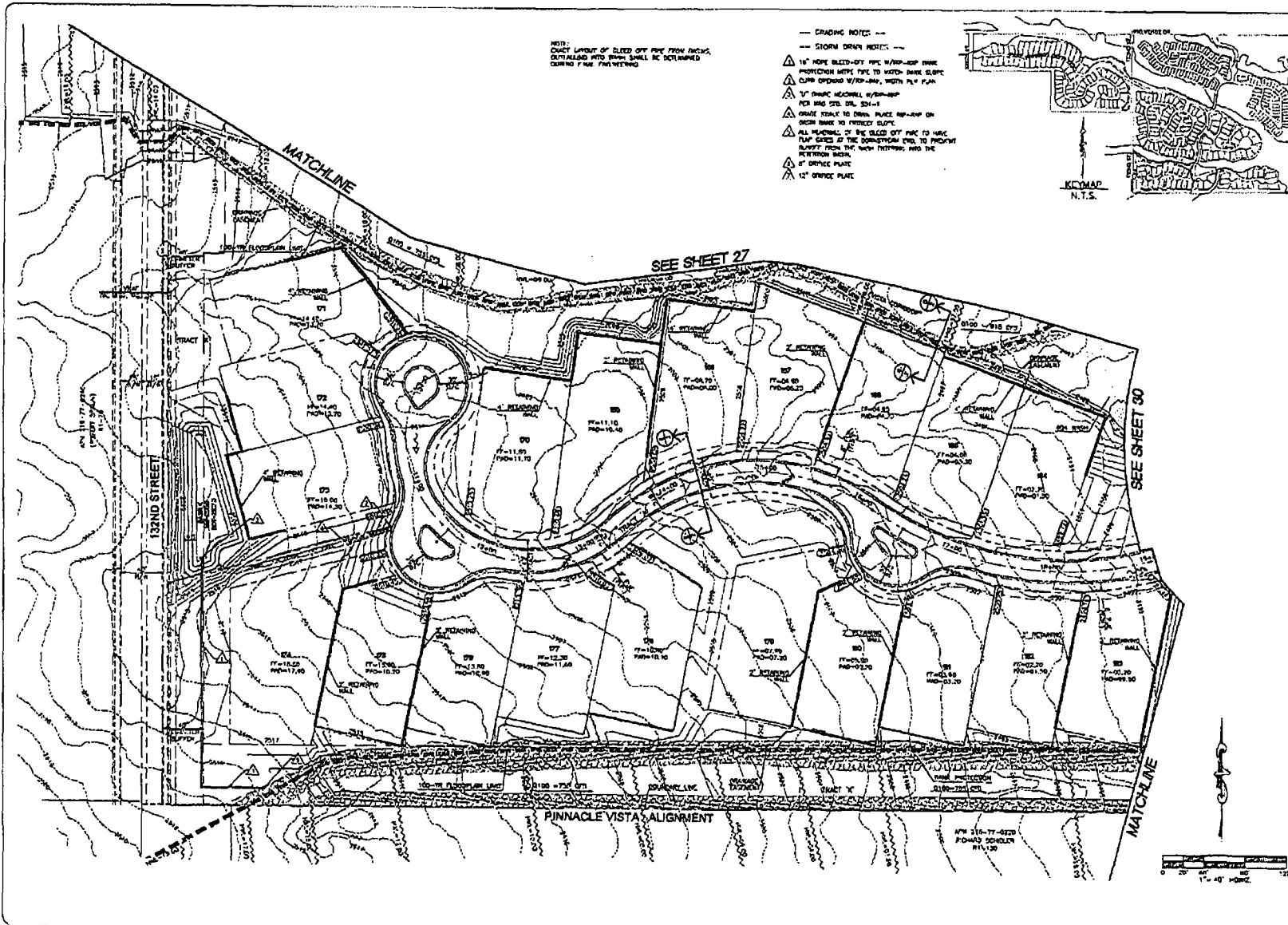
**REATA RANCH**  
 PRELIMINARY GRADING PLAN  
 CITY OF SCOTTSDALE, ARIZONA

Job No.	20-11
Design	JAR
Approved	DWG
Date	6/2014
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Sheet	27 of 38



- DRAINAGE NOTES --  
 -- STORY DRAIN NOTES --
- △ 18" MORE BLEED-OFF PIPE W/MP-RAMP SHALL PROTECTON INTO PIPE TO MATCH BANK SLOPE.
  - △ CURE GRADING 1/8" PER FOOT WITH PER PLAN.
  - △ 7" DWPT. 15' MIN. SLOPE 1/8" PER FOOT FOR SLOPE TO SLOPE.
  - △ GRADE SHALL TO BANK, PLACED RAMP ON BANK BANK TO PROTECT SLOPE.
  - △ ALL HIGHWAYS OF THE BLEED OFF PIPE TO HAVE FLAP GATES AT THE DOWNSTREAM END TO PREVENT FLOW FROM THE BANK DRAINING INTO THE COLLECTION PIPES.
  - △ 1" DRINK PLATE
  - △ 12" GRITTY PLATE

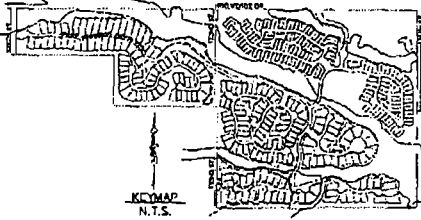




NOTE:  
 QUOTE LAYOUT OF BLEED OFF FROM RAMP,  
 OUTFALLS INTO BANK SHALL BE DOWNHARD  
 DRAIN PILE. PROTECTING

--- GRADING NOTES ---  
 --- STORM DRAIN NOTES ---

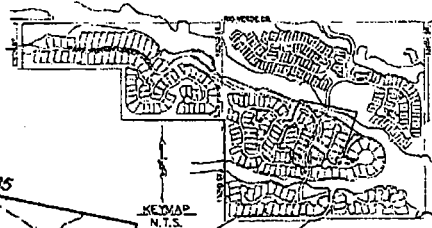
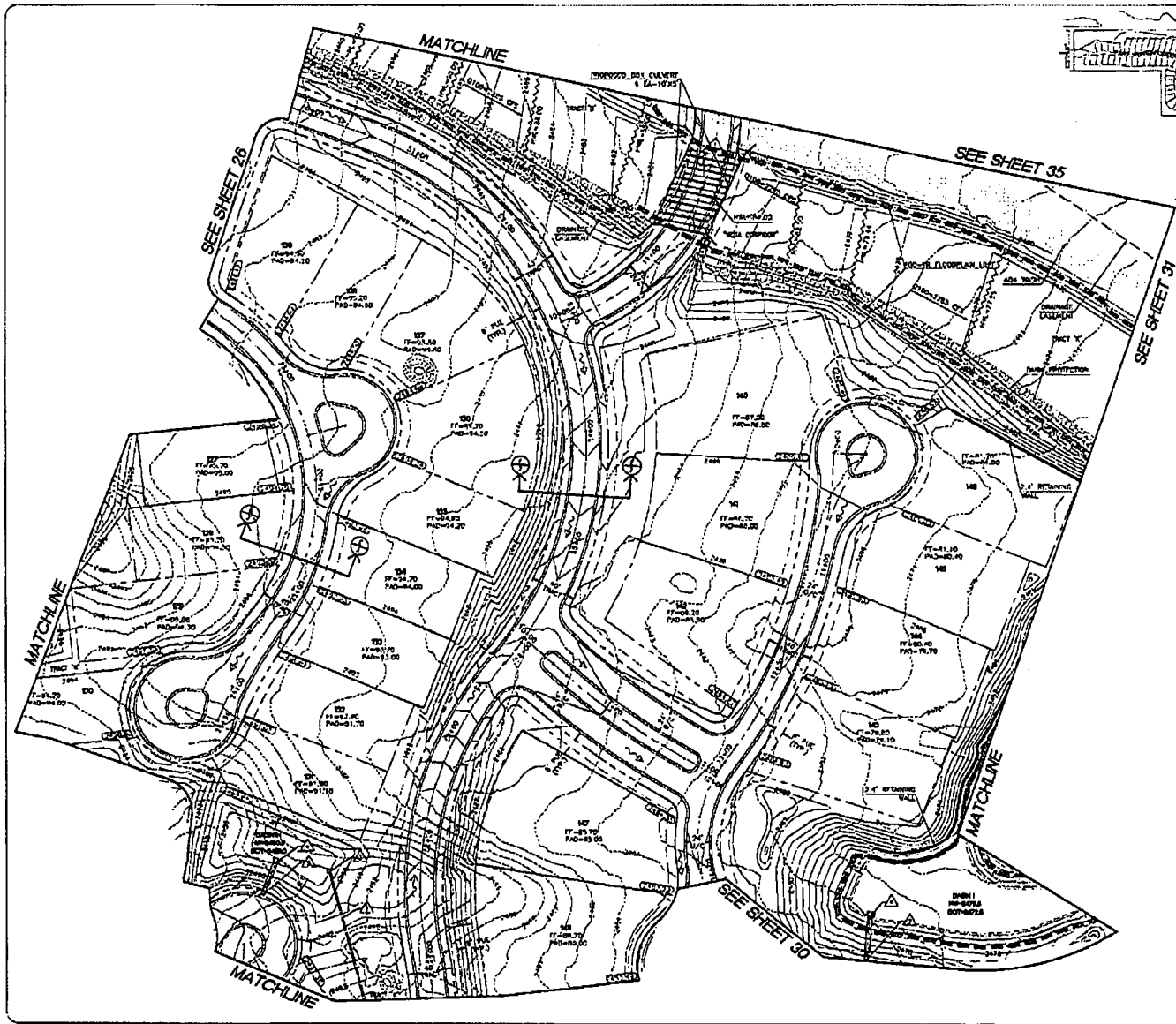
- ▲ 18" HOPE BLEED-OFF PIPE 1/4" MINIMUM  
 PROTECTION WITH PIPE TO MATCH BANK SLOPE
- ▲ 2" ORANGE HOLLOW BURNERPIPE  
 PER IAS 310.2.11, 321-11
- ▲ ORANGE SINKS TO DRAIN PLACE 1/4" MINIMUM ON  
 BENCH MARK TO PROTECT SLOPE
- ▲ ALL MANUALS OF THE BLEED OFF PIPE TO BE  
 FLAP GATES AT THE CONNECTION END TO PREVENT  
 BACKFLOW FROM THE MAIN INTERIOR AND THE  
 EXTERIOR BANK.
- ▲ 6" DRAINAGE PLATE
- ▲ 12" DRAINAGE PLATE



**SKS**  
 SKS CORPORAION, INC.  
 7001 W. HUNTER CREEK  
 SUITE 100  
 PHOENIX, ARIZONA  
 480.486.1000  
 WWW.SKSCORP.COM

**REATA RANCH**  
 PRELIMINARY GRADING PLAN  
 CITY OF SCOTTSDALE, ARIZONA

job no.	30-11
design	JAR
approved	DMG
date	1/20/14
revisions	
sheet	
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- GRADING NOTES ---  
 --- STORM DRAIN NOTES ---
- ▲ 18" HDPE BLEED-OFF PIPE (HDP-PP-PP) BANK PROTECTION WITH PIPE TO MATCH DRAIN 5.0% OVER OPENING 8"/16" DIA. WITH PLY PLATE FOR 60% HEADWAY. W/PP-PP
  - ▲ 12" SANDY HEADWAY W/PP-PP FOR 60% CUL. 20' - 20'-1"
  - ▲ GRADE STABLE TO DRILL PLACE PP-PP OR SOFT BANK TO PROTECT SLOPE
  - ▲ ALL HEADWAYS OF THE BLEED OFF PIPE TO HAVE TURN GATES AT THE DOWNSTREAM END TO PREVENT ALGAE FROM THE BANK EXTENDING INTO THE RETENTION BASIN.
  - ▲ 8" ORFICE PLATE
  - ▲ 12" ORFICE PLATE

NOTE: EXACT LAYOUT OF BLEED-OFF PIPE WITH HEADWAY, ORFICE GATES AND HEAD SHALL BE DETERMINED DURING FINAL ENGINEERING.



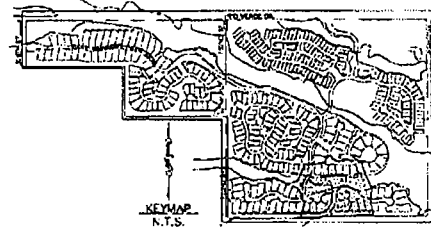
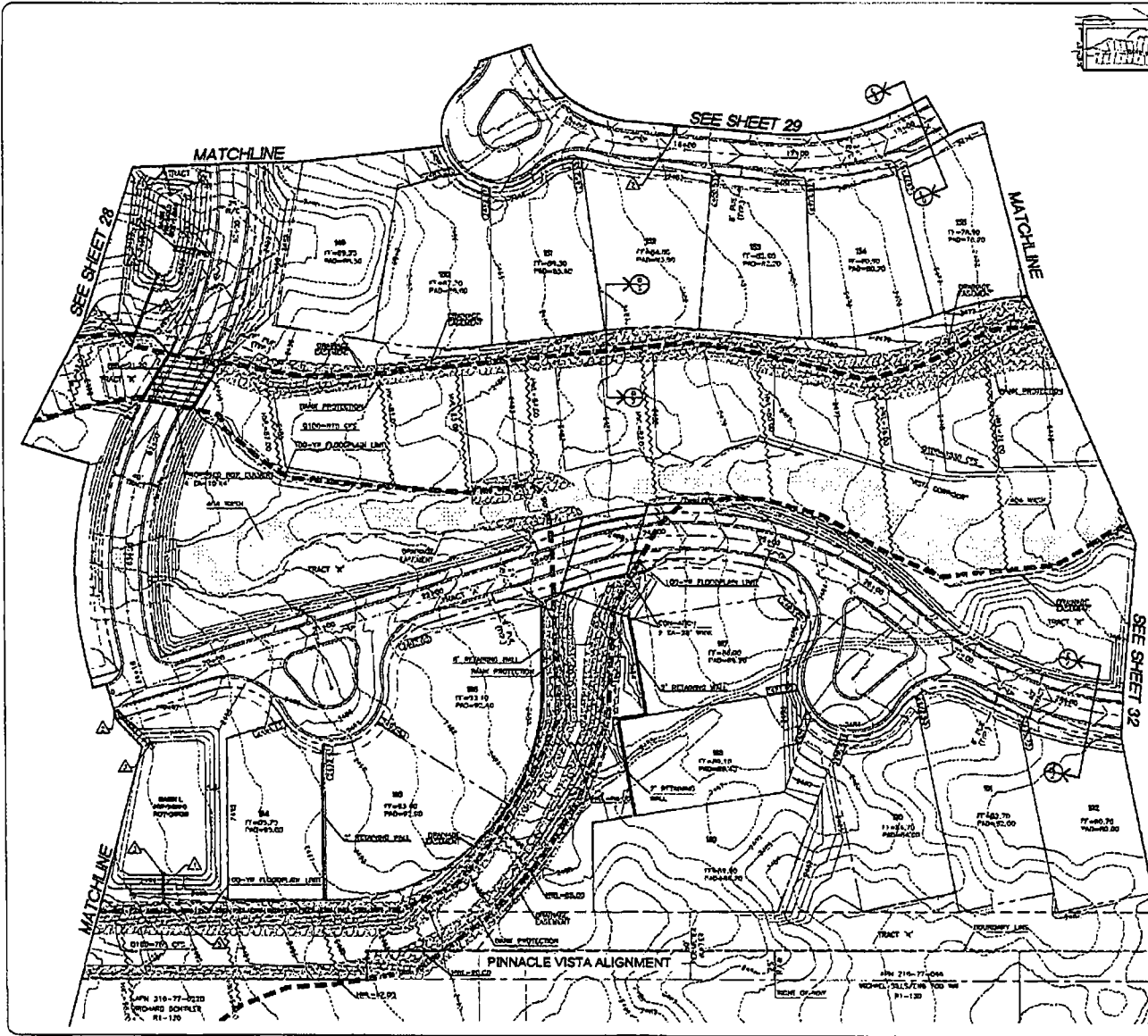
SKG ENGINEERING, INC.  
 9503 E. GARFIELD DRIVE  
 SUITE 140  
 SCOTTSDALE, AZ 85258  
 PH: 480-948-5800  
 FAX: 480-948-5802  
 WWW.SKGENG.COM



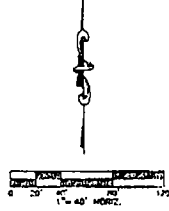
**REATA RANCH**  
 PRELIMINARY GRADING PLAN  
 CITY OF SCOTTSDALE, ARIZONA


job no.	30-11
design	J.A.P.
approved	3/03
date	8/2014
revisions	
sheet	28 of 28

REATA RANCH  
 O.S. # 50-59, 50-60, PREL # 2-PP-2014, ZONING# 15-ZN2011, MASTER PLANN # 1-MP-2013




- GRADING NOTES ---  
 --- STORM DRAIN NOTES ---
- ▲ 1/2" HOPE BLEED-OFF PIPE W/SP-200 BANK PROTECTION WITH BUMP TO MATCH BANK SLOPE
  - ▲ CURB OPENING 1/2" DIA. W/SP-200 WITH POLE PLANT
  - ▲ 1/2" HOPE HOLES 1/2" DIA. W/SP-200 PER IASD STD. DTL. 501-1
  - ▲ BRICK DRAIN TO DRAIN PLACE W/SP-200 ON BENCH FROM TO PROTECT SLOPE
  - ▲ 1/2" HOPE OF THE BLEED OFF PIPE TO MATCH FLAP GATES IN THE DOWNSTREAM END TO PREVENT RUNOFF FROM THE BENCH FITTINGS INTO THE BETWEEN BENCH.
  - ▲ 6" CURVE PLATE
  - ▲ 1/2" CURVE PLATE






SG SERVICES, INC.  
 7302 E. BARTLETT DRIVE  
 SUITE 100  
 SCOTTSDALE, AZ 85260  
 PH: 602-948-7800  
 FAX: 602-948-7805  
 WWW.SGVAZ.COM



