

# CITY COUNCIL REPORT



Meeting Date: March 19, 2019  
 General Plan Element: ***Public Services and Facilities***  
 General Plan Goal: ***Provide city service facilities to meet the needs of the community.***

## ACTION

**Approve Memorandum of Understanding 2019-050-COS with the San Francisco Giants and the Scottsdale Charros requiring binding capital financial commitments to Phase 1 of the Scottsdale Stadium Renovation Project; and Award Design-Build Manager, Construction Phase Services Contract for Guaranteed Maximum Price 1 (GMP 1) of Phase 1 of the Scottsdale Stadium Renovation Project with Hunt Construction Group, Inc. in the amount of \$22,853,327.**

- 1) Adopt Resolution 11421 authorizing Memorandum of Understanding (MOU) 2019-050-COS with the San Francisco Giants and the Scottsdale Charros, committing each of the parties to specific funding commitments for phase 1 of the Scottsdale Stadium Renovations capital project (PE05). This MOU will bind the parties to the capital commitments and the outline of the basic terms for a final agreement of the facility uses and overall cost details with a new 25-year term with options for extensions.
- 2) Adopt Resolution 11349 authorizing Design-Build Manager Construction Phase Services Contract 2019-006-COS with Hunt Construction Group, Inc., in the amount of \$22,853,327 for Guaranteed Maximum Price 1 (GMP 1) of phase 1 of the Scottsdale Stadium Renovations capital project (PE05). This is the first of two construction services contracts for phase 1 improvements for this project.
- 3) Adopt Resolution 11368 authorizing a FY 2018/19 budget appropriation transfer totaling \$23,400,000 from the additional available budget appropriation in the Adopted FY 2018/19 Capital Improvement Plan (CIP) to the Scottsdale Stadium Renovations capital project (PE05) to be funded by the FY 2018/19 Tourism Development Fund carry-over undesignated, unreserved fund balance (\$5.0 million); from a contribution from the San Francisco Giants (\$2.5 million), and from Municipal Property Corporation (MPC) Bonds that will be issued with the debt service payments supported by an annual allocation from the Tourism Development Fund and capital contributions from the Giants and Charros (\$15.9 million).
- 4) Approve a one-time waiver of Financial Policy 21A, which limits the use of Tourism Development Funds to fund debt service for capital projects to \$600,000 per commitment.

## **BACKGROUND**

---

The purpose of this action is to approve Design-Build Manager Construction Services Contract (GMP 1) 2019-006-COS with Hunt Construction Group with a not-to-exceed cost of \$22,853,327 for the services specified in the contract to begin construction of improvements to Scottsdale Stadium. In order to fund the award of this contract and cover additional contract administration costs for the start of construction, a budget transfer of \$23,400,000 to the Scottsdale Stadium Renovations capital project (PE05) is also required. Funding for this budget transfer will come from the city and its two project partners in the existing Baseball Facilities agreement: the San Francisco Giants, and the Scottsdale Charros. The amount and timing of contributions from each of these partners is specified in the binding Memorandum of Understanding 2019-050-COS which is being presented concurrently for approval.

Scottsdale Stadium is located in the middle of the City's scenic downtown and a short walk from a wide selection of hotels, restaurants, shops and galleries. Scottsdale Stadium is home to the San Francisco Giants for Cactus League Spring Training, the Arizona Summer League, and the Scottsdale Scorpions of the Arizona Fall League. The facility will continue to host Arizona Fall League, and spring training crowds and additional year-round activities in support of Downtown tourism and hoteliers, that the City is seeking to enhance with upgrades to the stadium multi-use capabilities.

Given the current age of the stadium, the increased demand of events and larger crowd attendance, the city, the San Francisco Giants and the Scottsdale Charros and their shared desire for a long-term extension of the Giants commitment to downtown Scottsdale, recognized the need for multiple upgrades to the stadium. On September 20, 2016, Council authorized Architectural Services Contract 2016-080-COS with Populous Group, LLC for master planning services for the Scottsdale Stadium and baseball operations. That master planning effort led to March 20, 2018 Council Approval of a Design Build project for the stadium that includes practice facilities and prioritized opportunities for the stadium upgrades to include greater multi-use activities that would benefit the overall downtown Scottsdale area throughout the year. The proposed phase 1 will build the highest priority improvements identified in the master plan.

Phase 1 of the project will be built beginning in April 2019 following approval of this construction services contract, with completion scheduled prior to the 2020 spring training season. The primary elements of phase 1 are the construction of a new multi-story multi-use facility that will serve as Clubhouse for the spring training season and a multi-use event center throughout the year, shade improvements to the right field Charros Lodge area, upgrades to the main entry plaza adjacent to Drinkwater Boulevard, and enhanced press box facilities. This construction services contract is the first of two GMP awards that will be necessary to complete phase 1 improvements.

The total phase 1 project cost, including both GMP awards, is estimated at \$50.6 million. This cost includes the phase 1 GMP 1 construction services contract, the future phase 1 GMP 2 construction services contract, design costs incurred to date, furnishings and equipment for the completed

improvements, and City expenses related to management of the project. Of this \$50.6 million total amount, \$5,000,000 has previously been budgeted in the Stadium Renovations capital project (PE05). An additional budget authorization of \$23,400,000 will provide funds to issue the phase 1 GMP 1 construction services contract. Staff will seek budget approval for the remaining funds needed to complete phase 1 construction later this spring when it brings the phase 1 GMP 2 construction services contract to Council for approval.

Memorandum of Understanding 2019-050-COS commits the three existing partners in the Baseball Facilities Agreement, the city, the San Francisco Giants and the Scottsdale Charros to provide the funds for the phase 1 improvements. Phase 1 funding provided by each partner is proposed as:

- San Francisco Giants: \$15.125 million. This will consist of a \$2.5 million payment in 2019, a second \$2.5 million payment in 2020, and the balance of \$10.125 million coming from yearly payments beginning in 2020 and continuing through 2039.
- City: Up to \$35 million. This includes \$5 million of funding from the Tourism Development Fund (bed tax) previously approved to support project design, another \$5 million in bed tax carry-over funds, and \$24.3 million funded with Municipal Property Corporation debt supported by an annual bed tax allocation.
- Scottsdale Charros: \$2.7 million. This will be provided with 20 yearly payments including Principal and Interest beginning in 2019.