PROFESSIONAL ENGINEER  
 STATE OF ARIZONA  
 LICENSE NO. 12345



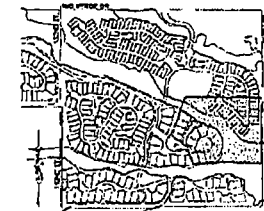
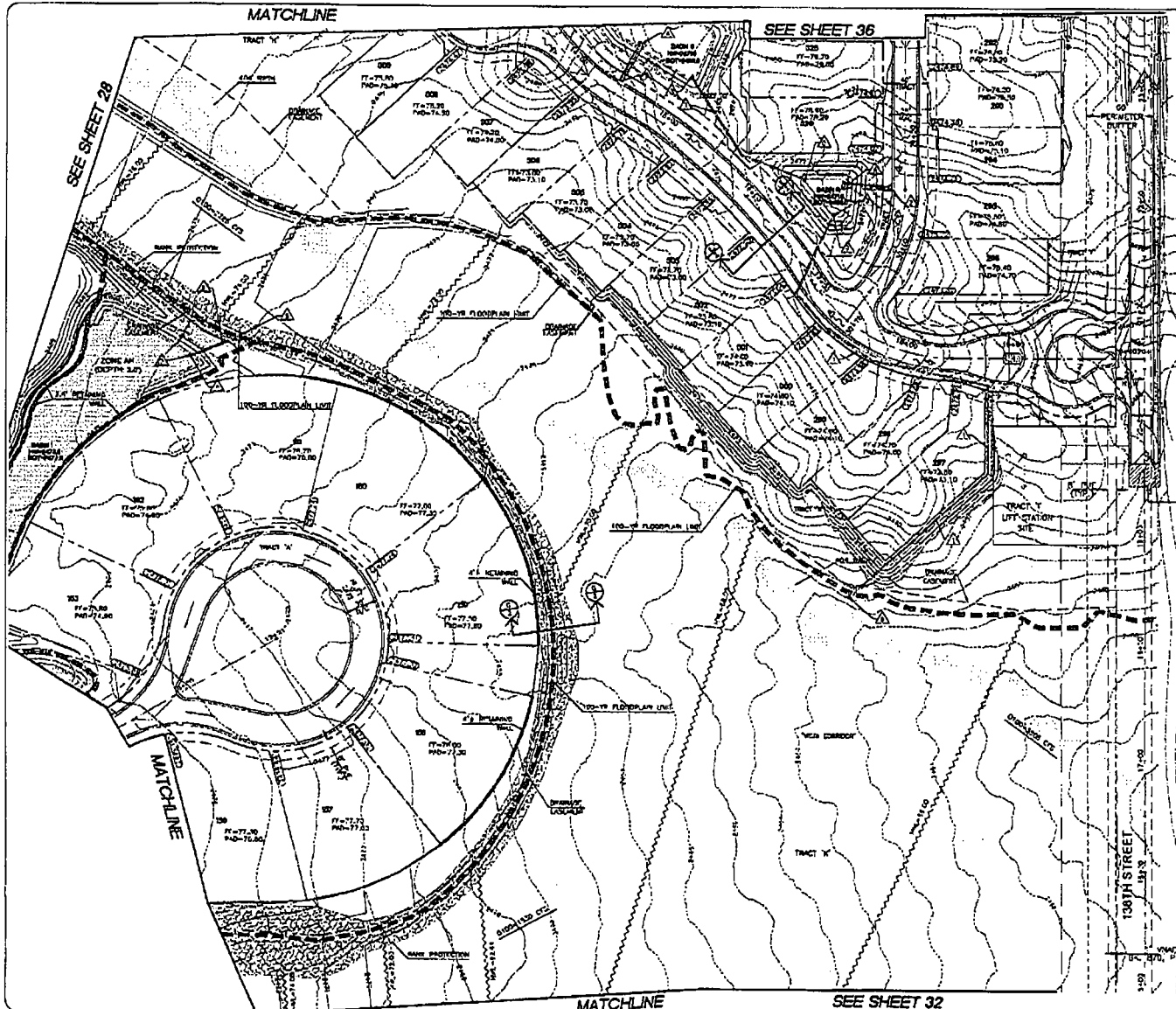
PROFESSIONAL ENGINEER  
 STATE OF ARIZONA  
 LICENSE NO. 12345

**REATA RANCH**  
 PRELIMINARY GRADING PLAN  
 CITY OF SCOTTSDALE, ARIZONA

job no.	70-11
design	JAS
approved	DRG
date	3/20/14
revisions	
sheet	30 of 30

O.S. # 50-59, 50-60, PRLM # 2-PP-2014, ZONING # 15-ZN201, MASTER PLANS 1-MP-2013  
 REATA RANCH





- KEYMAP  
N.T.S.
- GRADING NOTES ---
- STORM DRAIN NOTES ---
- ▲ 18" HOPE BLEED-OFF PIPE 8'AWP-80P BANK PROTECTION BENE PIPE TO MATCH BANK SLOPE. CLEAR CHANNELS 2'WIDE-2'HP, BEGIN WITH PLAN.
  - ▲ 12" SHARP HORIZONTAL 4"AWP-40P FOR 18" HOPE BLEED-OFF PIPE.
  - ▲ CRISE BANKS TO BE PLACED 8'-0" AW FROM BANK TO PROTECT SLOPE.
  - ▲ ALL HORIZONTALS OF THE BLEED-OFF PIPE TO HAVE FLAT GATES AT THE DOWNSTREAM END TO PREVENT FLOW FROM THE WASH ENTERING INTO THE KITCHEN SINK.
  - ▲ 1" CHECK FLOT.
  - ▲ 2" CHECK PLATE.



ERIC OVERMAN, INC.  
2540 L. HARTZOG DRIVE  
SUITE 200  
SCOTTSDALE, AZ 85258  
PH: 480-948-1400  
FAX: 480-948-1401  
WWW.ETOTAL.COM

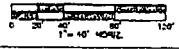


SCOTT D. SMITH  
2540 L. HARTZOG DRIVE  
SUITE 200  
SCOTTSDALE, AZ 85258  
PH: 480-948-1400  
FAX: 480-948-1401  
WWW.ETOTAL.COM



**REATA RANCH**  
PRELIMINARY GRADING PLAN  
CITY OF SCOTTSDALE, ARIZONA

job no.	20-11
design	JKS
approved	WCS
date	5/20/14
revisions	
sheet	31 of 38



REATA RANCH  
O.S. # 50-59, 50-60, PRLM # 2-PP-2014, ZONING # 15-ZN2014, MASTER PLANS 1-MP-2013

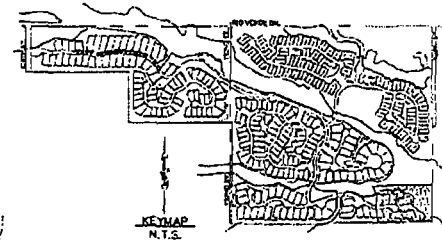
REATA RANCH

REATA RANCH  
PRELIMINARY GRADING PLAN  
CITY OF SCOTTSDALE, ARIZONA

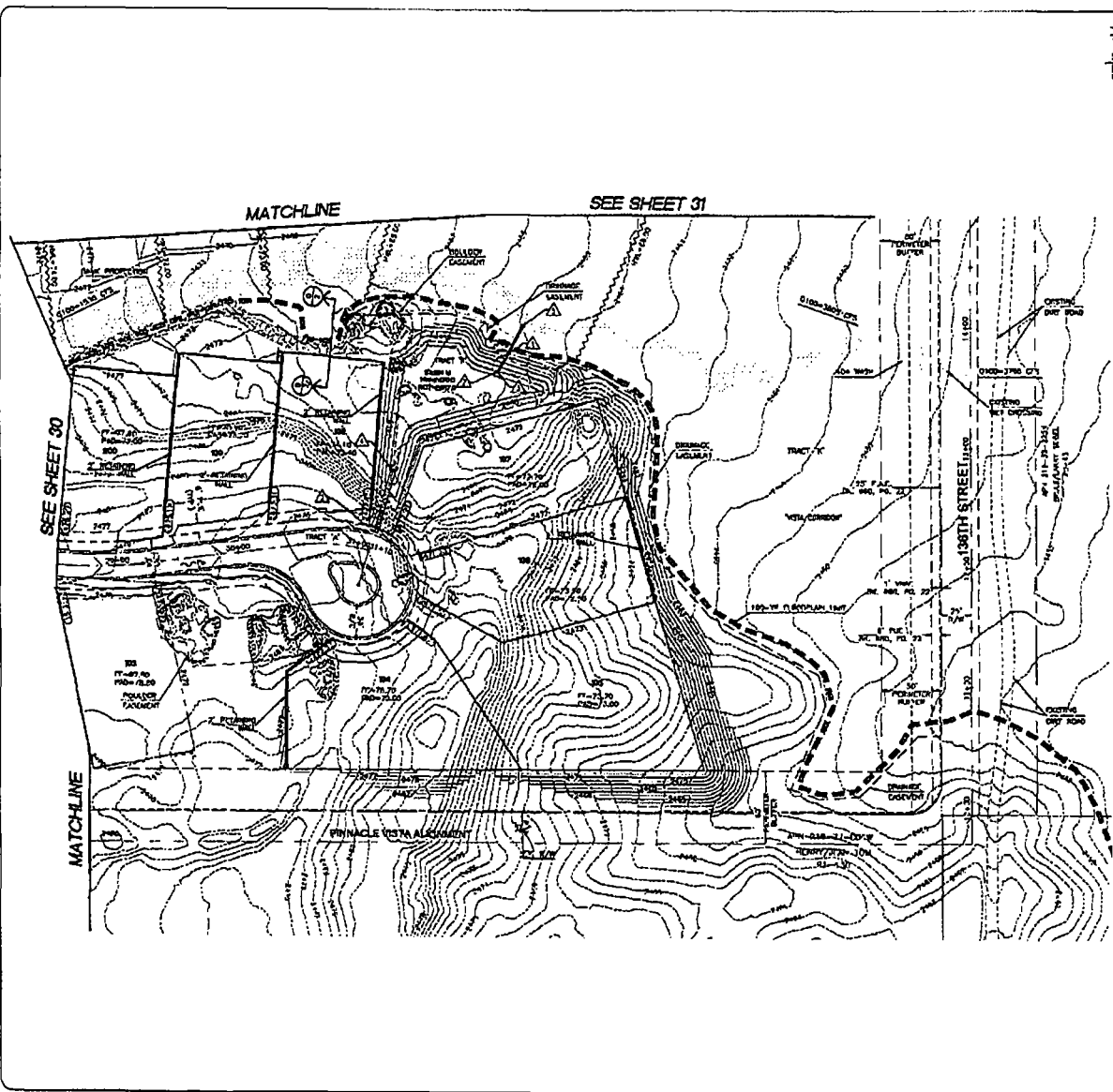
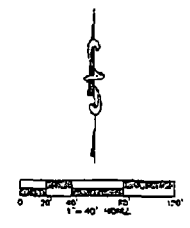
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 design JAB  
 approved JAC  
 date 1/30/14  
 revisions

sheet  
 32 of 36

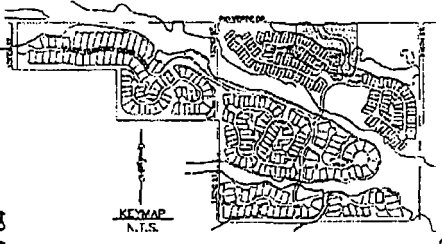
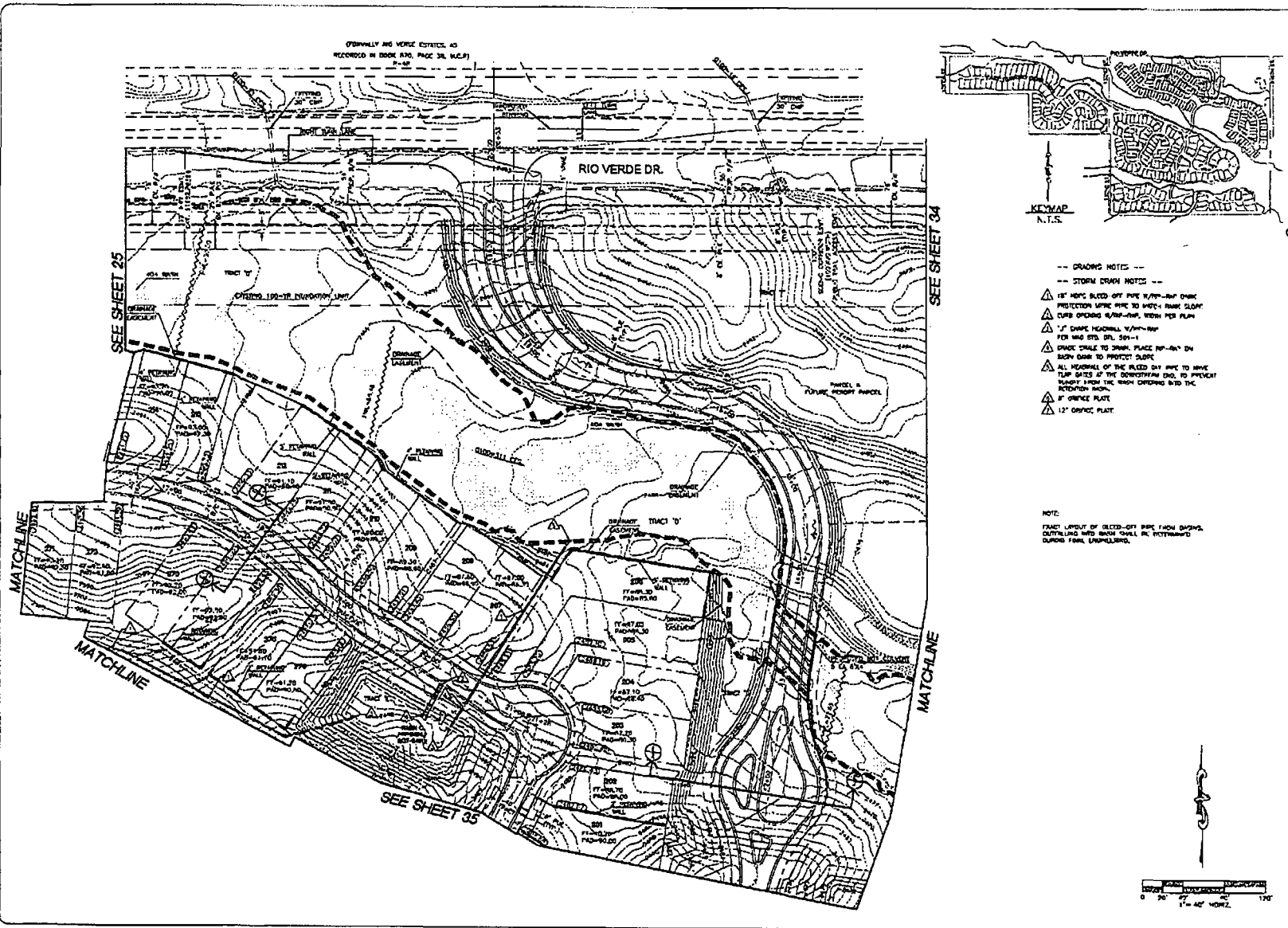
O.S. # 50-59, 50-60, PRLM # 2-PP-2014, ZONING 15-ZN2011, MASTER PLANE 1-MP-2015



- GRADING NOTES --
- STORM DRAIN NOTES --
- ▲ 18" HDPE BLEED-OFF PIPE (15/50-180) BANK PROTECTION WHERE PIPE TO MATCH WITH SLOPE
  - ▲ 18" HDPE BLEED-OFF PIPE (15/50-180) BANK PROTECTION WHERE PIPE TO MATCH WITH SLOPE
  - ▲ 1/4" SHAPE HEADWALL (8" PP-180)
  - ▲ 4" HDPE DRAIN (15/50-180)
  - ▲ GRADIC CHAIN TO DRIVE PLACE (8" PP-180) ON HIGH SIDE TO PROTECT SLOPE
  - ▲ ALL HEADWALLS OF THE BLEED OFF PIPE TO HAVE FLAP CITED AT THE DOWNSTREAM END TO PREVENT BACKFLOW FROM THE MAIN SYSTEM INTO THE RETENTION DRAIN.
  - ▲ 8" ORifice PLATE
  - ▲ 12" ORifice PLATE



OTOMPAKI AND VERDE ESTATES, AS  
RECORDED IN BOOK 810, PAGE 38, M.C.S.#  
8-02



- GRADING NOTES --
- △ 18" HDPE SLEED OFF PIPE 4/10'-100' OVER PROTECTION LIME PIPE TO 100'-1' FROM SLOPE CURB OPENING 4/10'-100' WITH PER PLAN
  - △ 1" DRAIN MANHOLE 1/10'-100' PER 100 STD. DIA. 501-1
  - △ GRADE SHALL TO 200' PLACE 10'-10' IN SIGN GARD TO PROTECT CURB
  - △ ALL MANHOLES OF THE PAVED BY PIPE TO HAVE FLAP GATES AT THE DOWNSTREAM END, TO PREVENT FLOW FROM THE RAIN OPENING INTO THE SECTION NEXT.
  - △ 12" ORANGE PLATE
  - △ 12" ORANGE PLATE

NOTE:  
TRACT LAYOUT OF PAVED-CITY PIPE FROM GRADING OUTLINED INTO BASH SHALL BE TOWARD DURING FINAL UNROLLING.



SGI ENGINEERS, INC.  
2001 E. BAYVIEW DRIVE  
SUITE 100  
MOTTSMAN, ARIZONA 85506  
PH: 520-526-7800  
FAX: 520-526-7801  
WWW.SGI-ARIZONA.COM



REGISTERED PROFESSIONAL ENGINEER  
STATE OF ARIZONA  
NO. 12345  
EXPIRES 12/31/2014

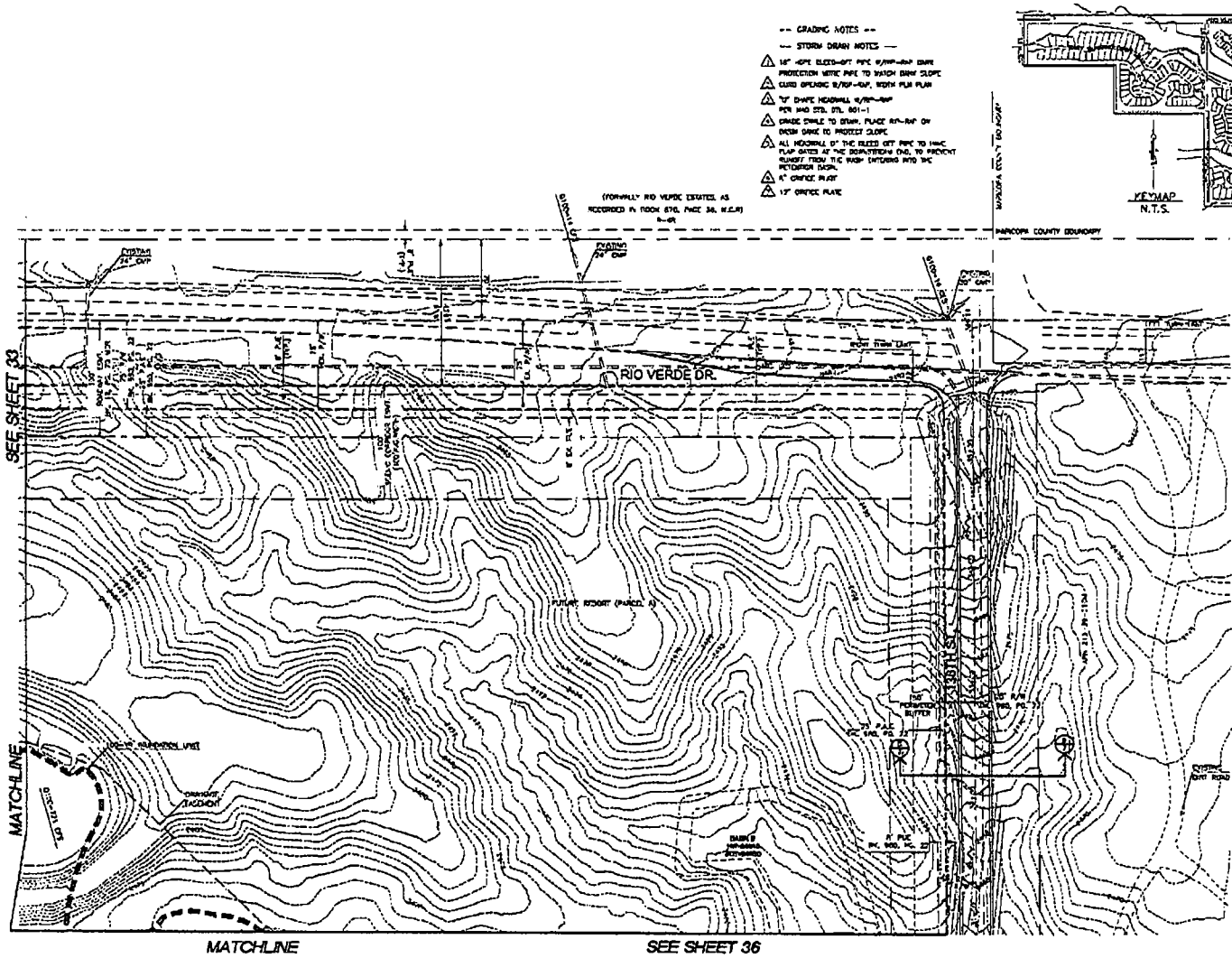
### REATA RANCH

PRELIMINARY GRADING PLAN  
CITY OF SCOTTSDALE, ARIZONA

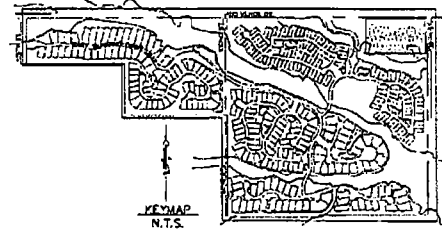
Job no.	30-11
Design	12/14
Approved	12/14
Date	12/14
revision	
sheet	

33 of 38

REATA RANCH  
O.S. # 50-59, 50-60, PREL # 2-PP-2014, ZONING# 15-ZN2011, MASTER PLAN# 1-MP-2013



- GRADING NOTES --
- STORM DRAIN NOTES --
- ▲ 12" HOPE ELECTROFIT PIPE 45°/100'-0" SLOPE
  - PROTECTION WITH PIPE TO MATCH DRAIN SLOPE
  - ▲ CURED ASPHALT 2" / 100'-0" SLOPE WITH PLAN
  - ▲ 12" DRYWELL HEADWALL 45°/100'-0" SLOPE
  - PER 2010 STD. 201-1
  - ▲ GRASS DRAIN TO DRAIN. PLACE 8" x 10" OF
  - DESIGN GRADE TO PROTECT SLOPE
  - ▲ ALL HEADWALLS OF THE ELECTROFIT PIPE TO HAVE
  - PLAN SLOPE AT THE DOWNSTREAM END, TO PREVENT
  - BACKFLOW FROM THE WASH ENTERING INTO THE
  - WETLAND SIGN
  - ▲ 4" GRASS PILE
  - ▲ 12" GRASS PILE



(FORMERLY) RIO VERDE EXISTING AS  
RECORDED IN BOOK 876, PAGE 34, H.C.M.  
8-98

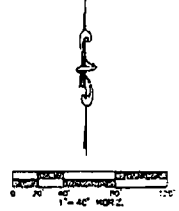
MARKHAM COUNTY BOUNDARY

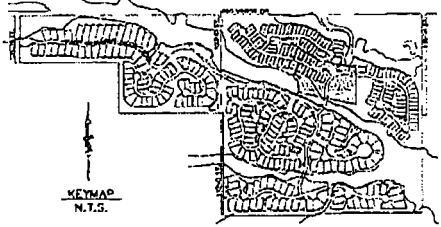
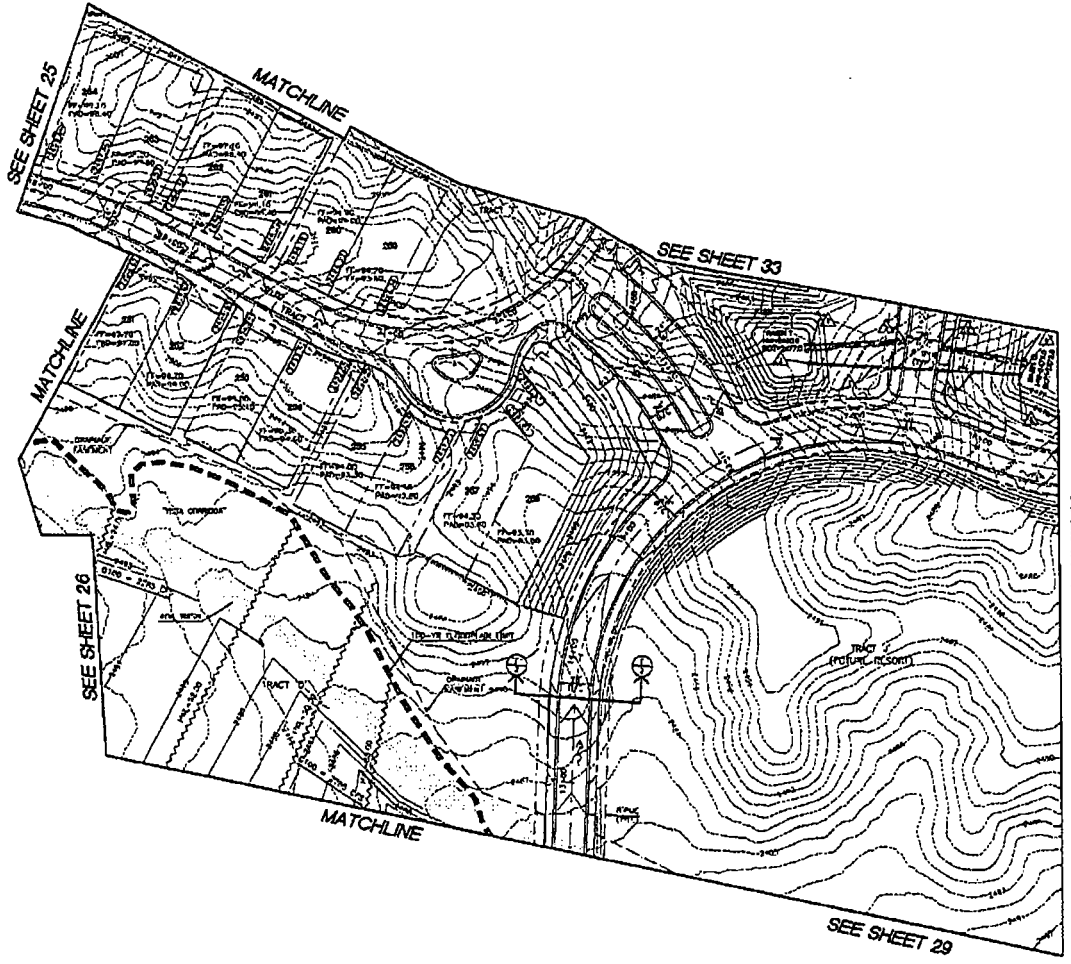
REATA RANCH

**REATA RANCH**  
PRELIMINARY GRADING PLAN  
CITY OF SCOTTSDALE, ARIZONA

Job no.	30-11
design	JAR
approved	082
date	10/014
revisions	
sheet	34 of 38

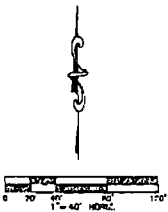
O.S. # 50-59, 50-60, PHLM # 2-PP-2014, ZONING # 15-ZN201L, MASTER PLAN # 1-MP-2013





- GRADING NOTES ---  
 --- STORM DRAIN NOTES ---
- ▲ 12" HDPE BLEED-OFF PIPE W/SP-SPW DUMP PROTECTION WITH P/C TO MATCH DRAIN SLOPE
  - ▲ CURB OPENING W/SP-SPW SIGN FOR PLAN
  - ▲ 12" HDPE MATERIAL W/SP-SPW FOR 400 GPD CUL. 50'-1'
  - ▲ SLOPE SHALL TO DRAIN. PLACE SP-SPW ON SLOPE DRAIN TO PERFECT SLOPE
  - ▲ ALL HEADINGS OF THE BLEED-OFF PIPE TO HAVE TRAP GATES AT THE CONNECTION THE TO IMPROVE REMOVAL FROM THE WASH EFFLUENT INTO THE RECEPTION DRAIN.
  - ▲ 12" DRAINAGE PILE
  - ▲ 12" DRAINAGE PILE

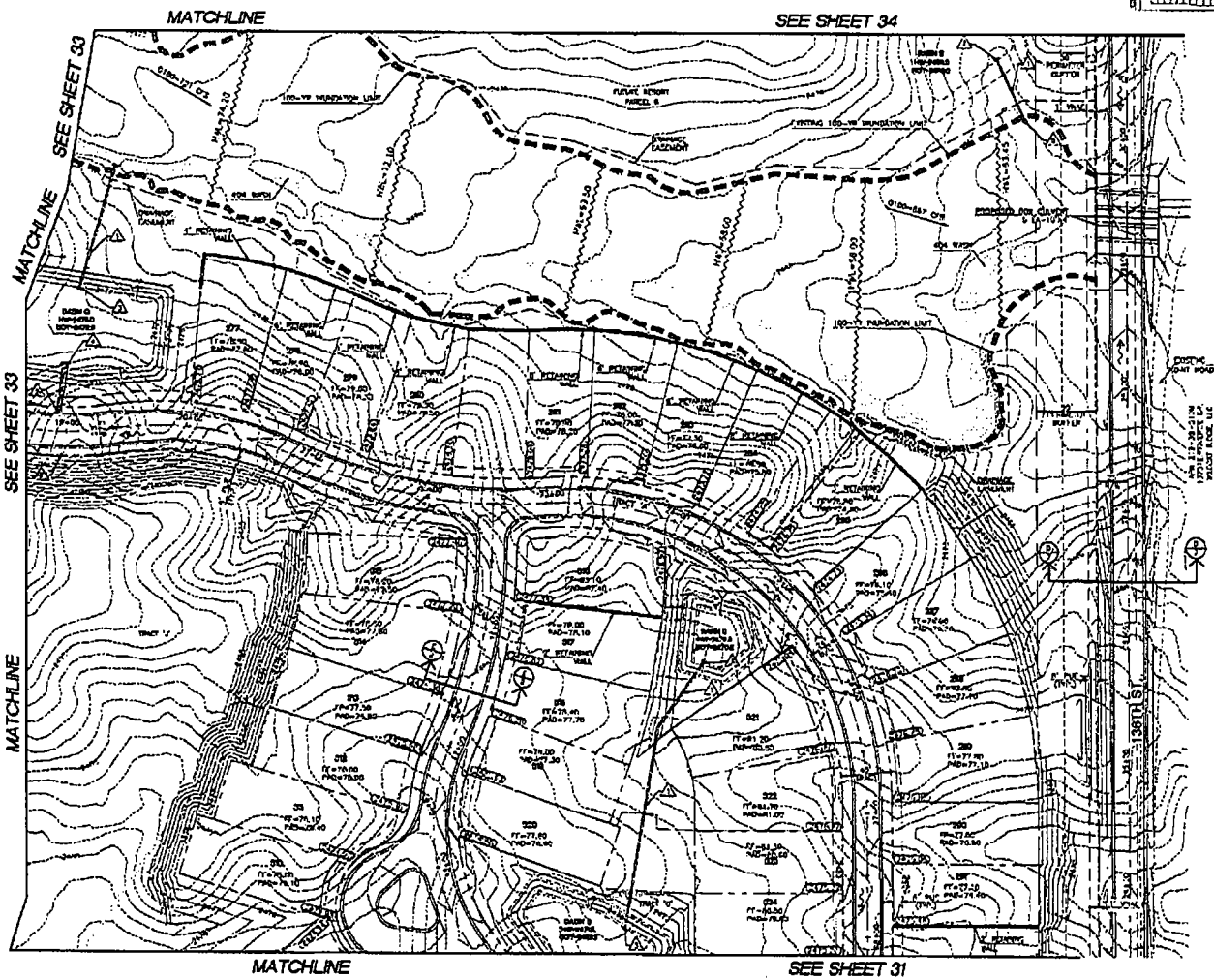
NOTE:  
 EXACT LAYOUT OF BLEED-OFF PIPE FROM PAVED SURFACING AND WASH TRAIL BE DETERMINED DURING FINAL ENGINEERING.



**REATA RANCH**  
 PRELIMINARY GRADING PLAN  
 CITY OF SCOTTSDALE, ARIZONA

job no.	35-11
design	JAS
approved	C.K.D
date	5/20/14
revisions	
sheet	35 of 38

O.S. # 50-59, 50-60, PRLM # 2-PP-2014, ZONING# 15-ZN201, MASTER PLAN# 1-MP-2013



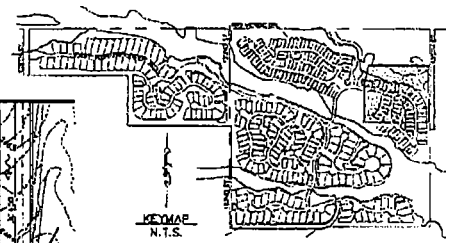
SEE SHEET 34

SEE SHEET 33

SEE SHEET 33

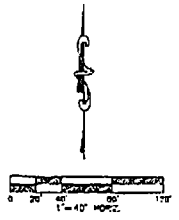
SEE SHEET 33

SEE SHEET 31



- GRADING NOTES ---
- STORM DRAIN NOTES ---
- ▲ 12" HOPE BLEED-OFF PIPE W/ 1/2" DIA. RADIUS PROTECTION WITH PIPE TO MATCH PAVED SLOPE
  - ▲ 6" DIA. OPENING W/ 1/2" DIA. RADIUS PER PLAN
  - ▲ 1/2" DRAINAGE HEADWALL W/ 1/2" DIA. RADIUS PER PLAN AND STD. 24" 301-1
  - ▲ 6" DIA. SINK TO DRAIN. PLACE GRASS ON MAIN BANK TO PROTECT SLOPE.
  - ▲ ALL MATERIAL OF THE BLEED OFF PIPE TO BE PLACED AT THE DOWNSTREAM END TO PROTECT RUNOFF FROM THE DRAIN ENTERING INTO THE NEIGHBORING DRAIN.
  - ▲ 6" OFFICE PLATE
  - ▲ 12" OFFICE PLATE

NOTE:  
 EXACT LAYOUT OF BLEED-OFF PIPE FROM MAINLINE, OUTFALLING INTO NEIGH SINKS BY DETERMINED GROUND PINK ELEVATIONS.



**REATA RANCH**  
 PRELIMINARY GRADING PLAN  
 CITY OF SCOTTSDALE, ARIZONA

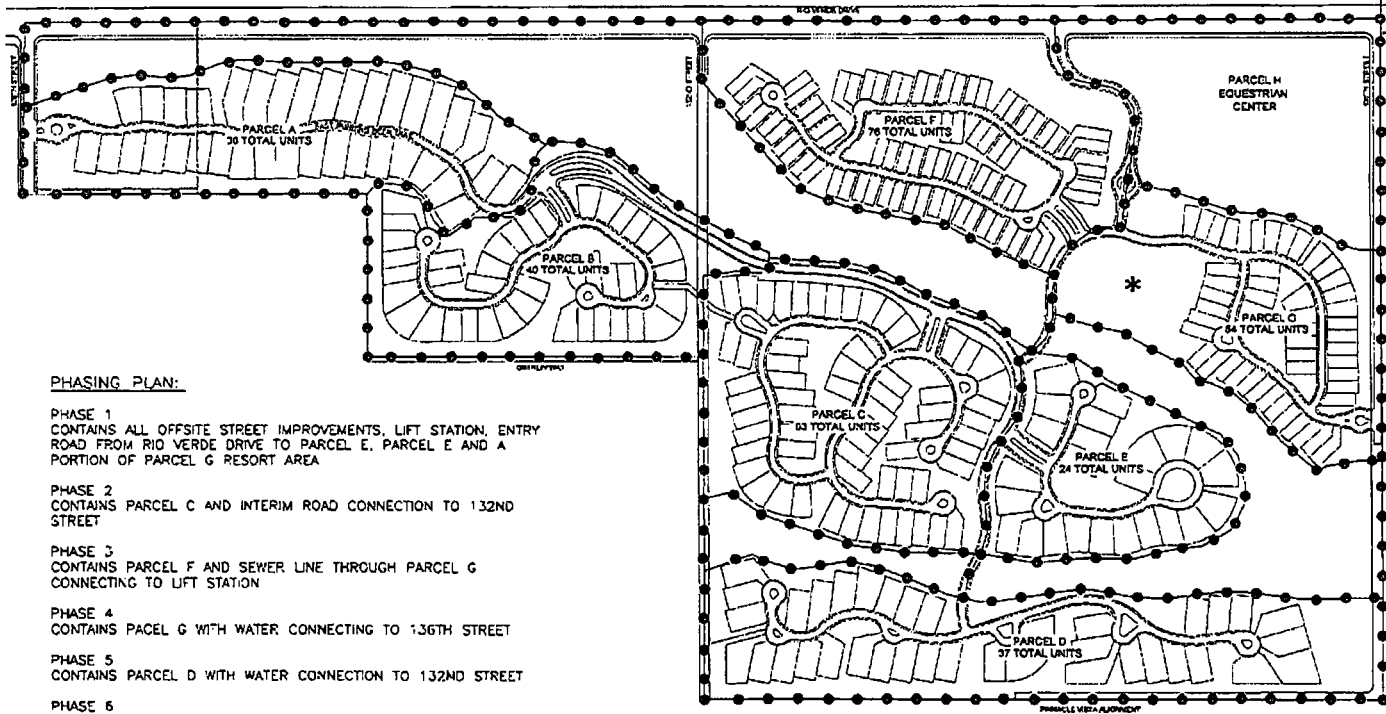
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design	J.S.
approved	J.S.
date	02/14
revisions	
sheet	36 of 38

REATA RANCH  
 O.S. # 50-59, 50-60, PREL. # 2-PF-2014, ZONING# 15-ZR201, MASTER PLAN# 1-MP-2013



300 FUTURE, INC.  
3200 E. BANTING DRIVE  
SUITE 100  
SCOTTSDALE, AZ 85260  
PH: 480-358-1800  
FAX: 480-358-1802  
WWW.3000F.COM

Job no. 15-11  
design JAR  
approved NAK  
date 5/20/14  
revision  
sheet  
37 of 38



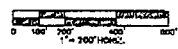
**PHASING PLAN:**

- PHASE 1  
CONTAINS ALL OFFSITE STREET IMPROVEMENTS, LIFT STATION, ENTRY ROAD FROM RIO VERDE DRIVE TO PARCEL E, PARCEL E AND A PORTION OF PARCEL G RESORT AREA
- PHASE 2  
CONTAINS PARCEL C AND INTERIM ROAD CONNECTION TO 132ND STREET
- PHASE 3  
CONTAINS PARCEL F AND SEWER LINE THROUGH PARCEL G CONNECTING TO LIFT STATION
- PHASE 4  
CONTAINS PARCEL G WITH WATER CONNECTION TO 136TH STREET
- PHASE 5  
CONTAINS PARCEL D WITH WATER CONNECTION TO 132ND STREET
- PHASE 6  
CONTAINS PARCEL B WITH WATER CONNECTION TO 132ND STREET AND SEWER CONNECTION TO PARCEL C. CONSTRUCTION OF BRIDGE ACROSS 132ND STREET
- PHASE 7  
CONTAINS PARCEL A WITH WATER CONNECTION TO 128TH STREET