Additional funding from the concessionaire, Arizona Sports Services, who is not a part of the existing Baseball Facilities Agreement, will be addressed through a separate set of agreements with San Francisco Giants and the city of Scottsdale. That capital funding commitment is projected to be a minimum of \$2.5 million for phase 1 and a minimum of another \$2.5 million for phase 2 and those agreements will be completed prior to the future phase 1 GMP 2.

Staff is currently negotiating a new 25-year Baseball Facilities Agreement between the San Francisco Giants, the Scottsdale Charros and the City, which effectively extends the relationship between these parties for another twenty years beyond the term of the existing contract. When completed and approved, this new agreement will update the relationships between the three parties and guarantee that the Charros will host the Giants for Spring Stadium at Scottsdale Stadium through at least 2044. Key provisions include:

- The capital funding contributions for phase 1 improvements as spelled out in Memorandum of Understanding 2019-050-COS.
- Increased annual payments from the Giants/Charros to the City for facilities maintenance, lifecycle replacements, utilities and custodial services. The amount of the Giants'/Charros combined payments increases to cover the full amount of these costs and includes an annual escalator for inflation. In addition, every five years there will be a review process to determine actual costs and adjust as needed to bring the payments in line with current actual

operating costs.

- Rules for scheduling and use of the stadium. Giants have substantial use of the Stadium facilities from January 1 through March 30 of each year and their payments cover those timeframes. Any additional use by the Giants in April thru December will require reservations subject to availability and per approved fee structure for additional usage. The City will manage year-round Multi- Use events/functions throughout the entire facility with some limitations on certain spaces and length/size of events during the Spring Training Season
- Indian School Park will return to full Community Park accessibility as the Giants will move from the current Indian School Park practice facility to a new facility the Giants will construct at their expense on land leased by the City at Papago Park. The Giants will vacate Indian School Park after May 2021, freeing this City facility up for other community uses, which will include youth, adult, senior, collegiate baseball and other similar use opportunities.
- The agreement will continue to require the Charros to expend all their net revenues from the agreement in ways that will benefit the City and its residents through local charities.

Completion of the new Baseball Facilities Agreement is projected in the next 45 days, prior to request for Phase 1 GMP2. The current agreement remains in full effect and all current payment obligations by the Giants and Charros will be paid.

Staff will present the proposal to use Tourism Development Funds for this project to the Tourism Development Commission (TDC) at their March 19 meeting. Staff will present the TDC recommendations from that meeting at the March 19 Council meeting.

## **ANALYSIS & ASSESSMENT**

---

### **Recent Staff Action**

On July 2, 2018, Council awarded Contract 2018-078-COS with Hunt Construction Group, Inc. for design-build manager and design phase services for the Scottsdale Stadium Renovations capital project. Since July 2018 the City, the San Francisco Giants, and the Scottsdale Charros have worked with Hunt Construction Group, Inc. to design improvements to the Scottsdale Stadium. Both design and construction improvements will be delivered as a phased, multi-year project with the first phase of construction beginning in April 2019 and completion in February 2020.

### **Community Involvement**

Since the inception of the master planning portion of the project a variety of outreach and participation opportunities have been provided regarding this project. Public meetings have included Council approvals of the previously mentioned project steps, several updates to the Tourism Development Commission and Development Review Board unanimous approval of this project in February 2019.

The recent Development Review Board process included a public open house in November 2017 that was noticed to over 2,500 residents and business/property owners within the square mile

surrounding the stadium site. Additional meetings with adjacent property owners, event planners, downtown hoteliers, tourism parties and stadium user groups have been held for the past 18-24 months. These meetings have provided opportunity for input on the facility design details and staff/design team have received substantial support for the facilities concept for multi-use adaptability. (See Attachment 7)

Additionally, over 210 letters of support for this proposal have been submitted (Attachment 8). During the on-going design-build construction services phase, the design-build team and city staff will continue to meet with the public, stadium stakeholders including the San Francisco Giants, Scottsdale Charros, Experience Scottsdale and other Downtown user groups for input.

## **RESOURCE IMPACTS**

---

### **Available funding**

The previously approved budget for the Scottsdale Stadium Renovations capital project (PE05) in the FY 2018/19 CIP is \$5,000,000, funded with Tourism Development Funds. An additional budget authorization of \$23,400,000 is necessary to provide the funds to authorize the phase 1 GMP 1 construction services contract and to pay for city construction administration until the full phase 1 budget is approved. The funding for the additional budget authorization needed will come from:

1. \$5 million from the FY 2018/19 Tourism Development Fund carry-over undesignated, unreserved fund balance;
2. \$2.5 million from a contribution from the San Francisco Giants, in accordance with the Memorandum of Understanding;
3. The remaining \$15.9 million will be funded by Municipal Property Corporation (MPC) Bonds issued with the debt service payments supported by an annual allocation from the Tourism Development Fund.

An annual allocation of \$1.2 million from the Tourism Development Fund for debt service payments would require approval by Council and waiving Financial Policy #21A.

Additional CIP budget appropriation is available because the total FY 2018/19 CIP adopted budget amount was based on an inception-to-date year-end expenditure forecast from March 2018. At fiscal year-end the forecasted figures were reconciled to actual expenditures as of June 2018 resulting in a reduction of the total budget by approximately \$42.9 million, which is considered additional available budget appropriation for the fiscal year. In October 2018, \$4.0 million of this additional budget appropriation was used for the Drinkwater and 68<sup>th</sup> Street Bridges leaving the additional budget appropriation balance at \$38.9 million.

### **Staffing, Workload Impact**

Bill Murphy is the lead contact for the negotiations for the Memorandum of Understanding and upcoming Baseball facilities Agreement in coordination with the City Manager, City Treasurer and

City Attorneys offices.

The contract administrator responsible for enforcement of all provisions of the design/build contract is Anna Leyva, Senior Project Manager, Public Works Division. Community Services staff will provide support to the Senior Project Manager.