**NOTE:**  
ALL REATA RANCH GUEST RANCH UNITS ARE ELIGIBLE FOR OVERNIGHT ACCOMMODATIONS.

**PER ZONING CASE:**  
330 MAXIMUM UNITS ALLOWED  
110 MINIMUM TO BE GUEST RANCH, GUEST ROOMS/RESORT UNITS

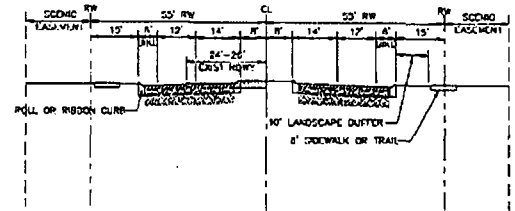
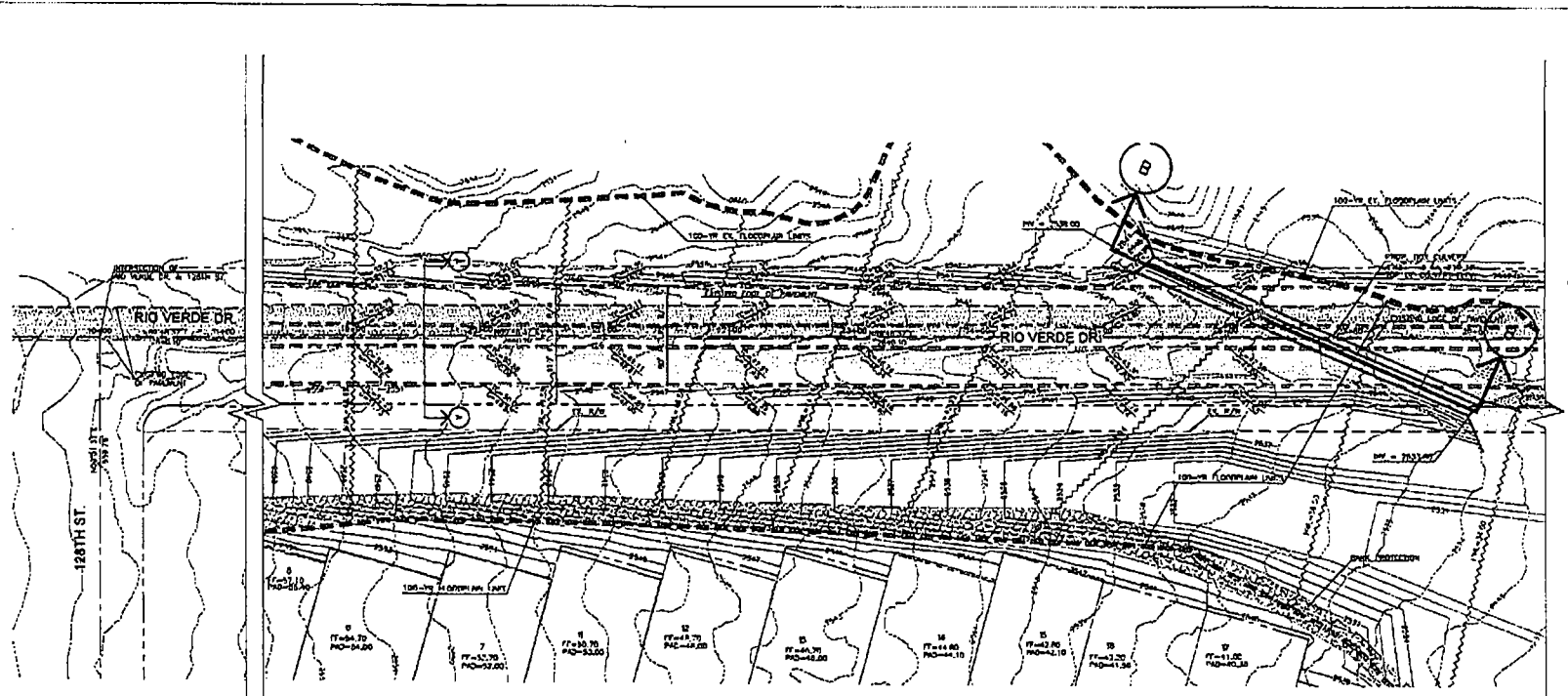
PARCEL NO.	USE	LOT#S	LOT SIZE	TOTAL UNITS	ACREAGE±
A	GUEST RANCH RESORT UNITS	1-36	85'X135'	30	21
D	GUEST RANCH RESORT UNITS	37-74	65'X125'	40	21
C	GUEST RANCH RESORT UNITS	77-139	65'X125'	63	27
D	GUEST RANCH RESORT UNITS	164-200	85'X135'	37	27
E	GUEST RANCH RESORT UNITS	140-163	85'X135'	24	14
F	GUEST RANCH GUEST ROOMS AND/OR RESORT UNITS	201-276	45'X100'(DUPLEX)	76	27
*O	GUEST RANCH GUEST ROOMS AND/OR RESORT UNITS	NA	NA	4	
G	GUEST RANCH GUEST ROOMS AND/OR RESORT UNITS	277-328	50'X125'	30	20
H	EQUESTRIAN CENTER	NA	NA	NA	10



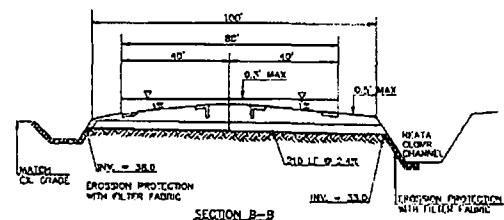


**REATA RANCH**  
 PRELIMINARY GRADING PLAN  
 CITY OF SCOTTSDALE, ARIZONA

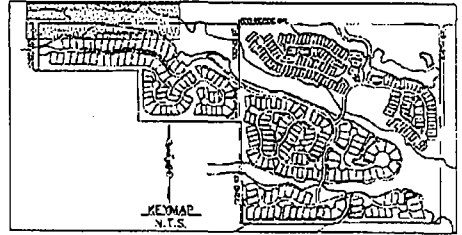
Job No.	2011
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approved	Dr. C.
date	5/20/11
revisions	
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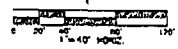
RIO VERDE DR (FUTURE SECTION)  
 SECTION A-A  
 LOOKING EAST



SECTION B-B  
 LOOKING EAST



- LEGEND**
- EXISTING PAVEMENT
  - 424 SLOPE
  - BANK PROTECTION
  - CROSS SECTION LOCATION AND 100-YR WATER SURFACE ELEVATION (DOTTED)
  - PROPOSED TOP OF CURB & CUTTER ELEVATION

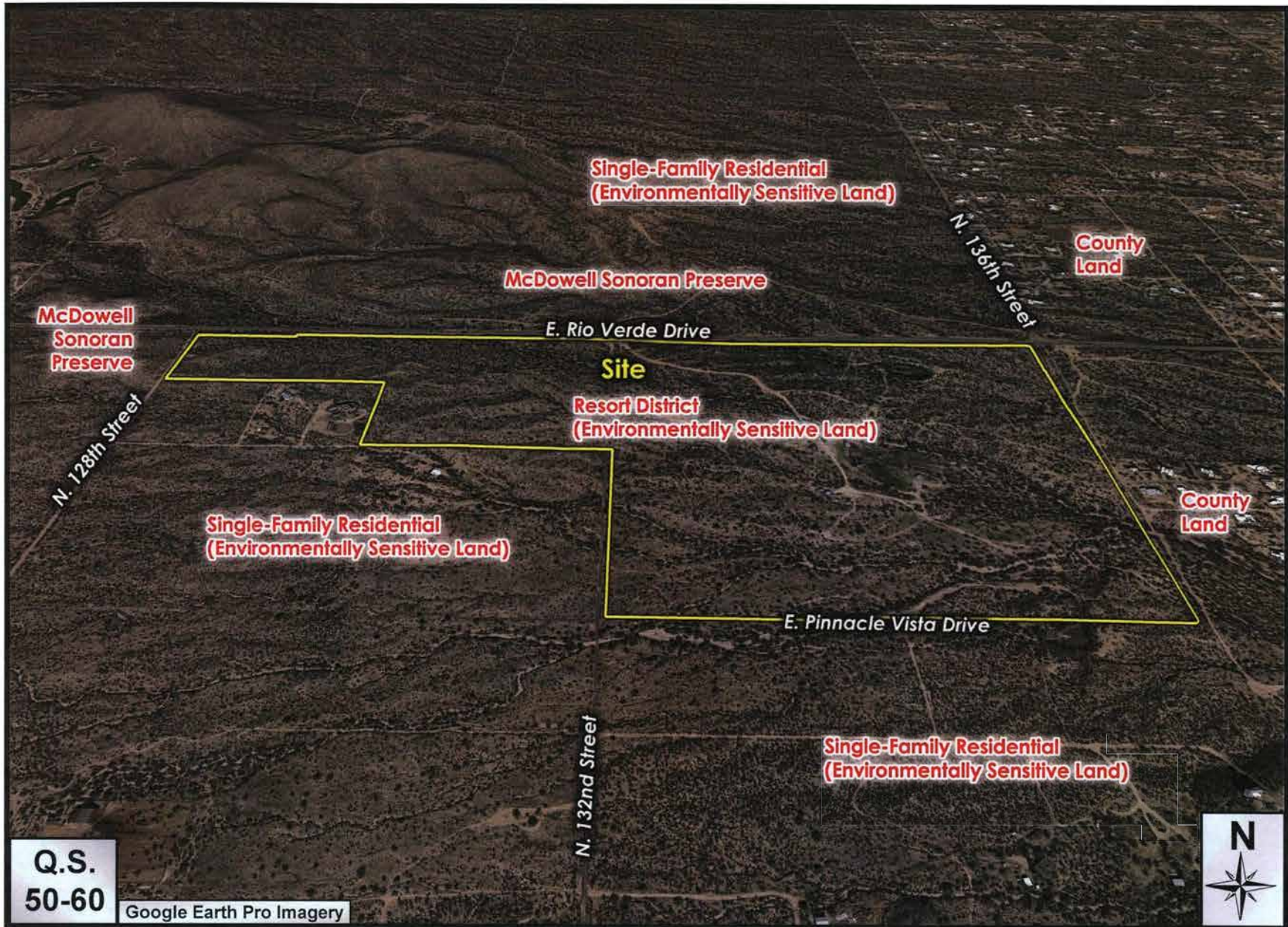






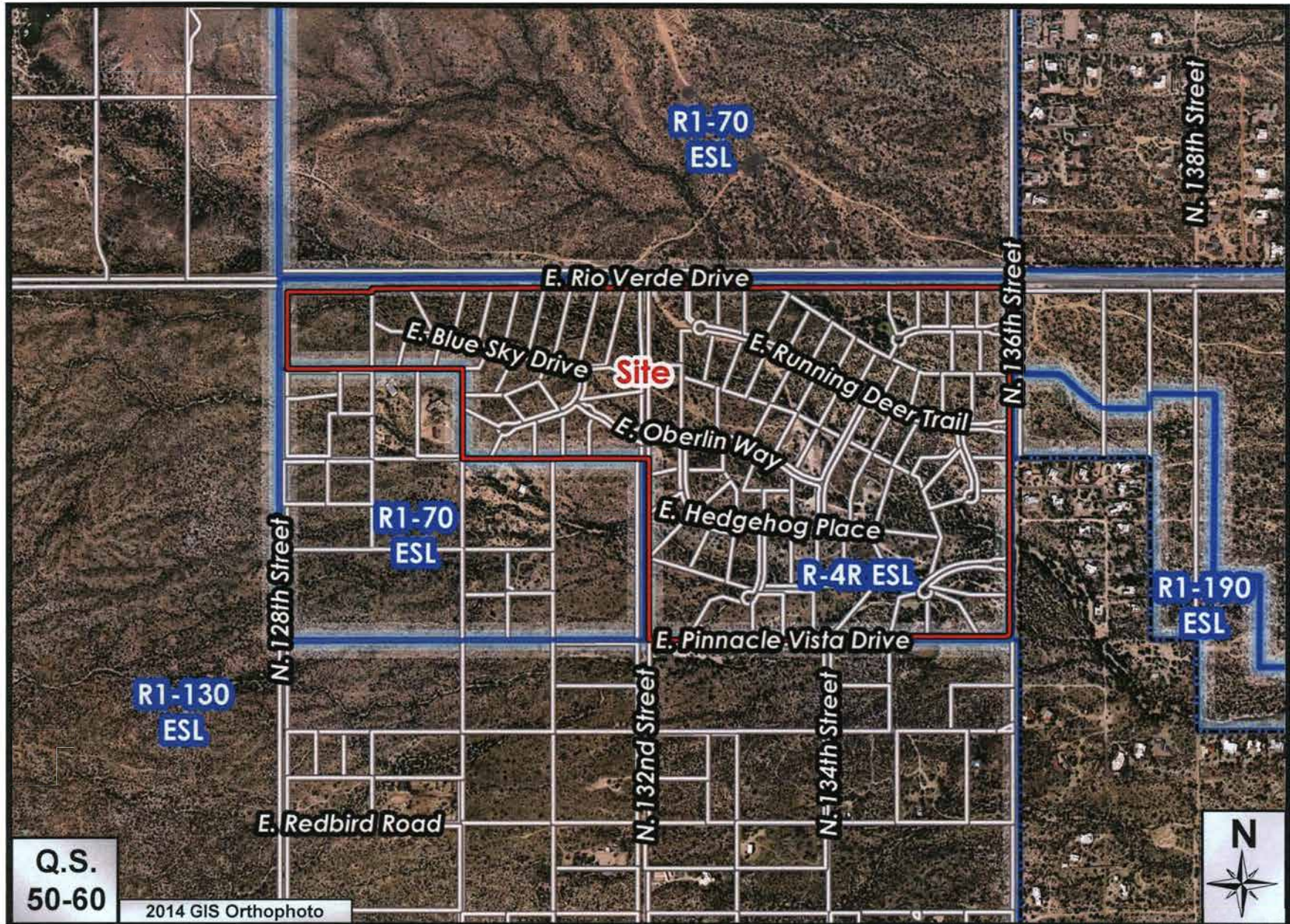
**Reata Ranch Guest Ranch Final Plat**

**2-PP-2014**



**Reata Ranch Guest Ranch Final Plat**

**2-PP-2014**



**Reata Ranch Guest Ranch Final Plat**

**2-PP-2014**

**WHEN RECORDED RETURN TO:**

One Stop Shop  
CITY OF SCOTTSDALE  
ATTENTION: Doris McClay  
7447 East Indian School Road, Suite 101  
Scottsdale, AZ 85251

Agreement No. 2016-083-COS  
(Resolution No. 10484)

**DEVELOPMENT AGREEMENT**

This Agreement ("**Agreement**") is entered into on the \_\_\_ day of \_\_\_\_\_, 2016 ("**Effective Date**"), by: (i) C-A RIO VERDE INVESTORS, L.L.C., an Arizona limited liability company, C-A DESERT ESTATES INVESTORS, L.L.C., an Arizona limited liability company, and C-A TNT INVESTORS, L.L.C., an Arizona limited liability company (collectively, "**Developer**"); and (ii) CITY OF SCOTTSDALE, an Arizona municipal corporation ("**City**"), referred to collectively herein as the "**Parties**" or individually as the "**Party**."

**RECITALS**

A. Arizona Revised Statutes § 9-500.05 authorizes City to enter into a development agreement with a land owner or other person having an interest in real property located in the City.

B. Developer is the owner of certain real property located in Scottsdale, Arizona described in the attached **Exhibit "A"** (the "**Property**").

C. On February 28, 2012, the Scottsdale City Council adopted Ordinance No. 3996, approving zoning case 15-ZN-2011, rezoning the Property to Resort/Townhouse Residential, Environmentally Sensitive Lands (R-4R ESL) zoning ("**Zoning Case**"). The terms and conditions of this rezoning are contained in Ordinance No. 3996, on file in the City Clerk's office of the City ("**Ordinance**"), which terms and conditions are incorporated herein by this reference. The Zoning Case and the Ordinance contemplate the development of up to 330 Units on the Property, of which a minimum of 110 Units will be permanently designated and operated as Resort Units, as defined in this Agreement.

D. In order to induce City to approve the Zoning Case, adopt the Ordinance, approve 9-DR-2014, and other related approvals (collectively "**Reata Approvals**"), Developer committed to City that a minimum of one hundred ten (110) of the Units will be permanently designated and operated as Resort Units as part of the Reata Ranch Resort (the "**Resort**"). In

addition, Developer committed to City that until the 110 Resort Units are built and have been issued a Certificate of Occupancy, the number of Non-resort Units will not exceed the number of Resort Units.

E. This Agreement establishes and clarifies the terms and conditions for development of the Property as a Resort Development under the Reata Approvals. The Parties agree that the terms of this Agreement, including the In-lieu Payment Obligation and associated obligations created by this Agreement, shall constitute covenants running with the land applicable to all Parties, assignees, and future owners of the Property.

F. The Parties hereto agree that development of the Property pursuant to this Agreement will result in planning and economic benefits to the City and its residents.

G. The City's governing body has authorized execution of this Agreement by **Resolution No. 10484**.

H. This Agreement is consistent with the portions of the City's General Plan applicable to the Property on the Effective Date.

**NOW, THEREFORE**, in consideration of the mutual promises and obligations set forth herein, and for good and valuable consideration, the Parties agree as follows:

## **AGREEMENT**

### **1. General.**

1.1. The foregoing Recitals are agreed to be true and correct in all respects and are incorporated herein by this reference.

### **2. Effective Date and Term.**

2.1. This Agreement shall be effective upon the execution by the Parties and shall continue in perpetuity.

### **3. Definitions.**

3.1. **Actual Rate:** The rental amount actually paid by an Occupant or Renter during a Rental Period.

3.2. **Average Local Hotel and Resort Rate:** The average room rate for a hotel or resort unit within the City of Scottsdale and the Town of Paradise Valley market area as established by a Market Study. The 2015 Market Study indicates that the average room rate for the Scottsdale/Paradise Valley Market hotels in 2014 was \$169.09.

3.3. **Developer:** The entities listed in the preamble, above, and any successor owner of the Property which is also the developer of the Property.

- 3.4. **Extended Stay:** A rental period that exceeds 29 consecutive days.
- 3.5. **In-lieu Payment Obligation:** The amount necessary to compensate the City for lost revenue when a Resort Unit is occupied, rented, or leased for a term longer than 29 consecutive days.
- 3.6. **Management Company:** The entity that manages and markets all Resort Units, including having the responsibilities to operate a modern on-line reservation and booking and payment system, collect and administer licenses, taxes, fees, in lieu payments, and similar governmental requirements for the Resort Units, and offer housekeeping and similar resort services. The Management Company may, but need not, be the same entity that operates the Homeowners' Association for the Units ("HOA").
- 3.7. **Market Study:** A study determining the average room rates for hotels and resorts in the City of Scottsdale and the Town of Paradise Valley during a specified time period, such as "The Scottsdale/Paradise Valley Tourism Study – Lodging Statistics" compiled by the City of Scottsdale Tourism and Events Department, or a similar study completed or commissioned by the City and paid for by the Developer, Management Company, or HOA.
- 3.8. **Minimum Nightly Rate:** As of the Effective Date, the Minimum Nightly Rate shall be two-hundred four dollars (\$204), and will remain at this rate for five years after the Effective Date. The Minimum Nightly Rate may be increased or decreased at the request of the Developer, Management Company, HOA, or City no more than annually thereafter based upon the Average Local Hotel and Resort Rate multiplied by a factor of 120% (one-hundred twenty percent). For purposes of setting this Rate, the City Manager or designee shall have the authority to review and verify the Market Study, the Average Local Hotel and Resort Rate, and the new Minimum Nightly Rate on behalf of the City.
- 3.9. **Non-resort Unit:** A Unit that is not marketed by the Management Company for rent as Temporary/Transient lodging or Extended Stay lodging or otherwise subject to the In-lieu Payment Obligation.
- 3.10. **Non-resort Unit Notice:** A notice, in the form attached hereto as **Exhibit "B"** and recorded in the manner required under this Agreement, which establishes that a Unit is one of the Units that will not be permanently available for rent as a Resort Unit, or which changes the designation of a Resort Unit to a Non-resort Unit.
- 3.11. **Occupant:** Any individual, including an Owner, who resides in a Unit.
- 3.12. **Owner:** A person or entity who has a real property interest in a Unit.
- 3.13. **Project:** The development approved by the Scottsdale City Council in Ordinance No. 3996, known as Reata Ranch Resort.

- 3.14. **Rental Period:** The number of consecutive days a Renter or Owner occupies a Resort Unit.
- 3.15. **Renter:** A person or entity who leases or occupies a Unit in exchange for rent or other consideration.
- 3.16. **Resort:** A facility that includes, at a minimum, a restaurant, a pool, and recreational facilities in addition to rooms and/or dwellings for transient occupancy.
- 3.17. **Resort Unit:** A Unit that will be permanently available for rent as Temporary/Transient lodging or Extended Stay lodging through the Management Company.
- 3.18. **Resort Unit Notice:** A notice, in the form attached hereto as **Exhibit "C"** and recorded in the manner required under this Agreement, which establishes that a Unit is one of the Units that will be permanently available for rent as a Resort Unit, or which changes the designation of a Non-resort Unit to a Resort Unit.
- 3.19. **Temporary/Transient lodging:** A rental period of 29 consecutive days or fewer.
- 3.20. **Unconstructed Unit:** A Unit that has not yet been constructed or for which a Certificate of Occupancy has not yet been issued by the City.
- 3.21. **Unit:** A Dwelling, single family, as that term is defined in Article III of the City's Zoning Ordinance, as amended from time to time, that lies within the Project and that has received a Certificate of Occupancy from the City.

4. **Construction, Designation, and Management of Units.**

- 4.1. Developer agrees that upon completion of the Project, no less than 110 Units shall be Resort Units. Additionally, until 110 Resort Units have been completed and designated as Resort Units, the total number of Non-resort Units for which a Certificate of Occupancy has been issued at any given time shall not exceed the total number of Resort Units.
- 4.2. The Units designated as Resort Units and Non-Resort Units as of the Effective Date are specified on **Exhibit D**. These designations may only be changed in conformance with the procedures specified in Section 4.4.
- 4.3. As of the Effective Date, no Units have been constructed. No Unconstructed Unit shall be occupied until the Unit is completed and a Certificate of Occupancy has been issued by the City. No Resort Unit shall be occupied until the Owner obtains a valid Transaction and Use Tax Privilege license.
- 4.4. A Resort Unit may be changed to a Non-resort Unit or a Non-resort Unit may be changed to a Resort Unit only as follows:

- 4.4.1. All changes are voluntary. Changes are binding on present and future owners of the Unit and their lenders and all third parties.
- 4.4.2. The only manner in which a Unit shall change from a Resort Unit to a Non-resort Unit or from a Non-resort Unit to a Resort Unit is by the recording of a Resort Unit Notice or Non-resort Unit Notice, as the case may be. The form of Resort Unit Notice is attached as **Exhibit C**. The form of Non-resort Unit Notice is attached as **Exhibit B**.
- 4.4.3. In order to implement a change, Developer or the Unit owner, as the case may be, shall deliver a written application to the City requesting the change and specifically indicating whether such Unit will become a Resort Unit or a Non-resort Unit.
- 4.4.4. A Non-resort Unit Notice shall not be recorded unless, after the change, the total number of Resort Units is at least equal to or greater than the lesser of the total number of Non-resort Units or 110 Resort Units.
- 4.4.5. Upon recordation of a new Resort Unit Notice or Non-resort Unit Notice, the subject Unit shall become a Resort Unit or Non-resort Unit for all purposes under this Agreement.
- 4.4.6. Only the City is authorized to change the status of a Unit and record a new Resort Unit Notice or a Non-resort Unit Notice, as applicable. No Resort Unit Notice or Non-resort Unit Notice will be recorded until it is fully and properly completed and is executed and acknowledged by the Owner of the Unit, the holder of any and all liens upon the Unit, the Management Company, the Developer (or, if all Units have been developed and sold, the HOA and Management Company), and the City's Planning and Development Director or designee. The person requesting approval of a change must provide the City with a current title report for the Unit prepared not more than thirty days prior to the written request for approval, and must update this report within three days prior to recordation of the Notice. Any Resort Unit Notice or Non-resort Unit Notice must first be approved and signed by the Planning and Development Director or designee, based on confirmation of the then existing number of Resort Units and Non-resort Units. Any promise Developer makes to Unit purchasers and their lenders that Developer will record a Non-resort Unit Notice for a particular Unit shall not be binding on the City.
- 4.4.7. The City shall not unreasonably delay, condition or withhold the required approvals, issuances and/or recordings as long as the Unit Owner complies with the requirements of this Agreement.
- 4.4.8. Any Resort Unit Notice or Non-Resort Unit Notice recorded without the appropriate signatures or by any party other than the City of Scottsdale is void.



- 4.5. No Unit shall be rented or leased until the Owner of the Unit obtains a Transaction and Use Tax Privilege license from the City of Scottsdale.
- 4.6. Prior to the issuance of the Certificate of Occupancy for any Unit, Developer shall provide to the City evidence of the establishment or hiring of a Management Company licensed by the State of Arizona to actively market and manage the Resort Units for vacation rentals and similar transient occupancy, and shall cause the Management Company to so market and manage the Resort Units. Without limitation, the Management Company shall operate a modern on-line reservation and booking and payment system, shall manage and administer licenses, taxes, fees, In-lieu Payment Obligations, and similar governmental requirements for the Resort Units, and shall offer housekeeping and similar resort services. The Management Company may, but need not, be the same entity that operates the HOA.
- 4.7. The original Management Company may be changed only upon the approval and written consent of the City following submittal of proof of the hiring and qualifications of the new Management Company. The City shall not unreasonably delay, condition or withhold the required approval.
- 4.8. Except when a Resort Unit is temporarily out of service for repairs, which periods shall be as short as practicable, each Resort Unit shall be included in the Resort's list of available transient lodgings and shall be offered to the public as part of the Resort's transient lodging inventory on reasonable terms not less favorable than those offered for comparable transient lodging units at nearby resorts.
- 4.9. All Resort Units shall be used and managed, occupied, and otherwise operated as temporary/transient lodging units of the Resort.
- 4.10. The Resort Units shall be part of the Reata Ranch Resort located on the Property. This Resort must include, at a minimum, a restaurant, a pool, and recreational facilities to be planned concurrently with, and built within five years of, the Certificate of Occupancy of the first Resort Unit.
5. **Effect of other Documents.** This Agreement is senior in title priority to every other interest in the Property, including, without limitation:
  - 5.1. No home owners' association declaration or other document shall have priority over this Agreement or its requirements.
  - 5.2. No documents or rights contrary to this Agreement or City's rights under this Agreement shall affect this Agreement.
  - 5.3. Developer and its successors are free to impose additional restrictions upon themselves and the Units. Such restrictions may include agreements related to changing Non-resort Units to Resort Units and changing Resort Units to Non-resort

Units, but no such restrictions or agreements shall be effective against City.

- 5.4. Only a Resort Unit Notice shall cause a Non-resort Unit to become a Resort Unit. Only a Non-resort Unit Notice shall cause a Resort Unit to become a Non-resort Unit.
6. **Reporting.** No later than January 31 of each year after the first Unit is completed, the Management Company and/or the HOA shall give joint notice to City as follows:
  - 6.1. The notice shall include a table listing all currently completed Units and their designation as either a Resort Unit or a Non-resort Unit. The table shall be updated through the end of the previous year.
  - 6.2. The notice shall include a map of the Property marked to show each Resort Unit and each Non-resort Unit as of the end of the previous year.
  - 6.3. The notice shall identify the current Management Company.
  - 6.4. The notice shall include such other information as City may reasonably request from time to time relevant to compliance with this Agreement.
7. **Disclosure.** To ensure that Unit purchasers and subsequent Owners are aware of their obligations under this Agreement, Developer agrees to:
  - 7.1. Include a specific reference to this Agreement on the plat or plats associated with the Property.
  - 7.2. Post the following text (the "**Disclosure Text**") on the Developer's, Management Company's, and HOA's internet site:

At least 110 Units in the Reata Ranch Resort will be designated as "Resort Units" subject to provisions of the Development Agreement dated \_\_\_\_\_, 20\_\_, and recorded on \_\_\_\_\_, 20\_\_ at document number 20\_\_-\_\_\_\_\_, official records of Maricopa County, Arizona ("Development Agreement"), and any amendments thereto. If you own or anticipate owning a Resort Unit, then you will be subject to the City's transient occupancy (bed) tax payment ("TOT") and/or in-lieu payment obligations contained in this Development Agreement.
  - 7.3. Publish the Disclosure Text in Arizona Department of Real Estate public reports for the sale of Units. The Disclosure Text in the public report may be modified as required by the Arizona Department of Real Estate, so long as it gives the specific title, date and recording data of this Agreement.
  - 7.4. Include the Disclosure Text in the following HOA documents:
    - 7.4.1. Declaration of covenants, conditions and restrictions.

7.4.2. Bylaws.

7.4.3. Rules and Regulations.

7.5. Provide the Disclosure Text materials in any marketing materials provided by Developer or HOA to real estate brokers and to new and prospective Unit purchasers.

8. **Transaction Privilege and Use Tax and In-Lieu Payment Obligations.** All rented or leased Units, whether they are Resort Units or Non-resort Units, are subject to the City's Transaction Privilege and Use Tax, and the Owners of Units who rent or lease their Units must first obtain the applicable license from the City and file and transmit the applicable required tax returns.

8.1. Resort Units are deemed transient occupancy units, and are subject to the City's Transaction Privilege and Transient Occupancy (TOT) Taxes. The TOT Tax is currently 5% of the gross income from the rental of a Resort Unit, and is due in conjunction with the 1.65% City's Transaction Privilege tax (for a total of 6.65%). In the event a Resort Unit is rented or leased for a term greater than 29 days, the Owner of this Resort Unit is obligated to pay to the City the then effective Transaction Privilege tax, currently set at 1.65% of the gross income from the rental of the Resort Unit, plus an In-lieu Payment Obligation of the then-effective Transient Occupancy Tax, currently set at 5% of the gross income from the rental of the Resort Unit. The Owner of a Resort Unit may occupy the Unit for any time period, but the occupancy by the Owner is subject to an In-lieu Payment Obligation of 6.65% of the Resort Unit's Minimum Nightly Rate.

8.2. For each day a Resort Unit is rented or occupied, the Transaction Privilege Tax and/or In-lieu obligation (in total 6.65% of the gross actual or deemed income from the rental or occupancy) will be applied to the **higher** of the following, multiplied by the number of days rented or occupied:

8.2.1. The rental rate actually paid by a person renting the Resort Unit, or

8.2.2. The Minimum Nightly Rate.

8.3. The Management Company is responsible for collecting and transmitting to the City each month all Transaction Privilege and Use Taxes, Transient Occupancy Taxes, and In-Lieu Payments for the Resort Units. Until notified by the City that the Arizona Department of Revenue has taken over management of tax collection (currently anticipated to begin in January of 2017), all tax payments will be remitted to:

City of Scottsdale  
Tax and License  
P.O. Box 1600  
Scottsdale, AZ 85252-1600

on the applicable, signed, tax forms. All In-Lieu payment obligations must be remitted in a separate payment to the above address, with a statement listing all Resort Units with their occupancy and/or rental status for the month.

- 8.4. If the Management Company and/or the Owner of a Resort Unit fail to submit the required Tax(es) or In-Lieu payment(s) for a Resort Unit, the City shall have the right, in addition to all other rights and remedies available under federal, state, local, and common law, to withhold the issuance of permits for the Resort Unit in default.
9. **Disputes Among Unit Owners and Others.** It is not the City's responsibility to arbitrate or otherwise resolve disagreements among Developer, Developer's purchasers, other persons, or their lenders or other interested persons about which Units are Resort Units, which Units are Non-resort Units, or any other matters related to this Agreement. Resort Unit Notices and Non-resort Unit Notices shall have priority according to the order that they are recorded.
10. **Indemnity.** Developer, Management Company and HOA shall pay, protect, indemnify, hold harmless and defend City, its officers, employees, agents, independent contractors and elected officials at their joint and several sole cost and expense from any and all liabilities, claims, costs, attorneys' fees, judgment or expenses asserted against City its officers, employees, agents, independent contractors and elected officials, resulting from actions or claims of any nature arising out of the conveyance, possession, administration or exercise of rights under this Agreement, except in such matters arising solely from the gross negligence of City, or its officers, employees, agents, independent contractors or elected officials.
11. **Title Warranty.** Developer warrants and covenants to City and its successors and assigns that Developer is lawfully seized and possessed of the Property; that Developer has a good and lawful right to make the agreements described herein and bind the Property; and that City shall have title and quiet enjoyment of such interest against the claims of all persons.
12. **Authority Warranty.** The person executing this document on behalf of a corporation, trust or other organization warrants his or her authority to do so and that all persons necessary to bind Developer have joined in this document.
13. **Miscellaneous.**
- 13.1. **Contract Administrators:** For purposes of this Agreement, the following persons at the City are designated Contract Administrators:
- 13.1.1. **Planning-related issues:** The City's Planning and Development Director, or designee.
- 13.1.2. **Tax or In-Lieu payment issues:** The City Treasurer, or designee.
- 13.2. **Notices.** Any notices, demands, or communications required or permitted in this Agreement shall be in writing and delivered in person, transmitted by facsimile, electronic mail or mailed via Federal Express or similar overnight delivery service, or

by U.S. registered or certified mail (return receipt requested), to the Parties at their respective addresses as follows:

If to the City: CITY OF SCOTTSDALE  
Attention: Planning and Development Director  
7447 East Indian School Road, Suite 105  
Scottsdale, Arizona 85251

Copy to: CITY OF SCOTTSDALE  
Attention: City Attorney  
3939 North Drinkwater Boulevard  
Scottsdale, Arizona 85251

If to Developer: P.O. Box 6105  
Scottsdale, Arizona 85261-6105  
Attn: Taber Anderson

Copy to: Chester & Shein, P.C.  
8777 North Gainey Center Drive, Suite 191  
Scottsdale, Arizona 85258  
Attn: David Shein

Any such notices shall be deemed to have been duly given on the earlier of: (i) the date of its receipt; (ii) the date of its read receipt; or (iii) the date that is two (2) days after its mailing as provided herein.

- 13.3. Waiver. Delay in exercising any right or remedy does not constitute a waiver. Any waiver by a Party of the other Party's breach of any provision of this Agreement is not construed as a waiver of any preceding or succeeding breach of the same or of any other provision of this Agreement.
- 13.4. Headings. The descriptive headings of the paragraphs of the Agreement are inserted for convenience only, and do not affect the meaning of the provisions of the Agreement.
- 13.5. Entire Agreement. The Agreement, including exhibits, constitutes the entire and final agreement between the Parties relating to the development of Resort and Non-resort Units.
- 13.6. Severability. If any provision of this Agreement is declared void or unenforceable, such provision is severed from this Agreement, but this Agreement remains in full force, provided that the fundamental purposes of this Agreement are not defeated by such severability.
- 13.7. Governing Law. The law of the State of Arizona governs the interpretation and enforcement of this Agreement. The Parties agree that venue for any action commenced in connection with this Agreement is proper only in a court of competent jurisdiction located in Maricopa County, Arizona, and the Parties

waive any right to object to such venue.

- 13.8. Attorneys' Fees and Costs. If either Party brings a legal action under this Agreement, the prevailing Party will be entitled to reasonable attorneys' fees and court costs.
- 13.9. Binding Effect. This Agreement binds the Parties and their respective heirs, legal representatives, successors in interest and assigns.
- 13.10. Third Parties. There are no third party beneficiaries to this Agreement, and no person or entity not a party hereto may have any right or cause of action under this Agreement.
- 13.11. No Agency Created. Nothing contained in this Agreement creates any partnership, joint venture, or agency relationship between the Parties.
- 13.12. Counterparts. This Agreement may be executed in one or more counterparts, and each originally executed duplicate counterpart of this Agreement shall be deemed to possess the full force and effect of the original.
- 13.13. Conflict of Interest. Pursuant to the provisions of A.R.S. § 38-511, the City may cancel this Agreement, without fee reduction or obligation, if any person significantly involved in initiating, negotiating, securing, drafting, or creating this Agreement on behalf of the City is, at any time while this Agreement, or any extension thereof, is in effect, an employee or agent of any other Party to the Agreement in any capacity or a consultant to any other Party of the Agreement with respect to the subject matter of the Agreement. The City is unaware of any such conflict as of the Effective Date.
- 13.14. Authority. The Parties hereby warrant and represent that they have full power and authority to enter into and perform this Agreement, and that the person signing on behalf of each has been properly authorized and empowered to enter into this Agreement. The Parties further acknowledge that they have read this Agreement, understand and agree to be bound by it.
- 13.15. Assignment. The rights and obligations of Developer under this Agreement may be transferred or assigned, in whole or in part, by written instrument, to any subsequent owner of all or any portion of the Property, without consent from the City. Notice of any transfer or assignment in accordance with this paragraph shall be provided to the City within ten (10) days of such transfer or assignment. As provided in A.R.S. § 9.500.05.D, the burdens of this Agreement bind, and the benefits of this Agreement inure to, the Parties hereto and their successors in interest and assigns.
- 13.16. Regulatory Compliance. Developer agrees to comply with all applicable City ordinances and state and federal laws and regulations relative to building codes, including life and safety building codes which include the City's traffic and

transportation rules and regulations.