## **OPTIONS & STAFF RECOMMENDATION**

---

Staff recommends the following:

- 1) Adopt Resolution 11421 authorizing Memorandum of Understanding (MOU) 2019-050-COS with the San Francisco Giants and the Scottsdale Charros, committing each of the parties to specific funding commitments for phase 1 of the Scottsdale Stadium Renovations capital project (PE05). This MOU will bind the parties to the capital commitments and the outline of the basic terms for a final agreement of the facility uses and overall cost details with a new 25-year term with extensions.
- 2) Adopt Resolution 11349 authorizing Design-Build Manager Construction Phase Services Contract 2019-006-COS with Hunt Construction Group, Inc., in the amount of \$22,853,327 for Guaranteed Maximum Price 1 (GMP 1) of phase 1 of the Scottsdale Stadium Renovations capital project (PE05). This is the first of two construction services contracts for phase 1 improvements for this project.
- 3) Adopt Resolution 11368 authorizing a FY 2018/19 budget appropriation transfer totaling \$23,400,000 from the additional available budget appropriation in the Adopted FY 2018/19 Capital Improvement Plan (CIP) to the Scottsdale Stadium Renovations capital project (PE05) to be funded by the FY 2018/19 Tourism Development Fund carry-over undesignated, unreserved fund balance (\$5.0 million); from a contribution from the San Francisco Giants (\$2.5 million), and from Municipal Property Corporation (MPC) Bonds that will be issued with the debt service payments supported by an annual allocation from the Tourism Development Fund and capital contributions from the Giants and Charros (\$15.9 million).
- 4) Approve a one-time waiver of Financial Policy 21A, which limits the use of Tourism Development Funds to fund debt service for capital projects to \$600,000 per commitment.

### **Proposed Next Steps:**

Upon Council approval, GMP 1 work will commence immediately with purchase of steel and other long-lead items, with construction beginning immediately following Spring Training in April 2019 and continuing through Phase 1 completion prior to the beginning of the 2020 spring training season.

## **RESPONSIBLE DEPARTMENT(S)**

---

Community Services Division, Capital Project Management

**STAFF CONTACT (S)**

---


William B. Murphy, Community Services Director, [bmurphy@scottsdaleaz.gov](mailto:bmurphy@scottsdaleaz.gov), (480) 312-7954  
Anna Leyva, Sr. Project Manager, [aleyva@scottsdaleaz.gov](mailto:aleyva@scottsdaleaz.gov), (480) 312-7769

**APPROVED BY**


---

  
\_\_\_\_\_  
Jeff Nichols, City Treasurer  
(480) 312-2364, [jenichols@scottsdaleaz.gov](mailto:jenichols@scottsdaleaz.gov)

3/18/19  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Daniel J. Worth, Public Works Director  
(480) 312-5555, [dworth@scottsdaleaz.gov](mailto:dworth@scottsdaleaz.gov)

3-18-19  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
William B. Murphy Community Services Director  
(480) 312-7954, [bmurphy@scottsdaleaz.gov](mailto:bmurphy@scottsdaleaz.gov)

3/18/19  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Jim Thompson, City Manager  
(480) 312-2811, [JThompson@scottsdaleaz.gov](mailto:JThompson@scottsdaleaz.gov)

3/18/19  
\_\_\_\_\_  
Date

**ATTACHMENTS**

---

1. Resolution 11368
2. Resolution 11421
3. Resolution 11349
4. Location Map
5. Contract 2019-050-COS Memorandum of Understanding
6. Contract 2019-006-COS Phase 1 GMP 1 Construction Services Contract
7. Citizen Review and Neighborhood Involvement Report
8. Scottsdale Charros Letters of Support

RESOLUTION NO. 11368

A RESOLUTION OF THE COUNCIL OF THE CITY OF SCOTTSDALE, MARICOPA COUNTY, ARIZONA, AUTHORIZING A FY 2018/19 BUDGET APPROPRIATION TRANSFER TOTALING \$23,400,000 FROM THE ADDITIONAL AVAILABLE BUDGET APPROPRIATION IN THE ADOPTED FY 2018/19 CIP TO THE SCOTTSDALE STADIUM RENOVATIONS CAPITAL PROJECT (PE05) TO BE FUNDED BY CONTRIBUTIONS FROM THE SAN FRANCISCO GIANTS; FROM THE FY 2018/19 TOURISM DEVELOPMENT FUND CARRY-OVER UNDESIGNATED, UNRESERVED FUND BALANCE; AND FROM MUNICIPAL PROPERTY CORPORATION BONDS THAT WILL BE ISSUED WITH THE DEBT SERVICE PAYMENTS SUPPORTED BY ANNUAL ALLOCATIONS FROM THE TOURISM DEVELOPMENT FUND AND CAPITAL CONTRIBUTIONS FROM THE GIANTS AND CHARROS.

WHEREAS, the City previously retained Hunt Construction Group, Inc. for design-build services for needed upgrades to the Scottsdale Stadium Multi-Use Event Center;

WHEREAS, the City is entering into an agreement with Hunt Construction Group, Inc. for Phase I construction services to upgrade the Scottsdale Stadium Multi-Use Event Center and desires to fund these services;

WHEREAS, additional Capital Improvement Plan (CIP) budget appropriation is available in the FY 2018/19 adopted CIP, which will be funded by contributions from the San Francisco Giants (Giants), the Scottsdale Charros, Inc. (Charros), the FY 2018/19 Tourism Development Fund and Municipal Property Corporation bonds as set forth below; and

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Scottsdale, Maricopa County, Arizona, as follows:

Section 1. The City Council hereby authorizes a FY 2018/19 budget appropriation transfer totaling \$23,400,000 from the additional available budget appropriation in the Adopted FY 2018/19 Capital Improvement Plan (CIP) to the Scottsdale Stadium Renovations capital project (PE05) to be funded by contributions from the San Francisco Giants (\$2.5 million); from the FY 2018/19 Tourism Development Fund carry-over undesignated, unreserved fund balance (\$5.0 million); and from Municipal Property Corporation (MPC) Bonds that will be issued with the debt service payments supported by annual allocations from the Tourism Development Fund and capital contributions from the Charros and Giants (\$15.9 million).