- 13.17. Force Majeure. The Parties shall be excused for failures and delays in performance of their respective obligations under this Agreement due to any cause beyond their control and without fault. Nevertheless, each Party shall use its best efforts to avoid or remove such causes and to continue performance whenever such causes are removed, and shall notify the other Party of the problem.
- 13.18. Document Conflict. Should any conflict arise between the languages and/or terms contained in this Agreement and the language and/or terms found in the attached Exhibits, the language and/or terms of this Agreement shall control over the language and/or terms of the Exhibits.
- 13.19. Amendment, Termination of the Agreement. This Agreement may be terminated or amended in whole or in part and with respect to all or any portion of the Property, only with the written consent of all the Parties or their successors. Upon such termination, the Parties shall sign and record a document to provide notice of termination in the land records of Maricopa County.
- 13.20. Recordation. The City shall record this Agreement and any amendment of this Agreement, in its entirety, in the official records of the County Recorder's Office in Maricopa County, Arizona, within ten (10) days after the Parties' execute the Agreement, or amendment, as required by A.R.S. § 9-500.05.
- 13.21. Remedies. If any Party to this Agreement breaches any provision of the Agreement, and if such breach is not cured within thirty (30) days after written notice of such breach is delivered to the defaulting Party, the non-defaulting Party shall be entitled to all remedies available at both law and in equity, including specific performance; provided, however, that if the nature of the default is such that the default cannot reasonably be cured within the thirty (30) day period, the Party shall not be deemed to be in default if the Party shall within the thirty (30) day period commence action to cure the default and thereafter diligently prosecute the same to completion. Further, in the event of an uncured breach by Developer, the City shall not be obligated to process or grant any permits, inspections or certificates of occupancy relating to the Property until such time as such breach is cured.
- 13.22. Runs with the Land. The covenants, conditions and restrictions in this Agreement create equitable servitudes upon every portion of the Property in favor of the City. These covenants, conditions and restrictions run with the land and shall be prior, superior and non-subordinated to any and all encumbrances placed against the Property after this Agreement is recorded.

The Parties have executed this Agreement as of the day and year first above written.

**DEVELOPER:**

C-A RIO VERDE INVESTORS, L.L.C., an  
Arizona limited liability company

By: \_\_\_\_\_  
\_\_\_\_\_ Authorized Agent

C-A DESERT ESTATES INVESTORS, L.L.C.,  
an Arizona limited liability company, and

By: \_\_\_\_\_  
\_\_\_\_\_ Authorized Agent

C-A TNT INVESTORS, L.L.C., an Arizona  
limited liability company

By: \_\_\_\_\_  
\_\_\_\_\_ Authorized Agent

**CITY: THE CITY OF SCOTTSDALE, an Arizona  
municipal corporation**

By: \_\_\_\_\_  
W. J. "Jim" Lane, Mayor

ATTEST:

By: \_\_\_\_\_  
Carolyn Jagger, City Clerk

APPROVED AS TO FORM:

OFFICE OF THE CITY ATTORNEY



Bruce Washburn, City Attorney

By: Patricia J. Boomsma, Assistant City Attorney



STATE OF ARIZONA            )  
  ) ss.  
County of Maricopa            )

This document was acknowledged before me this \_\_\_ day of \_\_\_\_\_, 2016, by \_\_\_\_\_, the Authorized Agent of C-A RIO VERDE INVESTORS, L.L.C., an Arizona limited liability company.

My commission expires:

\_\_\_\_\_  
NOTARY PUBLIC

STATE OF ARIZONA            )  
  ) ss.  
County of Maricopa            )

This document was acknowledged before me this \_\_\_ day of \_\_\_\_\_, 2016, by \_\_\_\_\_, the Authorized Agent of C-A DESERT ESTATES INVESTORS, L.L.C., an Arizona limited liability company.

My commission expires:

\_\_\_\_\_  
NOTARY PUBLIC

STATE OF ARIZONA            )  
  ) ss.  
County of Maricopa            )

This document was acknowledged before me this \_\_\_ day of \_\_\_\_\_, 2016, by \_\_\_\_\_, the Authorized Agent of C-A TNT INVESTORS, L.L.C., an Arizona limited liability company.

My commission expires:

\_\_\_\_\_  
NOTARY PUBLIC

STATE OF ARIZONA            )  
  ) ss.  
County of Maricopa            )

This document was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2016, by W. J. "Jim" Lane, Mayor, for and on behalf of City of Scottsdale.

My commission expires:

\_\_\_\_\_  
NOTARY PUBLIC

**EXHIBIT "A"**

**PARCEL NO. 1**

LOTS 1 THROUGH 24, INCLUSIVE AND TRACT A, RIO VERDE ESTATES, ACCORDING TO BOOK 870 OF MAPS, PAGE 38, RECORDS OF MARICOPA COUNTY, ARIZONA.

**PARCEL NO. 2**

THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

**PARCEL NO. 3**

LOTS 1 THROUGH 73, INCLUSIVE, TRACTS A THROUGH C, OF DESERT ESTATES AT PINNACLE PEAK, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 960 OF MAPS, PAGE 22 AND AFFIDAVIT OF CORRECTION RECORDED AS 2008-046561 OF OFFICIAL RECORDS.

EXCEPT ALL OIL, GAS AND OTHER MINERALS IN SAID LAND, AS RESERVED IN INSTRUMENT RECORDED AS 83-478186 OF OFFICIAL RECORDS AND RECORDED AS 84-108697 OF OFFICIAL RECORDS, OF MARICOPA COUNTY, ARIZONA.

**WHEN RECORDED RETURN TO:**

ONE STOP SHOP/RECORDS  
CITY OF SCOTTSDALE  
(Doris McClay)  
7447 East Indian School Road, Suite 100  
Scottsdale, AZ 85251

(related to case No. 15-ZN-2011)  
(Reata Ranch Resort)

**RELEASE OF RESTRICTIVE COVENANT  
REATA RANCH NON-RESORT UNIT DESIGNATION NOTICE**

THIS REATA RANCH NON-RESORT UNIT DESIGNATION NOTICE ("Non-Resort Unit Designation") is made this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by \_\_\_\_\_ ("Owner"), in compliance with the terms of the Reata Ranch Development Agreement, \_\_\_\_\_ recorded at \_\_\_\_\_ ("Reata Ranch Development Agreement")

Owner is the owner of that certain parcel of real property (the Property) legally described as follows:

[insert legal description]

The Property, previously designated a Resort Unit and subject to all the benefits, restrictions, and requirements of a Resort Unit specified in the Reata Ranch Development Agreement, is hereby re-designated to be a Non-Resort Unit, subject to all the benefits, restrictions, and requirements for such Non-Resort Units specified in the Reata Ranch Development Agreement.

Owner confirms that all persons with an interest in the Property consent to this Non-Resort Unit Designation, and that this change in designation complies with the Reata Ranch Development Agreement. Owner warrants and covenants Owner is lawfully seized and possessed of the Property, and Owner has a good and lawful right to make the Non-Resort Unit Designation. If more than one person has an ownership interest in the Property, all Owners are made a party to and have signed this Non-Resort Unit Designation.

Any person executing this document on behalf of a corporation, trust or other organization warrants his or her authority to do so and that all persons necessary to bind Developer have joined in this document.

IN WITNESS WHEREOF, this Non-Resort Unit Designation is given as of the date first above stated.

OWNER: \_\_\_\_\_

EXHIBIT B  
Page 1 of 4

STATE OF ARIZONA            )  
  ) ss.  
County of Maricopa            )

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by \_\_\_\_\_, \_\_\_\_\_ of \_\_\_\_\_, a \_\_\_\_\_.

\_\_\_\_\_  
Notary Public

My Commission Expires:  
\_\_\_\_\_

OWNER: \_\_\_\_\_

STATE OF ARIZONA            )  
  ) ss.  
County of Maricopa            )

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by \_\_\_\_\_, \_\_\_\_\_ of \_\_\_\_\_, a \_\_\_\_\_.

\_\_\_\_\_  
Notary Public

My Commission Expires:  
\_\_\_\_\_

**LIENHOLDER(S) CONSENT TO RELEASE OF RESORT UNIT RESTRICTIVE COVENANT**

The undersigned, having or claiming a lien or other interest in the Property as defined in the Non-Resort Unit Designation to which this consent is attached hereby joins in and subjects its interest in the Property to the release of the Resort Unit Designation Restrictive Covenant, and agrees that this Release runs with the land and binds the interests of the undersigned and its successors and assigns. The person executing this consent warrants authority to bind the undersigned.

EXECUTED as of \_\_\_\_\_.

\_\_\_\_\_

By:  
Its:

\_\_\_\_\_  
\_\_\_\_\_

STATE OF ARIZONA )  
                              )  
County of Maricopa )           ss.

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by \_\_\_\_\_, \_\_\_\_\_ of \_\_\_\_\_, a \_\_\_\_\_.

\_\_\_\_\_  
Notary Public

My Commission Expires:

\_\_\_\_\_

**MANAGEMENT COMPANY'S CONSENT TO NON- RESORT UNIT DESIGNATION**

The undersigned representative of the Reata Ranch Resort Management Company consents to and hereby approves the redesignation of the Property to Non-Resort Unit. The person executing this consent warrants authority to bind the undersigned.

EXECUTED as of \_\_\_\_\_.

\_\_\_\_\_  
 By: \_\_\_\_\_  
 Its: \_\_\_\_\_

STATE OF ARIZONA )  
 ) ss.  
 County of Maricopa )

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by \_\_\_\_\_, \_\_\_\_\_ of \_\_\_\_\_, a \_\_\_\_\_.

\_\_\_\_\_  
 Notary Public

My Commission Expires: \_\_\_\_\_

\_\_\_\_\_

**HOME OWNERS' ASSOCIATION'S CONSENT TO NON-RESORT UNIT DESIGNATION**

The undersigned representative of the Reata Ranch Resort Home Owners' Association consents to and hereby approves the redesignation of the Property to Non-Resort Unit. The person executing this consent warrants authority to bind the undersigned.

EXECUTED as of \_\_\_\_\_.

\_\_\_\_\_  
 By: \_\_\_\_\_  
 Its: \_\_\_\_\_

STATE OF ARIZONA )  
 ) ss.  
 County of Maricopa )

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by \_\_\_\_\_, \_\_\_\_\_ of \_\_\_\_\_, a \_\_\_\_\_.

\_\_\_\_\_  
 Notary Public

My Commission Expires: \_\_\_\_\_

**WHEN RECORDED RETURN TO:**

ONE STOP SHOP/RECORDS  
CITY OF SCOTTSDALE  
(Doris McClay)  
7447 East Indian School Road, Suite 100  
Scottsdale, AZ 85251

(related to case No. 15-ZN-2011)  
(Reata Ranch Resort)

**RESTRICTIVE COVENANT  
REATA RANCH RESORT UNIT DESIGNATION NOTICE**

THIS RESTRICTIVE COVENANT, RANCH RESORT UNIT DESIGNATION NOTICE ("Resort Unit Designation") is made this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by \_\_\_\_\_ ("Owner"), in compliance with the terms of the Reata Ranch Development Agreement, \_\_\_\_\_ recorded at \_\_\_\_\_ ("Reata Ranch Development Agreement")

Owner is the owner of that certain parcel of real property (the Property) legally described as follows:

[insert legal description]

The Property, previously designated a Non-resort Unit, is hereby designated a Resort Unit, subject to all the benefits, restrictions, and requirements for such Units specified in the Reata Ranch Development Agreement.

This Resort Unit Designation is senior in title priority to every other interest in the Property, and no home owners' association declaration or other document shall have priority over this Resort Unit Designation or its requirements.

Owner confirms that all persons with an interest in the Property consent to this Resort Unit Designation, and that this change in designation complies with the Reata Ranch Development Agreement. Owner warrants and covenants Owner is lawfully seized and possessed of the Property, and Owner has a good and lawful right to make the Resort Unit Designation. If more than one person has an ownership interest in the Property, all Owners are made a party to and have signed this Resort Unit Designation.

Any person executing this document on behalf of a corporation, trust or other organization warrants his or her authority to do so and that all persons necessary to bind Developer have joined in this document.

EXHIBIT C  
Page 1 of 4

IN WITNESS WHEREOF, this Resort Unit Designation is given as of the date first above stated.

OWNER: \_\_\_\_\_

STATE OF ARIZONA        )  
  ) ss.  
County of Maricopa        )

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by \_\_\_\_\_, \_\_\_\_\_ of \_\_\_\_\_, a \_\_\_\_\_.

\_\_\_\_\_  
Notary Public

My Commission Expires:  
\_\_\_\_\_

OWNER: \_\_\_\_\_

STATE OF ARIZONA        )  
  ) ss.  
County of Maricopa        )

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by \_\_\_\_\_, \_\_\_\_\_ of \_\_\_\_\_, a \_\_\_\_\_.

\_\_\_\_\_  
Notary Public

My Commission Expires:  
\_\_\_\_\_



**LIENHOLDER(S) CONSENT TO RESORT UNIT RESTRICTIVE COVENANT**

The undersigned, having or claiming a lien or other interest in the Property as defined in the Resort Unit Designation ("Covenant") to which this consent is attached hereby joins in and subjects and subordinates its interest in the Property to said Covenant and agrees that the Covenant runs with the land and binds the interests of the undersigned and its successors and assigns. The person executing this consent warrants authority to bind the undersigned.

EXECUTED as of \_\_\_\_\_

\_\_\_\_\_

By: \_\_\_\_\_  
Its: \_\_\_\_\_

STATE OF ARIZONA )  
                              )       ss.  
County of Maricopa )

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by \_\_\_\_\_ of \_\_\_\_\_, a \_\_\_\_\_.

\_\_\_\_\_  
Notary Public

My Commission Expires:  
\_\_\_\_\_

**MANAGEMENT COMPANY'S CONSENT TO RESORT UNIT RESTRICTIVE COVENANT**

The undersigned representative of the Reata Ranch Resort Management Company consents to and hereby approves the redesignation of the Property to Resort Unit. The person executing this consent warrants authority to bind the undersigned.

EXECUTED as of \_\_\_\_\_.

\_\_\_\_\_  
By: \_\_\_\_\_  
Its: \_\_\_\_\_

STATE OF ARIZONA )  
   )      ss.  
County of Maricopa )

The foregoing instrument was acknowledged before me this \_\_\_\_ day of  
\_\_\_\_\_, 20\_\_\_\_, by \_\_\_\_\_, \_\_\_\_\_ of  
\_\_\_\_\_, a \_\_\_\_\_.

\_\_\_\_\_  
Notary Public

My Commission Expires:  
  
\_\_\_\_\_

**HOME OWNERS' ASSOCIATION'S CONSENT TO RESORT UNIT RESTRICTIVE COVENANT**

The undersigned representative of the Reata Ranch Resort Home Owners' Association consents to and hereby approves the redesignation of the Property to Resort Unit. The person executing this consent warrants authority to bind the undersigned.

EXECUTED as of \_\_\_\_\_.

\_\_\_\_\_  
By: \_\_\_\_\_  
Its: \_\_\_\_\_

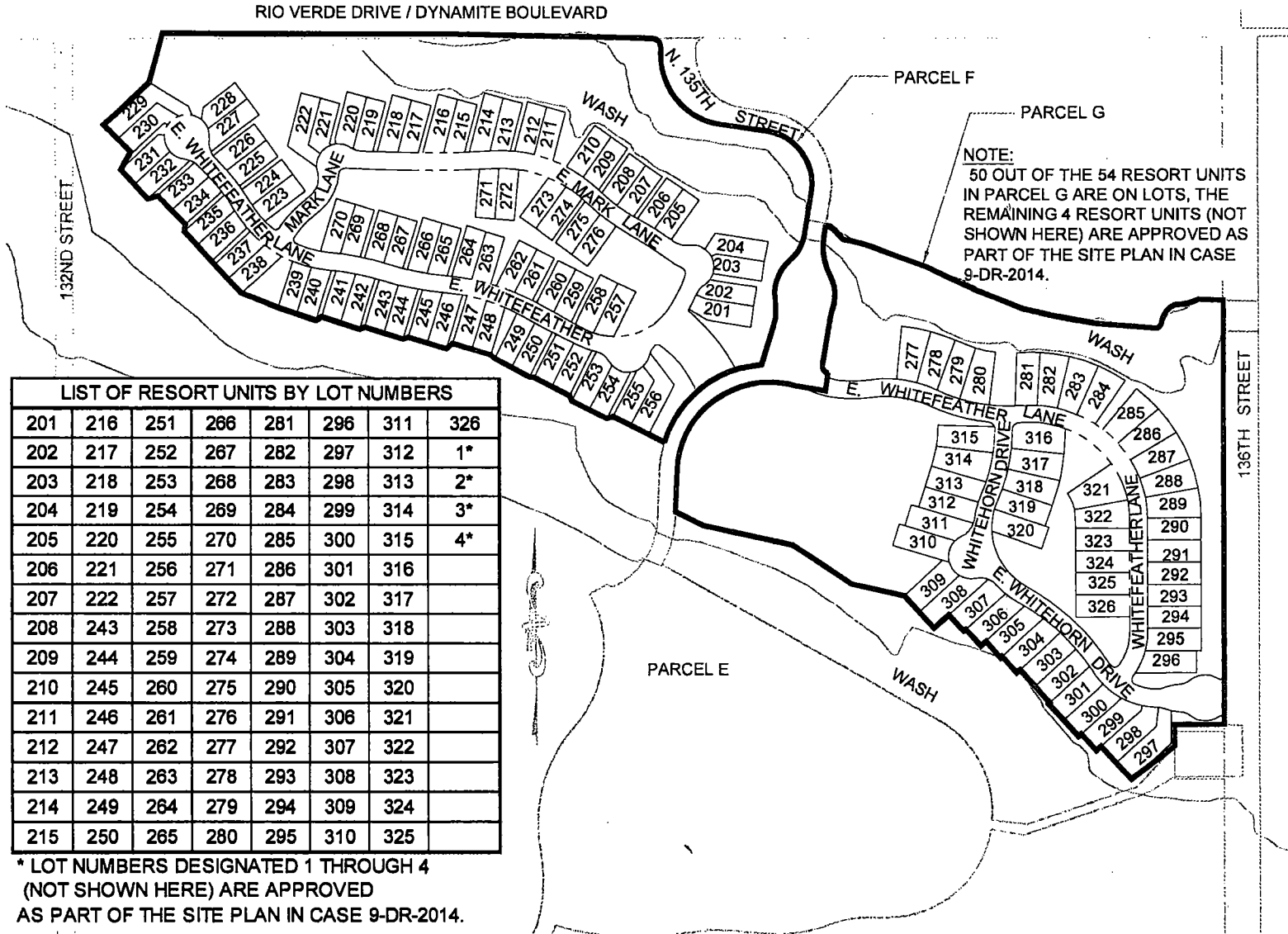
STATE OF ARIZONA )  
   )      ss.  
County of Maricopa )

The foregoing instrument was acknowledged before me this \_\_\_\_ day of  
\_\_\_\_\_, 20\_\_\_\_, by \_\_\_\_\_, \_\_\_\_\_ of  
\_\_\_\_\_, a \_\_\_\_\_.

\_\_\_\_\_  
Notary Public

My Commission Expires: \_\_\_\_\_

Exhibit "D"



RESOLUTION NO. 10484

A RESOLUTION OF THE CITY OF SCOTTSDALE, ARIZONA, AUTHORIZING THE MAYOR TO EXECUTE DEVELOPMENT AGREEMENT NO. 2016-083-COS FOR PROPERTY GENERALLY LOCATED ON THE SOUTH SIDE OF EAST RIO VERDE DRIVE BETWEEN NORTH 128TH STREET AND NORTH 136TH STREET.

WHEREAS, A.R.S. § 9-500.05 authorizes the City to enter into development agreements with persons having an interest in real property located in the City; and

WHEREAS, it is in the best interest of the City and owners to enter into Development Agreement No. 2016-083-COS for the purpose of establishing and clarifying the terms and conditions for development of a Resort Development on property known as Reata Ranch, located on the south side of East Rio Verde Drive between North 128th Street and North 136th Street, pursuant to the terms of Ordinance No. 3996 approving zoning case 15-ZN-2011; and

WHEREAS, this Development Agreement No. 2016-083-COS is consistent with the portions of the City's general plan applicable to the property on the date this Agreement is executed;

NOW, THEREFORE, LET IT BE RESOLVED, by the Council of the City of Scottsdale, as follows:

Section 1. That Mayor W.J. "Jim" Lane is authorized and directed to execute Development Agreement No. 2016-083-COS after it has been executed by all other parties.

Section 2. That the City Clerk is hereby directed to record Development Agreement No. 2016-083-COS with the Maricopa County Recorder within ten (10) days of its execution by all parties.

PASSED AND ADOPTED by the Council of the City of Scottsdale, Arizona, this \_\_\_\_ day of \_\_\_\_\_, 2016.

ATTEST:

CITY OF SCOTTSDALE, an Arizona Municipal Corporation

By: \_\_\_\_\_  
Carolyn Jagger  
City Clerk

By: \_\_\_\_\_  
W.J. "Jim" Lane  
Mayor

APPROVED AS TO FORM:  
OFFICE OF THE CITY ATTORNEY

  
\_\_\_\_\_  
Bruce Washburn, City Attorney  
By: Patricia J. Boomsma

**Stipulations for the Zoning Application:**

**Reata Ranch Guest Ranch**

**Case Number: 15-ZN-2011**

**Changes made after Planning Commission are shown in  
BOLD & UPPERCASE**

These stipulations are in order to protect the public health, safety, welfare, and the City of Scottsdale.

**SITE DESIGN**

1. CONFORMANCE TO CONCEPTUAL DEVELOPMENT PLAN. Development shall conform with the conceptual Development plan submitted by Taber Anderson & Associates and with the city staff date of 1/10/2012, **ENTITLED "REATA RANCH-CONCEPTUAL DEVELOPMENT PLAN FOR REATA RANCH," AND DECLARED A PUBLIC RECORD BY RESOLUTION NO. 8950, WHICH IS INCORPORATED HEREIN BY REFERENCE.** The Conceptual Development Plan is contingent upon drainage, topography, NAOS requirements, circulation and other site planning concerns to be addressed at the time of Development Review Board application approval. Any proposed significant change to the conceptual development plan as determined by the Zoning Administrator, shall be subject to additional action or public hearings before the Planning Commission and City Council.
2. MAXIMUM DWELLING UNITS/MAXIMUM DENSITY. There shall be a maximum total of 330 units with a minimum of 110 being guest ranch guest rooms and/or resort units on the 220-acre property as shown on the "Proposed Master Plan" of the Conceptual Development Plan, submitted by Taber Anderson & Associates and with the city staff date of 1/10/2012, **ENTITLED "REATA RANCH-CONCEPTUAL DEVELOPMENT PLAN FOR REATA RANCH," AND DECLARED A PUBLIC RECORD BY RESOLUTION NO. 8950, WHICH IS INCORPORATED HEREIN BY REFERENCE.**
3. NATURAL AREA OPEN SPACE (NAOS). There shall be a minimum of 88 net acres dedicated as Natural Area Open Space (NAOS) for the entire 220-acre development as shown on the "Open Space and Buffer Plan" of the Conceptual Development Plan, submitted by Taber Anderson & Associates, with the city staff date of 1/10/12, **ENTITLED "REATA RANCH-CONCEPTUAL DEVELOPMENT PLAN FOR REATA RANCH," AND DECLARED A PUBLIC RECORD BY RESOLUTION NO. 8950, WHICH IS INCORPORATED HEREIN BY REFERENCE.**
4. BUILDING HEIGHT LIMITATIONS. No building on the site shall exceed 26 feet in height, measured from natural grade.
5. PERIMETER BUFFER SETBACK. There shall be a minimum of a 60-foot wide buffered setback along the south and portions of the west property lines adjacent to the less intense existing single-family residential districts to the south and west, a 40-foot wide perimeter buffer along the west property line on N. 128<sup>th</sup> Street, and a 50-foot buffer along the east property line along N. 136<sup>th</sup> Street as shown on the "Open Space and Buffer Plan" of the Conceptual

Exhibit 1

Ordinance No. 3996

Page 1 of 7

Approved 2-28-12 (SP)

**ATTACHMENT #7**

Development Plan submitted by Taber Anderson & Associates, with the city staff date of 1/10/12, ENTITLED "REATA RANCH-CONCEPTUAL DEVELOPMENT PLAN FOR REATA RANCH," AND DECLARED A PUBLIC RECORD BY RESOLUTION NO. 8950, WHICH IS INCORPORATED HEREIN BY REFERENCE.

6. ALTERATIONS TO NATURAL WATERCOURSES. Any proposed alteration to the natural state of watercourses with a peak flow rate of 750 cfs or less based on the 100 year – 2 hour rain event shall be subject to Development Review Board approval.
7. TIMING. A CERTIFICATE OF OCCUPANCY FOR OVERNIGHT GUEST RANCH UNITS SHALL BE ISSUED PRIOR TO OR CONCURRENTLY WITH CERTIFICATE OF OCCUPANCY BEING ISSUED FOR ANY DWELLING UNITS THAT ARE NOT FOR OVERNIGHT ACCOMMODATION.
8. EXISTING CONDITIONS. THE EXISTING SUBDIVISION PLAT AND THE APPLICABLE DEVELOPMENT STANDARDS CONTINUE TO APPLY ON THE 220-ACRE PROPERTY AS SHOWN ON EXHIBIT 3 UNTIL THE PROPERTY HAS BEEN REPLATTED.

**INFRASTRUCTURE AND DEDICATIONS**

9. CIRCULATION IMPROVEMENTS. Before any certificate of occupancy is issued for the site, the owner shall make the required dedications and provide the following improvements in conformance with the Design Standards and Policies Manual and all other applicable city codes and policies.
  - a. STREETS. Dedicate the following right-of-way and construct the following street improvements:

Street Name	Street Type	Dedications	Improvements	Notes
E. Rio Verde Drive	Minor Arterial Rural/ESL	None, 75' Right-of-Way (existing)	See in-lieu payment	a.1, a.4
N. 128 <sup>th</sup> Street	Minor Collector Rural/ESL	None, right-of-way (existing)	Construct a half street improvement per DS&PM Figure 5.3-12.	a.2.
N. 132 <sup>nd</sup> Street	Local Residential Rural/ESL	None, right-of-way (existing)	Construct a full street improvement per DS&PM Figure 5.3-19, with no curb and gutter	a.3.
N. 136 <sup>th</sup> Street	Local Collector Rural/ESL	None, right-of-way (existing)	Construct a half street improvement per DS&PM Figure 5.3-16.	a.5.
E. Oberlin Way	Local Residential Rural/ESL	20' wide Right-of-Way	none	a.6.

E. BLUE SKY DRIVE	LOCAL RESIDENTIAL RURAL/ESL	20' WIDE RIGHT-OF-WAY	NONE	A.7.
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- a.1. The owner/developer shall submit an engineer's estimate for plan preparation, design and construction costs of E. Rio Verde Road along site frontage. The estimate shall be based on half street improvements per DS&PM Figure 5.3-4 consisting of one travel lane with curb and gutter. Eastbound right turn lane and westbound left turn lane shall be provided at the intersections of E. Rio Verde Drive with the main entry drive. The improvements shall tie to existing pavement on E. Rio Verde Drive and include paving, striping and signing. Curbing will not be required. The design shall be in compliance with the DS&PM and is subject to review and acceptance by City of Scottsdale.
- a.2. The owner/developer shall construct half street improvement along site frontage on N. 128<sup>th</sup> Street in compliance with City of Scottsdale DS&PM Figure 5.3-12. The improvement shall tie to existing pavement on E. Rio Verde Drive and include paving, striping and signing. The design shall be in compliance with DS&PM and is subject to review and acceptance by City of Scottsdale.
- a.3. The owner/developer shall construct a full street improvement 20-foot wide pavement section with thickened edge type A, from existing edge of pavement on E. Rio Verde to 150 feet south.
- a.4. The owner/developer shall construct an eastbound right turn lane and a westbound left turn lane at the intersection of N.130<sup>th</sup> Street and E. Rio Verde Drive (proposed site main entrance). The design shall be in compliance with DS&PM and is subject to review and acceptance by City of Scottsdale Plan Review staff.
- a.5. A secondary site access shall be provided to 136<sup>th</sup> Street; the location shall be approved at the time of the Development Review Board site plan approval.  
 The owner/developer shall construct half street improvement along site frontage on N. 136<sup>th</sup> Street in compliance with City of Scottsdale DS&PM Figure 5.3-16. An eastbound right turn lane and a westbound left turn lane shall be provided at the intersection of N.136<sup>th</sup> Street and E. Rio Verde Drive. The improvement shall tie to existing pavement on E. Rio Verde Drive and include paving, striping and signing. The design shall be in compliance with DS&PM and is subjected to review and acceptance by City of Scottsdale Plan Review staff. The coordination shall be made with City of Scottsdale/Maricopa County planned improvement project for the improvement at this intersection.
- a.6. The owner/developer shall dedicate 20-foot wide Right-of-Way to the City of Scottsdale, along E. Oberlin Way frontage, from N. 130<sup>th</sup> Street alignment to N. 132<sup>nd</sup> Street alignment.

- a.7. THE OWNER/DEVELOPER SHALL DEDICATE 20-FOOT WIDE RIGHT-OF-WAY TO THE CITY OF SCOTTSDALE, ALONG E. BLUE SKY DRIVE FRONTAGE, FROM N.128<sup>TH</sup> STREET FOR A DISTANCE OF 660 FEET TO THE EAST.**
10. **STREET IMPROVEMENTS AND IN LIEU PAYMENTS.** Before any building permit is issued for the site, the owner/developer shall make an in-lieu payment to the city for the half street construction of E. Rio Verde Road instead of constructing the half street improvement(s). Before any final plan approval, the owner/developer shall submit an engineer's estimate for plan preparation, design and construction costs of E. Rio Verde Road, subject to city staff approval. Street improvement requirements may be adjusted to better conform to future infrastructure conditions or to provide full street improvements for segments as opposed to half street improvements along the entire site frontage as approved by the Executive Director of Community and Economic Development.
11. **DRAINAGE REPORT.** With the Development Review Board application, the owner/developer shall submit a drainage report. The case drainage report shall meet the requirements for drainage reports as outlined in the Design Standards and Policies Manual and shall include a 90% level of design and analysis in general to allow an in-depth evaluation of the proposed project and the associated stormwater management system by City staff.
12. **WATER AND WASTE WATER. TIMING OF IMPROVEMENTS. WATER AND SEWER EXTENSIONS, INCLUDING THE CONSTRUCTION OF THE SEWER LIFT STATIONS AND ASSOCIATED FORCE MAINS, SHALL BE PERMITTED AND UNDER CONSTRUCTION PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS FOR THE PROPERTY. NO CERTIFICATE OF OCCUPANCY SHALL BE GRANTED PRIOR TO THE COMPLETION AND ACCEPTANCE OF THE WATER AND WASTEWATER EXTENSIONS INCLUDING THE SEWER LIFT STATION AND ASSOCIATED FORCE MAINS. THIS SCHEDULE MAY BE MODIFIED ONLY AT THE SOLE DISCRETION OF THE CITY'S WATER RESOURCES DEPARTMENT DIRECTOR OR DESIGNEE.**
13. **WATER SERVICE. THE OWNER/DEVELOPER SHALL DESIGN AND CONSTRUCT THE NECESSARY POTABLE WATER INFRASTRUCTURE TO PROVIDE WATER SERVICE TO THE PROPOSED DEVELOPMENT.**
- a. **OWNER/DEVELOPER SHALL INSTALL A 16-INCH WATER LINE IN RIO VERDE DRIVE BETWEEN THE PRESENT TERMINUS AT 122<sup>ND</sup> STREET, TO 128<sup>TH</sup> STREET INCLUDING A PRESSURE REDUCING VAULT AND VALVE JUST WEST OF 128<sup>TH</sup> STREET. THIS LINE WILL BE CREDIT ELIGIBLE COMPLIANT TO SCOTTSDALE REVISED CODE.**
  - b. **OWNER/DEVELOPER SHALL INSTALL A MINIMUM 12-INCH WATER LINE EXTENSION ACROSS THE ENTIRE RIO VERDE FRONTAGE TO THE PROJECT. THIS LINE IS NOT SUBJECT TO ANY REIMBURSEMENT AGREEMENTS AND SHALL BE AT THE SOLE COST OF THE OWNER/DEVELOPER.**
  - c. **THE ONSITE WATER SYSTEM SHALL BE PUBLIC AND LOCATED WITHIN DEDICATED ROW OR MINIMUM 20-FOOT WIDE WATER LINE EASEMENTS. THE ONSITE WATER SYSTEM SHALL BE INSTALLED AT THE SOLE COST OF THE OWNER/DEVELOPER.**
  - d. **OWNER/DEVELOPER SHALL INSTALL A MINIMUM 12-INCH WATER LINE ALONG THE 128<sup>TH</sup>, 132<sup>ND</sup> AND 136<sup>TH</sup> STREET FRONTAGES TO THE DEVELOPMENT PROVIDING FOR FUTURE EXTENSION TO THE SOUTH BY OTHERS.**



**OWNER/DEVELOPER MAY REQUEST LINE PAYBACK AGREEMENTS PER SCOTTSDALE REVISED CODE.**

- e. **OWNER/DEVELOPER SHALL PROVIDE DEDICATED ROW OR MINIMUM 20-FOOT WIDE ACCESS EASEMENTS TO ALL ONSITE FIRE HYDRANTS.**
- 14. BASIS OF DESIGN REPORT (WATER). SCOTTSDALE'S WATER RESOURCES DEPARTMENT MUST ACCEPT THE WATER BASIS OF DESIGN REPORT PRIOR TO THE APPROVAL OF ANY SITE PLANS BY THE DEVELOPMENT REVIEW BOARD. THE SCOPE OF THIS REPORT SHALL, AT A MINIMUM, ADDRESS THE FOLLOWING:**
- a. **DESIGN COMPLIANT WITH THE CITY'S DESIGN STANDARDS AND POLICIES MANUAL.**
  - b. **STATE THE PROJECT'S AVERAGE, MAXIMUM AND PEAK DAILY DEMANDS ALONG WITH THE FIRE FLOW REQUIREMENTS. INCLUDE THE DEMANDS FOR DEVELOPMENT ADJACENT TO THE PROJECT.**
  - c. **IDENTIFY THE LOCATION, SIZE, AND HYDRAULIC PARAMETERS FOR THE PROPOSED IMPROVEMENTS TO SERVE THE PROJECT.**
  - d. **IDENTIFY THE TIMING, PHASING AND PARTIES RESPONSIBLE FOR CONSTRUCTION OF ALL FACILITIES.**
  - e. **INCLUDE A COMPLETE DESCRIPTION OF HOW THE PROJECT WILL PROCEED ON ITS OWN AND HOW IT WILL ACCOMMODATE THE WATER NEEDS OF OTHER DEVELOPMENT.**
- 15. WASTEWATER SERVICE. THE OWNER/DEVELOPER SHALL DESIGN AND CONSTRUCT THE NECESSARY WASTEWATER INFRASTRUCTURE AND FACILITIES TO PROVIDE WASTEWATER COLLECTION AND PUMPING TO THE CITY'S EXISTING GRAVITY SEWER SYSTEM.**
- a. **OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR AN ONSITE WASTEWATER COLLECTION SYSTEM TO CONVEY WASTEWATER TO A LIFT STATION SITE. THE ONSITE COLLECTION SYSTEM SHALL BE DEVELOPED AS A PRIVATE SYSTEM. AT THE DISCRETION OF THE CONTRACT ADMINISTRATOR, PORTIONS OF THE ONSITE SYSTEM MAY BE DEDICATED TO THE CITY AS A PUBLIC COLLECTION SYSTEM PROVIDED THE DESIGN AND CONSTRUCTION OF THE SYSTEM MEETS ALL CITY OF SCOTTSDALE CRITERIA. BOTH PUBLIC AND PRIVATE PORTIONS OF THE SYSTEM SHALL BE CONSTRUCTED AT THE SOLE EXPENSE OF THE OWNER. ALL PRIVATE PORTIONS OF THE SYSTEM SHALL BE MAINTAINED AT THE SOLE EXPENSE OF THE OWNER.**
  - b. **OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR SEWER LIFT STATIONS AND FORCE MAINS TO CONVEY WASTEWATER FROM THIS DEVELOPMENT TO THE CITY'S GRAVITY COLLECTION SYSTEM LOCATED AT DYNAMITE AND ALMA SCHOOL ROADS. THE SEWER LIFT STATIONS AND FORCE MAINS SHALL BE PUBLIC. PROPERTY FOR THE SEWER LIFT STATION SITES SHALL BE DEEDED TO THE CITY AND FORCE MAINS WILL BE WITHIN DEDICATED ROW OR MINIMUM 20-FOOT WIDE PUBLIC SEWER EASEMENTS. THE SEWER LIFT STATIONS, FORCE MAINS AND**

**PROPERTY DEEDED TO THE CITY SHALL BE AT THE SOLE EXPENSE OF THE OWNER/DEVELOPER.**

- c. SHOULD OWNER/DEVELOPER PROVIDE CAPACITY IN THE SEWER LIFT STATIONS OR FORCE MAINS TO SERVE OTHER PROPERTIES, OWNER/DEVELOPER SHALL CONTACT THE CITY TO DISCUSS POTENTIAL FOR ANY COST SHARING OR PAYBACK AGREEMENTS. THE OWNER SHALL ALSO BE ELIGIBLE TO NEGOTIATE COST SHARING AGREEMENTS DIRECTLY WITH OTHER BENEFITING PROPERTIES.**
  - d. OWNER/DEVELOPER SHALL PROVIDE DEDICATED ROW OR A MINIMUM 20-FOOT WIDE PUBLIC ACCESS EASEMENT TO ALL SEWER LIFT STATIONS.**
- 16. BASIS OF DESIGN REPORT (WASTEWATER). SCOTTSDALE'S WATER RESOURCES DEPARTMENT MUST ACCEPT THE WASTEWATER BASIS OF DESIGN REPORT FOR THE COLLECTION SYSTEM AND BASIS OF DESIGN REPORT FOR THE LIFT STATIONS PRIOR TO THE APPROVAL OF ANY SITE PLANS BY THE DEVELOPMENT REVIEW BOARD. THE SCOPE OF SAID REPORTS SHALL, AT A MINIMUM, ADDRESS THE FOLLOWING:**
- a. DESIGN COMPLIANT WITH THE CITY'S SEWER LIFT STATION DESIGN CRITERIA AND THE CITY'S DESIGN STANDARDS AND POLICIES MANUAL.**
  - b. STATE THE PROJECT'S AVERAGE AND PEAK DAILY DEMANDS AND ALLOWANCE FOR ANY POOL BACKWASH.**
  - c. IDENTIFY THE LOCATION, SIZE, CAPACITY AND HYDRAULIC PARAMETERS OF THE SEWER LIFT STATION AND FORCE MAINS INCLUDING THE ALMA SCHOOL GRAVITY SEWER LINE AT THE POINT OF DISCHARGE.**
  - d. SEWER LIFT STATION PUMP DESIGN HEADS SHALL NOT EXCEED 250 FEET.**
  - e. IDENTIFY THE TIMING, PHASING AND PARTIES RESPONSIBLE FOR CONSTRUCTION OF ALL FACILITIES.**
  - f. INCLUDE A COMPLETE DESCRIPTION OF HOW THE PROJECT WILL PROCEED ON ITS OWN AND IF IT WILL ACCOMMODATE THE WASTEWATER NEEDS OF OTHER DEVELOPMENT.**
- 17. SCENIC CORRIDOR EASEMENT LOCATION AND DEDICATION.** With the Development Review Board application, the owner/developer shall show dedication of a Scenic Corridor Setback along E. Rio Verde Drive at an average of 140 feet wide, measured from existing right-of-way. Unless otherwise approved by the Development Review Board, the Scenic Corridor easement shall be left in a natural condition. The Scenic Corridor setback easement language shall include language to accommodate for trails and multi-use paths to be located within the entire Scenic Corridor setback easement.
- 18. BUFFERED SETBACK SETBACKS LOCATION AND DEDICATION.** With the Development Review Board application, the owner/developer shall show dedication of a scenic roadway buffer easement along N. 132<sup>nd</sup> Street at a minimum of 40-foot wide, measured from existing right-of-way. Unless otherwise approved by the Development Review Board, the Desert Scenic Roadway setback shall be left in a natural condition.