PASSED AND ADOPTED by the City Council of the City of Scottsdale this \_\_\_\_ day of March, 2019.

CITY OF SCOTTSDALE, an Arizona  
municipal corporation

ATTEST:

\_\_\_\_\_  
Carolyn Jagger, City Clerk

\_\_\_\_\_  
W.J. "Jim" Lane, Mayor

APPROVED AS TO FORM:



Bruce Washburn, City Attorney

By: Kimberly Campbell, Assistant City Attorney

RESOLUTION NO. 11421

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SCOTTSDALE, MARICOPA COUNTY, ARIZONA, APPROVING MEMORANDUM OF UNDERSTANDING AGREEMENT NO. 2019-050-COS BETWEEN THE CITY OF SCOTTSDALE, THE SAN FRANCISCO GIANTS BASEBALL CLUB LLC, AND THE SCOTTSDALE CHARROS INC. CONCERNING RENOVATION AND OPERATION OF MAJOR LEAGUE BASEBALL TRAINING FACILITIES.

WHEREAS, Scottsdale is the owner of the Scottsdale Municipal Stadium, a professional baseball spring training stadium, and other practice facilities at Indian School Park, currently used by the Giants Major League Baseball franchise organization; and

WHEREAS, Cactus League Spring Training is an important community asset providing significant economic benefits and community amenities for Scottsdale's citizens, businesses and visitors; and

WHEREAS, Spring Training in downtown Scottsdale provides convenient access to and from dining, shopping and other attractions in Scottsdale; and

WHEREAS, the City of Scottsdale is committed to maintaining and enhancing these important community benefits; and

WHEREAS, Spring Training in general, and the Giants Franchise in particular, enhance Scottsdale's contribution to the economic and social sectors of the greater community; and

WHEREAS, Spring Training in downtown Scottsdale enhances the possibilities for future community enhancements, as well as enhancing, preserving and expanding opportunities for Scottsdale and its citizens generally; and

WHEREAS, Spring Training Scottsdale is crucial to the future of the residents and business community of downtown Scottsdale, the entire City of Scottsdale, and the public generally; and

WHEREAS, the City Council has considered any City expenditure authorized by this Agreement, the direct consideration that the City will receive, and the services provided by the Giants and Charros and finds that there is a clearly identified public purpose for the City's expenditure, if any, and that the City will receive direct consideration substantially equal to its expenditure;

NOW, THEREFORE LET IT BE RESOLVED, by the Council of the City of Scottsdale, Maricopa County, Arizona, as follows:

Section 1. Mayor W.J. "Jim" Lane is authorized and directed to sign Agreement No. 2019-050-COS after it has been executed by all parties, regarding renovation and operation of Major League baseball facilities.

PASSED AND ADOPTED by the Council of the City of Scottsdale, Maricopa County, Arizona this \_\_\_\_ day of \_\_\_\_\_, 2019.

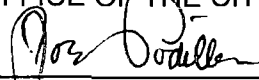
ATTEST:

CITY OF SCOTTSDALE, an  
Arizona municipal corporation

By: \_\_\_\_\_  
Carolyn Jagger, City Clerk

By: \_\_\_\_\_  
W. J. "Jim" Lane, Mayor

APPROVED AS TO FORM:  
OFFICE OF THE CITY ATTORNEY

  
\_\_\_\_\_  
Bruce Washburn, City Attorney  
By: Joe Padilla, Deputy City Attorney

RESOLUTION NO. 11349

A RESOLUTION OF THE COUNCIL OF THE CITY OF SCOTTSDALE, MARICOPA COUNTY, ARIZONA, AUTHORIZING THE MAYOR TO EXECUTE CONTRACT NO. 2019-006-COS WITH HUNT CONSTRUCTION GROUP, INC. IN THE AMOUNT OF \$22,853,327.00 FOR DESIGN-BUILD MANAGER, DESIGN AND CONSTRUCTION PHASE SERVICES FOR THE SCOTTSDALE STADIUM MULTI-USE EVENT CENTER AS PART OF THE SCOTTSDALE STADIUM RENOVATIONS PROJECT.

WHEREAS, the City desires design-build services for needed upgrades to the Scottsdale Stadium Multi-Use Event Center; and

WHEREAS, Hunt Construction Group, Inc. has currently been providing the requisite design services necessary to prepare the required documents for construction services; and

WHEREAS, Hunt Construction Group, Inc. is qualified to render the design and construction phase services desired by the City,

BE IT RESOLVED by the Council of the City of Scottsdale as follows:

Section 1. The Mayor of the City of Scottsdale is authorized and directed to execute Contract No. 2019-006-COS with Hunt Construction Group, Inc. for a Guaranteed Maximum Price 1 (GMP 1) in an amount not to exceed \$22,853,327.00 for design-build manager, construction phase services for the Scottsdale Stadium Multi-Use Event Center Improvements as part of the Scottsdale Stadium Renovations Project.

PASSED AND ADOPTED by the City Council of the City of Scottsdale this \_\_\_\_ day of \_\_\_\_\_, 2019.

CITY OF SCOTTSDALE  
An Arizona municipal corporation

ATTEST:

\_\_\_\_\_  
Carolyn Jagger, City Clerk


\_\_\_\_\_  
W. J. "Jim" Lane, Mayor

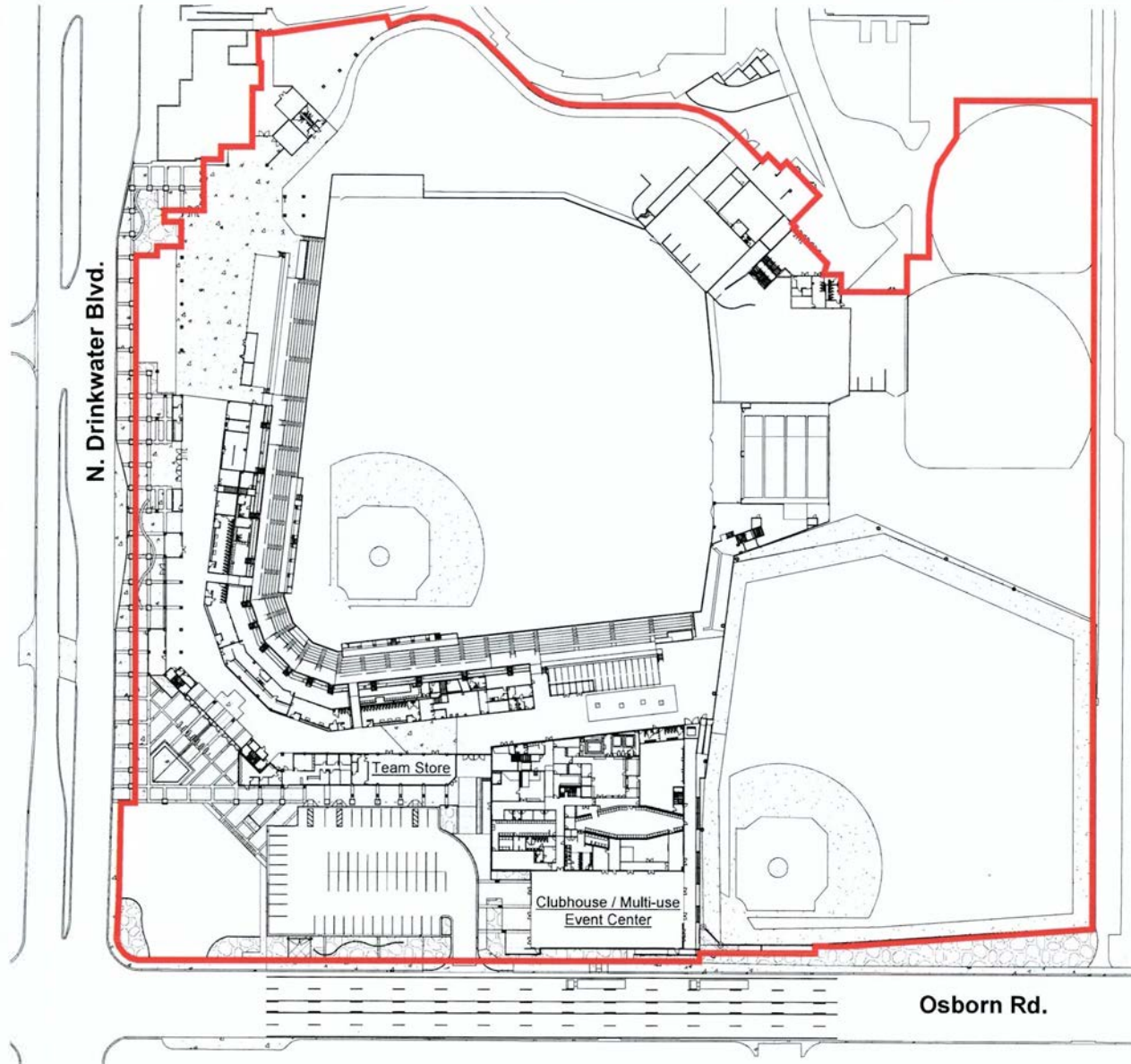
APPROVED AS TO FORM:  
Office of the City Attorney

  
\_\_\_\_\_  
Bruce Washburn, City Attorney

By: Eric C. Anderson, Senior Assistant City Attorney

**SCOTTSDALE STADIUM  
MULTI-USE EVENT CENTER**

 7408 East Osborn Road  
Scottsdale, AZ



**0.1** **SITE PLAN**  
1" = 100'-0"

\* Last updated 3/11/2019

**MEMORANDUM OF UNDERSTANDING**  
**Among**  
**City of Scottsdale,**  
**San Francisco Giants Baseball Club LLC, and**  
**Scottsdale Charros, Inc.**

This MEMORANDUM OF UNDERSTANDING (“MOU”) is made and entered into as of the \_\_\_\_ day of March, 2019, subject to Scottsdale City Council approval of City Contract No. 2019-006-COS and the corresponding budget appropriations (the “Effective Date”), by and among City of Scottsdale, an Arizona municipal corporation (“City”), Scottsdale Charros, Inc., an Arizona nonprofit corporation (“Charros”), and San Francisco Giants Baseball Club LLC, a Delaware limited liability company (the “Giants”). The “Parties” shall mean the Giants, Charros, and City.

The purpose of this MOU is to bind the Parties to capital commitments, outline the basic terms upon which the Parties agree to fund improvements for an existing baseball stadium located at 7408 E. Osborn Road in Scottsdale, Arizona, commonly referred to as Scottsdale Stadium (the “Stadium”), and establish rights with respect to the operation and use of the Stadium and an existing baseball practice facility located at the southeast corner of Camelback Road and Hayden Road in Scottsdale, Arizona, commonly referred to as Indian School Park (“ISP”). The terms set forth in this MOU, in addition to being binding commitments on the Parties, are the basis for full and definitive agreements amongst the Parties, but are not exhaustive.

**RECITALS**

- A. City, the Giants and Charros are parties to that certain Baseball Facilities Agreement (City Contract No. 2005-034-COS), dated March 15, 2005 (the “Existing Baseball Facilities Agreement”), concerning the Charros’ and the Giants’ use of the Stadium and ISP (together, the “Baseball Facilities”) for spring training, player development and other activities.
- B. City proposes to construct improvements to the Stadium including a new multiuse event center and clubhouse, additional seating and concession areas, berm renovation, and other improvements (the “Stadium Project”).
- C. City desires to allow the Giants and Charros to use the Stadium, and for the Giants to use ISP, so that the Giants may continue to conduct its spring training, player development and other activities.
- D. In consideration of the Stadium Project and additional rights set forth herein, the Giants and Charros desire to enter into a new baseball facilities agreement that will supersede the Existing Baseball Facilities Agreement and will further set forth the terms and conditions of the relationship between the Giants, Charros and City with respect to the operations and use of the Baseball Facilities (the “New BFA”).