19. VISTA CORRIDOR EASEMENTS. With the Development Review Board application, the owner/developer shall show dedication of all Vista Corridors (a watercourse with a peak flow rate of 750 cfs or greater based on the 100 year – 2 hour rain event) to the city. The minimum width of the vista corridor easement shall be 100 feet. Each easement shall include, at a minimum, any existing low flow channels, all major vegetation, and the area between the tops of the banks of the watercourse. Unless approved by the Development Review Board, all Vista Corridors shall be left in a natural state.



**SCOTTSDALE DEVELOPMENT REVIEW BOARD  
KIVA-CITY HALL  
3939 DRINKWATER BOULEVARD  
SCOTTSDALE, ARIZONA**

**Thursday July 17, 2014**

**\*SUMMARIZED MEETING MINUTES\***

**PRESENT:**

Dennis Robbins, Council Member  
Ed Grant, Planning Commissioner  
Eric Gerster, Vice Chair  
Chris Jones, Design Member  
Ali Fakh, Design Member  
David Gulino, Development Member  
Kevin Bollinger, Design Member

**ABSENT:**

All Present

**STAFF:**

Steve Venker  
Joe Padilla  
Greg Bloemberg  
Doris McClay  
Keith Niederer  
Brad Carr  
Dan Symer  
Bryan Cluff  
Steve Perone

**CALL TO ORDER**

Councilman Robbins called the meeting of the Scottsdale Development Review Board to order at 1:02 p.m.

**ROLL CALL**

A formal roll call was conducted confirming members present as stated above.

**ADMINISTRATIVE REPORT**

1. Identify supplemental information, if any, related to the July 17, 2014 Development Review Board agenda items, and other correspondence.

**MINUTES**

2. Approval of June 19, 2014 Development Review Board Meeting Minutes  
**COMMISSIONER GRANT MOVED TO APPROVE THE JUNE 19, 2014 DEVELOPMENT REVIEW BOARD MEETING MINUTES SECONDED BY BOARD MEMBER FAKIH, THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SEVEN (7) TO ZERO (0).**

**CONSENT AGENDA**

3. 1-DR-2014                      Aerium Townhomes

**BOARD MEMBER BOLLINGER MOVED TO APPROVE 1-DR-2014 SECONDED BY BOARD MEMBER GULINO, THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SEVEN (7) TO ZERO (0) WITH ADDITIONAL STIPULATION.**

Dennis Kissler spoke of concerns regarding the gate opening and parking.

4. 2-PP-2014                      Reata Ranch Guest Ranch

**BOARD MEMBER BOLLINGER MOVED TO APPROVE 2-PP-2014 SECONDED BY COMMISSIONER GRANT, THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SIX (6) TO ZERO (0) WITH REVISED STIPULATION AND BOARD MEMBER GULINO RECUSING HIMSELF.**

5. 23-DR-2014                      Verizon PHO Desert (Small Cell)

**BOARD MEMBER GULINO MOVED TO APPROVE 23-DR-2014 SECONDED BY VICE CHAIR GERSTER, THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SEVEN (7) TO ZERO (0).**

**REGULAR AGENDA**

6. 22-DR-2013#2                      Miller Plaza Redevelopment

**BOARD MEMBER GULINO MOVED TO APPROVE 22-DR-2013#2 SECONDED BY BOARD MEMBER BOLLINGER THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SIX (6) TO ZERO (0) WITH BOARD MEMBER FAKIH RECUSING HIMSELF.**

7. 12-DR-2014                      Eldorado on First

**BOARD MEMBER GULINO MOVED TO APPROVE 12-DR-2014 SECONDED BY VICE CHAIR GERSTER, THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SEVEN (7) TO ZERO (0) WITH DELETED STIPULATIONS.**

8. 21-DR-2014                      Shepherd of the Desert

**BOARD MEMBER GULINO MOVED TO APPROVE 21-DR-2014 SECONDED BY BOARD MEMBER FAKIH, THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SEVEN (7) TO ZERO (0) WITH REVISED STIPULATION.**

**ADJOURNMENT**

With no further business to discuss, the regular session of the Development Review Board adjourned at 2:08 P.M.

# Item 6

## Reata Ranch Guest Ranch Final Plat and Development Agreement

2-PP-2014

City Council

June 21, 2016

Coordinator: Doris McClay

### Reata Ranch Guest Ranch



CONTEXT AERIAL

2-PP-2014

# Reata Ranch Guest Ranch



DETAIL AERIAL

2-PP-2014

# Reata Ranch Guest Ranch

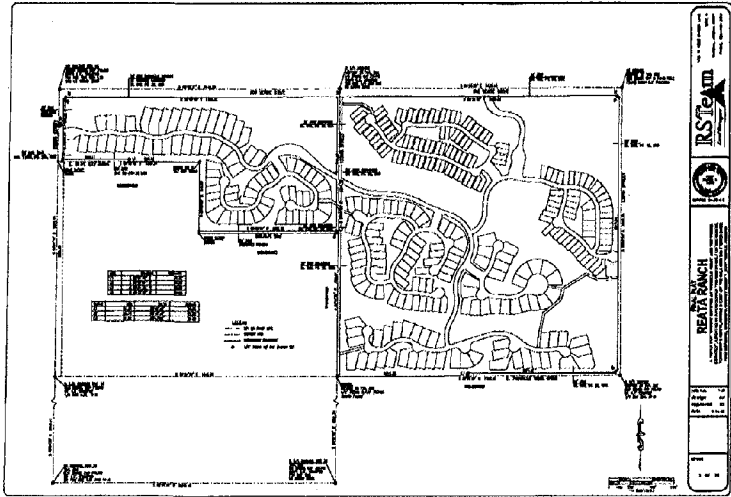


ZONING AERIAL

2-PP-2014



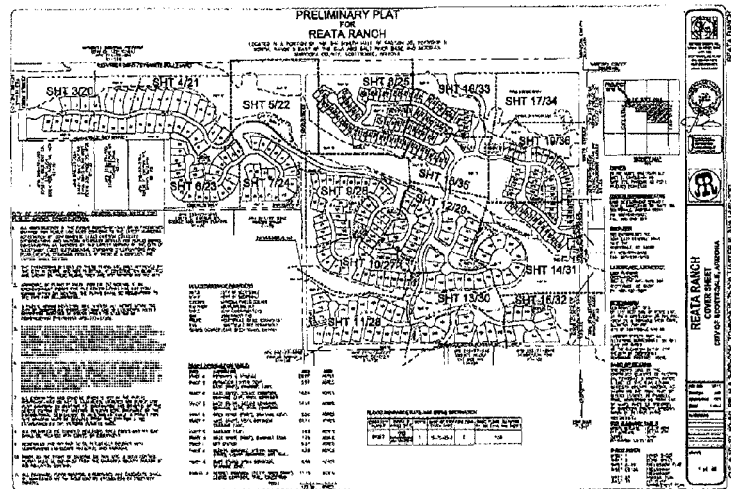
# Reata Ranch Guest Ranch



Final Plat

2-PP-2014

# Reata Ranch Guest Ranch

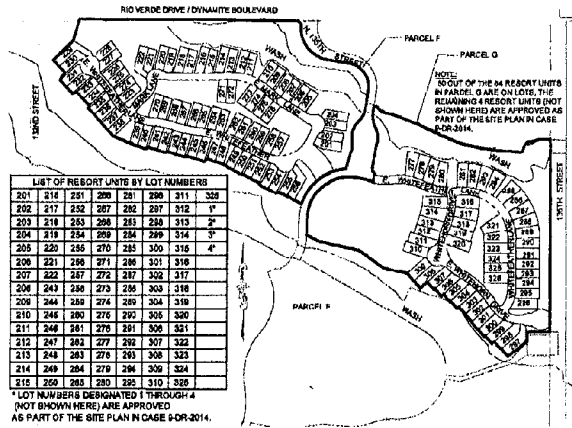


PRELIMINARY PLAT

2-PP-2014

# Reata Ranch Guest Ranch

Exhibit "D"



LIST OF RESORT UNITS BY LOT NUMBERS					
201	214	231	280	281	308
202	217	252	287	288	312
203	218	253	289	293	313
204	219	254	290	294	314
205	220	255	270	295	316
206	221	256	271	296	316
207	222	257	272	297	317
208	243	258	273	298	316
209	244	259	274	299	319
210	246	260	276	290	308
211	248	261	278	291	308
212	247	263	277	292	307
213	248	263	276	293	308
214	249	264	278	294	304
215	250	265	280	295	310

\* LOT NUMBERS DESIGNATED 1 THROUGH 4 (NOT SHOWN HERE) ARE APPROVED AS PART OF THE SITE PLAN IN CASE 2-PP-2014.

Development Agreement – Resort Units

2-PP-2014

**Smith, Erica**

---

**From:** copperphillips@cox.net  
**Sent:** Monday, June 20, 2016 11:10 PM  
**To:** Agenda Item Comment  
**Subject:** Agenda Item Comment for 06/21/16 - Item Consent agenda #6

Meeting Date: 06/21/16  
Item Number: Consent agenda #6

Contact Information (if blank, user did not provide):

Name: Copper Phillips  
Address: 7451 E. Via Dona Rd.  
C/S/Z: Scottsdale, AZ 85266  
Phone: 6025091174

Comment for 06/21/16 Item Consent agenda #6:

Of concern is that there is no mention of the resort facility and amenities on the proposed plat, only "resort units" and residential units.  
Where will the resort facility and promised amenities, i.e., swimming pool, restaurants, horse stables, arenas, glamping tents, etc. be located?  
Was not the resort proper supposed to be built and occupied prior to ANY residential units being built? Or is this just another promises made, promises broken project?

**Smith, Erica**

---

**From:** Jagger, Carolyn  
**Sent:** Tuesday, June 21, 2016 3:15 PM  
**To:** Smith, Erica  
**Subject:** FW: Reata Ranch Final Plat and Development Agreement  
**Attachments:** image001.png; ATT00001.htm; image002.png; ATT00002.htm; Approved 9-DR-2014 plan.pdf; ATT00003.htm

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**From:** Grant, Randy  
**Sent:** Tuesday, June 21, 2016 3:12 PM  
**To:** Lane, Jim; Milhaven, Linda; Korte, Virginia; Smith, David N; Littlefield, Kathy; Phillips, Guy; Klapp, Suzanne  
**Cc:** Biesemeyer, Brian K; Jagger, Carolyn; Washburn, Bruce  
**Subject:** Fwd: Reata Ranch Final Plat and Development Agreement

Mayor and City Council, wanted to make sure you all had a copy of the response to Copper Phillips. Thanks!

Randy

Begin forwarded message:

**From:** "McClay, Doris" <DMcClay@scottsdaleaz.gov>  
**Date:** June 21, 2016 at 2:24:30 PM MST  
**To:** "'copperphillips@cox.net'" <copperphillips@cox.net>  
**Cc:** "Curtis, Tim" <tcurtis@scottsdaleaz.gov>, "Grant, Randy" <RGrant@Scottsdaleaz.gov>  
**Subject:** Reata Ranch Final Plat and Development Agreement

Ms. Phillips,

Thank you for your inquiry regarding tonight's City Council Agenda item #6. The Reata Ranch Guest Ranch Final Plat proposes amenities in Tracts F and H, as approved in the Development Review Board Case 9-DR-2014 (link below and site plan attached). The proposed Development Agreement associated with the Final Plat on tonight's agenda further outlines provisions of the Resort and timing of resort units (Specifically Sections 3.16, 4.1, and 4.10).

The resort areas of Reata Ranch were approved under 9-DR-2014. Here is a link to that case fact sheet:  
<https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/43468>

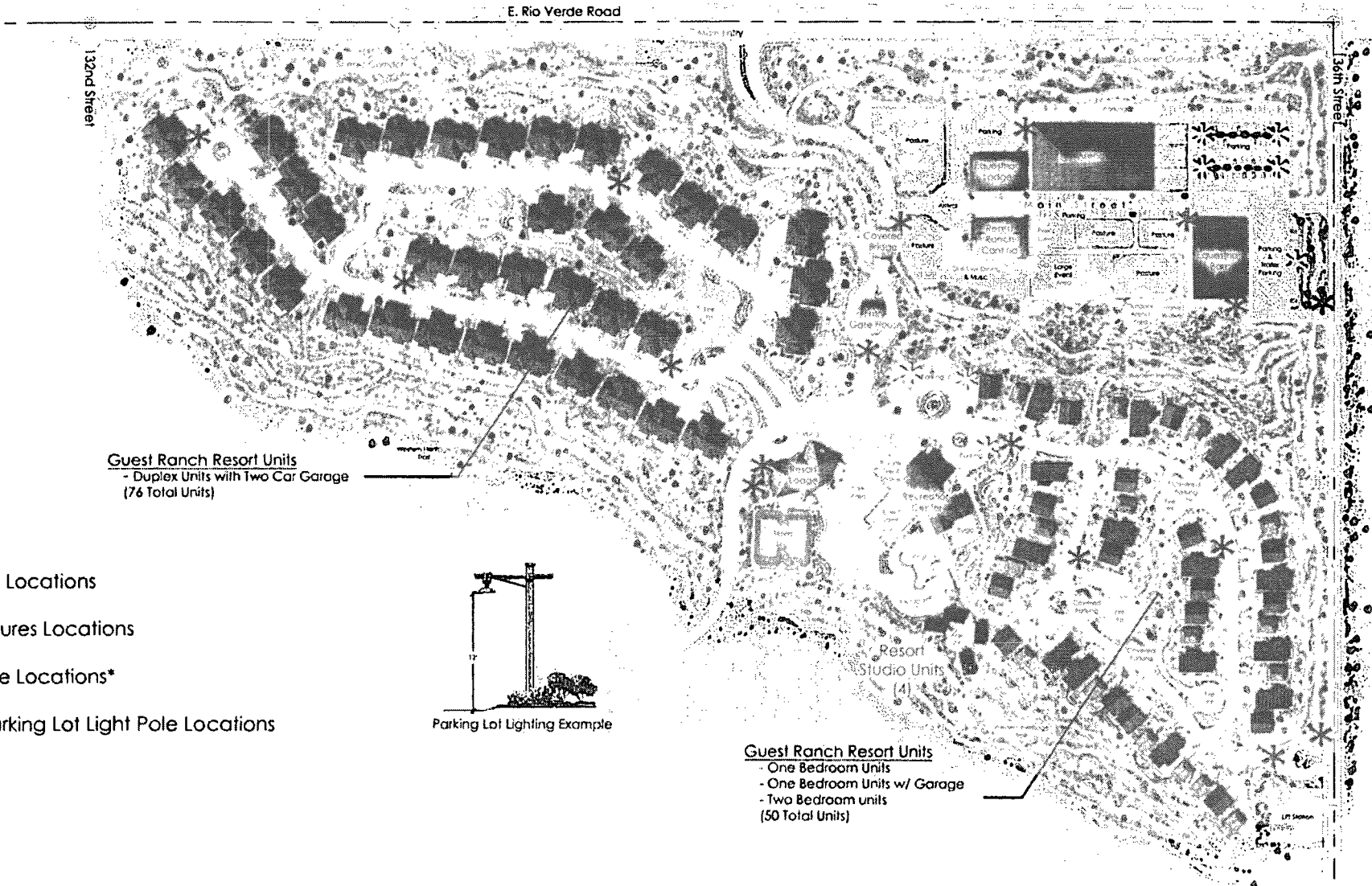
At the time of rezoning, the resort timing stipulation was as follows (stipulation #7 of Case 15-ZN-2011), which is supported by the proposed Development Agreement:

**TIMING. A CERTIFICATE OF OCCUPANCY FOR OVERNIGHT GUEST RANCH UNITS SHALL BE ISSUED PRIOR TO OR CONCURRENTLY WITH CERTIFICATE OF OCCUPANCY BEING ISSUED FOR ANY DWELLING UNITS THAT ARE NOT FOR OVERNIGHT ACCOMMODATION.**

Let me know if you have any further questions.

Doris McClay  
 Planner  
 Current Planning

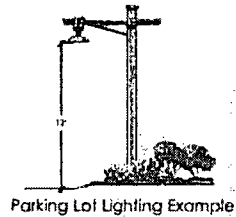
7447 E. Indian School Road  
Scottsdale, AZ 85251  
Tele: 480-312-4214  
Subscribe to Scottsdale P & Z Link newsletter



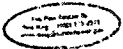
**Guest Ranch Resort Units**  
 - Duplex Units with Two Car Garage  
 (76 Total Units)

**Guest Ranch Resort Units**  
 - One Bedroom Units  
 - One Bedroom Units w/ Garage  
 - Two Bedroom units  
 (50 Total Units)

- \* Fire Hydrant Locations
- \* Trash Enclosures Locations
- \* Access Gate Locations\*
- \* Potential Parking Lot Light Pole Locations

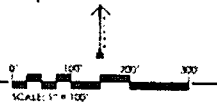


\* All access gates will have key switch & sensor pre-emption per Fire Ord. 4045. 503.6.1



© DR-1014  
 1/3/2014

DRB Application  
**REATA RANCH**  
 Resort Site Plan



Drawn: Jan 3 2014  
 GREY/PICKETT