NOW, THEREFORE, for and in consideration of the premises, undertakings and mutual covenants of the Parties set forth herein and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the Parties agree as follows:

**1. CAPITAL COMMITMENTS:** The Giants and Charros agree to pay City as follows:

- a. **GIANTS.** In exchange for the construction of the Stadium Project by City and continued use of the Stadium and ISP by the Giants as contemplated herein, the Giants shall pay to City capital contributions for the Stadium Project as follows: (i) Two Million Five Hundred Thousand Dollars (\$2,500,000.00) by May 15, 2019, which may include payments directly to vendors for Phase I improvements as directed by City; (ii) Two Million Eight Hundred Seventy-Five Thousand Dollars (\$2,875,000.00) by April 1, 2020; (iii) Three Hundred Seventy-Five Thousand Dollars (\$375,000.00) annually by April 1 from 2021 to 2023; (iv) Five Hundred Twenty-Five Thousand Dollars (\$525,000.00) annually by April 1 from 2024 to 2028; and (v) Six Hundred Thousand Dollars (\$600,000.00) annually by April 1 from 2029 to 2039.
- b. **CHARROS.** In exchange for the construction of the Stadium Project by City and continued use of the Stadium by Charros as contemplated herein, Charros shall pay to City an annual capital improvement payment of One Hundred Thirty-Five Thousand Dollars (\$135,000.00) for twenty (20) years, such payments due by May 15 of each year.
- c. The foregoing capital commitments of the Giants and Charros are solely related to the financing of the Stadium Project and do not affect or reduce other payment obligations for maintenance, operations, and use of the Baseball Facilities of the Giants or Charros under the Existing Baseball Facilities Agreement or the Charros Agreement, defined below. For sake of clarity, the Giants and Charros will continue to make payments as obligated under the Existing Baseball Facilities Agreement or the Charros Agreement, as applicable, until such time as they mutually agree upon the New BFA which shall set forth all future payments for maintenance, operations, and use of the Baseball Facilities and reasonably address the benefits the Charros derive under the Existing Baseball Facilities Agreement and the Charros Agreement.
- d. The Capital Commitments are binding on the Parties upon the Effective Date of this MOU and the terms of the Capital Commitments shall be incorporated into the New BFA, along with additional terms addressing the Parties' rights and obligations for the operation and maintenance of the Baseball Facilities.

**2. AGREEMENTS RELATED TO THE BASEBALL FACILITIES**

- a. **TERM OF NEW BFA.** The Giants, City and Charros shall enter into the New BFA which shall have a term of twenty-five (25) years and may be extended for two (2) additional five (5) year periods at the discretion of the Giants.
- b. **USE.** City grants the Giants and Charros the right to continue to use the Baseball Facilities as follows:

- i. STADIUM. During the Spring Training Season, the Giants and Charros shall have use of the Stadium consistent with their current practices under the Existing Baseball Facilities Agreement, however such uses are subject to change in the terms and conditions which shall be more fully set forth in the New BFA. During times of the year other than Spring Training, the Giants shall have access to certain portions of the Stadium as shall be more fully set forth in the New BFA.
  - ii. ISP. The Giants may continue use of ISP consistent with its current practices under the Existing Baseball Facilities Agreement until May 1, 2021, or such other date determined by the Giants and City, provided that if the Papago baseball facility is not complete, the Giants shall consult with City to reach a mutually acceptable schedule to allow the Giants to use ISP, subject to payment of applicable fees and costs, until the Giants move its minor league operations to the Papago baseball facility in Phoenix.
- c. STADIUM PROJECT.
- i. City shall cause Phase I of the Stadium Project to be constructed in accordance with GMP 1 (Exhibit C.2 to City Contract No. 2019-006-COS on file with the Scottsdale City Clerk), with any future changes to be mutually negotiated. City shall obtain a temporary certificate of occupancy for Phase I of the Stadium Project not later than February 11, 2020; provided that GMP 2 of Phase I will be amended to reduce the Stadium Project deliverables and costs by Two Million Five Hundred Thousand Dollars (\$2,500,000.00) if either the Giants or City has not entered into a concessions agreement with a third party concessionaire under which such concessionaire is bound to contribute a capital commitment of not less than Two Million Five Hundred Thousand Dollars (\$2,500,000.00) to Phase I of the Stadium Project before City's award of GMP 2. The reduction in project deliverables shall not reduce or affect the delivery of a functional clubhouse and functional baseball operations and broadcast areas of the press box. The Stadium Project shall be composed of at least two Phases. City commits to Thirty-Five Million Dollars (\$35,000,000.00) to the development of Phase I of the Stadium Project (including the approximately Five Million Dollars (\$5,000,000.00) that City has already committed to Phase I, such amount being subject to verification by City). Subject to Section 2(c)(v) below, City shall commit an additional Five Million Dollars (\$5,000,000.00) to the development of Phase II of the Stadium Project.
  - ii. City shall manage the design and construction of the Stadium Project in compliance with all applicable laws and ordinances and in close consultation with the Giants.
  - iii. City has selected, and the Giants have approved, AECOM/Hunt and its subcontractors to design, develop, construct and complete Phase I of the Stadium Project.
  - iv. City will ensure that construction of the Stadium Project will not materially affect the use of the Stadium by the Giants and Charros nor interfere with



the holding of spring training games during the 2020 Spring Training Season.

- v. City, the Giants and Charros anticipate that additional phases of capital improvements will be made to the Stadium. The Parties shall mutually agree and work together in good faith to define Phase II of the Stadium Project and refine the conceptual Stadium Master Plan. The Parties will mutually agree upon such improvements and allocation of the costs thereof at a later date, provided that in no event shall Phase II be completed later than January 1, 2023, except that City shall not be deemed to be in default where delays or defaults are due to war, insurrection, other major industrial disturbances, civil disturbances, riots, floods, earthquakes, fires, casualties, acts of God, acts of the public enemy, blockades, epidemics, quarantine restrictions, freight embargoes, lack of transportation, unusually severe weather, or other events or conditions beyond City's reasonable control (each a "Force Majeure Event"). Notwithstanding the foregoing, in the event of a delay caused by a Force Majeure Event, the City shall use best efforts consistent with public safety to ensure that any Giants spring training home games can be played at the Stadium during such delay. City and the Giants mutually agree to put forth good faith efforts to obtain additional funding from third parties to support the development of subsequent phases of the Stadium Project.
- vi. During the Stadium Project, City shall continue to maintain and operate the Stadium in a manner consistent with its maintenance and operation obligations under the Existing Baseball Facilities Agreement.

d. FULL AGREEMENT.

- i. City, the Giants and the Charros shall work together in good faith to negotiate and execute a mutually acceptable definitive agreement which shall be based on and consistent with the terms of this MOU, including this Section 2 and the capital commitments of the Giants and Charros in Section 1, and contain more detailed terms effectuating the intent of this MOU and the Giants, City and Charros. In addition to the topics addressed herein, the definitive agreement shall contain additional mutually bargained terms and obligations, provisions addressing standard legal terms and other customary and industry standard terms and conditions based on this type of arrangement.
- ii. The Parties understand that the definitive agreement is subject to Major League Baseball approval.

3. MISCELLANEOUS

- a. Severability. The determination that any provision of this MOU is invalid or unenforceable shall not invalidate this MOU, all of such provisions being inserted conditionally on their being considered legally valid, and this MOU shall be

construed and performed in all respects as if such invalid or unenforceable provision(s) were omitted.

- b. Binding Agreement. This MOU (including all attachments referred to herein which form a part of this MOU) constitutes a binding agreement and, until superseded by the New BFA represents the agreement of the Parties and its provisions supersede any and all prior contemporaneous agreements or understandings relating to the same subject matter.
- c. Governing Law. This MOU, the rights and obligations of the Parties hereto, shall be construed and enforced in accordance with the laws of the State of Arizona.
- d. Binding Upon Successors. This MOU shall be binding upon and inure to the benefit of the heirs, administrators, executors, successors in interest and permitted assignees of each of the parties to this MOU. Any reference in this MOU to a specifically named party shall be deemed to apply to any successor, heir, administrator, executor or permitted assignee of such party who has acquired an interest in compliance with the terms of this MOU, or under law.
- e. Modification and Amendment. This MOU cannot be amended or modified except by written agreement of the Parties.
- f. Counterparts/Electronic Signature. This MOU may be executed in counterparts which, when signed by all Parties, shall constitute a binding agreement. Counterparts signed by all Parties and transmitted in PDF shall be treated as original counterparts and shall constitute a binding agreement. This MOU may be signed electronically by the parties and each electronic signature shall constitute an original signature.
- g. Assignability. This MOU may be assigned at any time, with prior approval of City and the Giants not to be unreasonably withheld, conditioned or delayed, by the Charros to any entity owned and controlled by the Charros or controlled by a majority of its Members; provided that such assignee is a non-profit 501(c)(3), 501(c)(4) or 501(c)(6) or other non-profit entity included in ARS 42-5073 (A)(5). This right shall transfer to any future assigns.
- h. Prior Agreements in Full Force and Effect. Until a new baseball facilities agreement is agreed to and executed by all parties, the Existing Baseball Facilities Agreement and the agreement entered into between the Charros and the Giants on March 15, 2005 (“**Charros Agreement**”) shall remain in full force and effect. In the event of a conflict between this MOU and the Existing Baseball Facilities Agreement and/or Charros Agreement the Existing Baseball Facilities Agreement and/or Charros Agreement shall be controlling.
- i. Termination for Conflict of Interest. This MOU is subject to termination pursuant to A.R.S. § 38-511.

[Signature Pages Follow]

IN WITNESS WHEREOF, the undersigned Parties have executed this MOU to be effective as of the date set forth above.

**“CITY”**


CITY OF SCOTTSDALE, an  
Arizona municipal corporation

ATTEST:


\_\_\_\_\_  
Carolyn Jagger  
City Clerk

By: \_\_\_\_\_  
W.J. “Jim” Lane  
Mayor

APPROVED AS TO FORM:

  
\_\_\_\_\_  
Bruce Washburn, City Attorney  
By: Joe Padilla, Deputy City Attorney

REVIEWED BY:

  
\_\_\_\_\_  
William B. Murphy  
Community Services Director

[Signatures Continue on Following Pages]

**“CHARROS”**

Scottsdale Charros, Inc., an Arizona nonprofit corporation



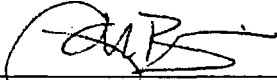
By: Dennis Robbins  
Its: Executive Director

Date: 3-18-19

[Signatures Continue on Following Page]

**"GIANTS"**

San Francisco Giants Baseball Club LLC, a Delaware limited liability company

A handwritten signature in black ink, appearing to read "J. Bair", written over a horizontal line.

By: Jack E. Bair

Its: Executive Vice President and General Counsel

Date: March 18, 2019



**CITY OF SCOTTSDALE**

**DESIGN-BUILD AGREEMENT**

**SCOTTSDALE STADIUM MULTI-USE EVENT CENTER GMP #1  
PROJECT NO. PE05**

**CONTRACT NO. 2019-006-COS**

**TABLE OF CONTENTS**

**RECITALS.....1**

**ARTICLE 1 – THE DBM’S SERVICES AND RESPONSIBILITIES.....4**

**ARTICLE 2 – THE CITY’S SERVICES AND RESPONSIBILITIES.....16**

**ARTICLE 3 – CONTRACT TIME.....19**

**ARTICLE 4 – CONTRACT PRICE .....22**

**ARTICLE 5 - CHANGES TO THE CONTRACT PRICE AND TIME .....27**

**ARTICLE 6 – PROCEDURE FOR PAYMENT .....34**

**ARTICLE 7 – CLAIMS AND DISPUTES .....40**

**ARTICLE 8 – SUSPENSION, TERMINATION AND CANCELLATION .....43**

**ARTICLE 9 – INSURANCE AND BONDS .....46**

**ARTICLE 10 – INDEMNIFICATION .....52**

**ARTICLE 11 – GENERAL PROVISIONS .....54**

**ARTICLE 12 – BENCHMARKS .....67**

**ARTICLE 13 – DEFINITIONS.....67**

**EXHIBIT A - PROJECT DESCRIPTION**

**EXHIBIT B - HOURLY RATE SCHEDULE/SUBMITTAL REQUIREMENTS FOR GMP**

**EXHIBIT C - STATUTORY PERFORMANCE BOND**

**EXHIBIT D - STATUTORY PAYMENT BOND**

**CITY OF SCOTTSDALE PUBLISHED BENCHMARKS**

**THE CITY OF SCOTTSDALE**

**DESIGN-BUILD  
CONSTRUCTION SERVICES  
PROJECT NO. PE05, CONTRACT NO. 2019-006-COS**

**THIS CONTRACT**, entered this \_\_\_\_ day of \_\_\_\_\_, 2019, between the City of Scottsdale, an Arizona municipal corporation, the "CITY" and Hunt Construction Group, an Indiana Corporation, the Design-Build Manager, the "DBM."

**RECITALS**

- A.** The Mayor of the City of Scottsdale is authorized by provisions of the City Charter to execute contracts for construction services.
- B.** The City intends to design and construct the Scottsdale Stadium Multi-Use Event Center improvements, as more fully described in the Project Description, attached as Exhibit A and by reference made a part of this Contract. The street address or physical address of the construction site is the Northeast Corner of Osborn Road and Drinkwater Boulevard, Scottsdale, Arizona.
- C.** To undertake the construction administration of this Project the City has assigned the appropriate personnel to manage and inspect the Project.

The Design-Build Manager (DBM) has represented to the City its ability to manage design services and to construct the Project. Based on these representations the City engages Hunt Construction Group, Inc. to provide these services and construct the Project.

Contract No. 2018-078-COS has been executed previously between the City and the DBM for Preconstruction Services. A copy of the Preconstruction Agreement is on file in the offices of Capital Projects Management. Those services may continue during the duration of this Contract.

**FOR AND IN CONSIDERATION** of the mutual covenants and conditions contained in this Contract, it is agreed by the City and the DBM as follows:



## ARTICLE 1 – THE DBM’S SERVICES AND RESPONSIBILITIES

1. The DBM will furnish any and all labor, materials, equipment, transportation, utilities, services and facilities required to perform all Work for the design and construction described in and reasonably inferable from this Contract. All Work will be performed in a professional and workmanlike manner and with the care and skill of a qualified DBM in Scottsdale, Arizona. The Work will be strictly performed in conformity with all legal requirements and Project Contract Documents as may be modified from time to time. It is not required that the services be performed in the sequence in which they are described in this Contract. If this Project is to be constructed in phases, the first phase is to include the following facilities; New Clubhouse & Multi-Purpose Building, Team Shop Improvements, Press Club Level, City & Ticket Office, Right Field Concourse work, Main Entry Plaza (Limited Area) and the Broadcast Truck Conduit Phase 1, the second phase is to be determined based on the continuing of design services..

### 1.1. GENERAL SERVICES

- 1.1.1. The DBM's Representative will be available to the City and will have the necessary expertise and experience required to supervise the Work. The DBM's Representative must communicate regularly with the City but not less than once a day and must be vested with the authority to act on behalf of the DBM. The DBM's Representative may be replaced only with the written consent of the City, which consent will not be unreasonably withheld.

### 1.2. GOVERNMENT APPROVALS AND PERMITS

- 1.2.1. Unless otherwise provided, the DBM will make application for and obtain or assist the City in obtaining all necessary permits, approvals and licenses required for the prosecution of the Work from any governmental or quasi-governmental entity having jurisdiction over the Project. Fees for City Building Permits and City Encroachment Permits will be waived by the City. The DBM is specifically required to obtain the necessary environmental permits and/or file the necessary environmental notices. All environmental permits and licenses will be paid by the City in accordance with the provisions of Article 2.5. All other fees and licenses are the responsibility of the DBM.

1. Scottsdale Revised Code, Chapter 31, Section 4, Division 3 prescribes the requirements for Building Permits. Permits must be obtained from the Development Services Office.
2. Scottsdale Revised Code, Chapter 47, Section 3, Division 2 prescribes the requirements for Encroachment Permits. Permits must be obtained from the Development Services Office.
3. Capital Project Management (CPM) Inspection must be notified before the beginning of Work, and CPM Inspection will represent the City for the purpose of inspecting the Work for conformance to Plans, Specifications and details as well as public safety requirements as authorized by City Code.
4. Development Fees applicable to the Contract will be pre-paid by the City.

The DBM will also obtain any reviews for all-necessary permitting, but the fees for the permitting will be paid by the City in accordance with Article 2.5.

The DBM is responsible for all other review and permit fees not specifically listed in Article 2.5.

The DBM is responsible for the cost of construction-related water meter(s), water and sewer taps, fire lines and taps, and all water bills on the Project meters until Substantial Completion of the Project. Arrangement for construction water is the DBM's responsibility. Construction water does not include "test water" required to complete new water line pressure tests.

- 1.2.2. Copies of all necessary permits and notices must be provided to the Contract Administrator before starting the permitted activity. This provision is not an assumption by the City of an obligation of any kind for any violation of the permit or notice requirements.
- 1.2.3. The DBM will be responsible for City plan review and making application for and obtaining permit(s) for building and demolition permits, but the fees will be paid by the City in accordance with Article 2.5. The DBM will also obtain any necessary regulatory or permitting related reviews for grading and drainage, water, sewer, and landscaping, but any fees will be paid by the City in accordance with Article 2.5. The DBM will be responsible for coordinating utility design work for permanent service to the Project and will ensure that the work takes place in a timely manner and does not impact the Project Schedule. Any utility design fees for permanent services to the Project will be paid by the City in accordance with Article 2.5.
- 1.2.4. The DBM will be responsible for all other review and permit fees not specifically listed in Article 2.5 below, or as qualified in the Preconstruction Agreement.
- 1.2.5. The DBM is responsible for the cost of construction related water meter(s), water and sewer taps, fire lines and taps, and all water bills on the project meters until Substantial Completion of the Project. Arrangements for construction water are the DBM's responsibility. Construction water does not include "test water" required to complete new water line pressure tests.
- 1.2.6. The Maricopa Association of Governments (M.A.G.) Standard Specification 107.12 is modified to read as follows: "The DBM, at his own expense, is responsible for the acquisition of any necessary temporary easements for construction purposes, storage, maintenance and refuse haul-off as indicated upon the plans, which are required in addition to existing easements or rights of way secured by the City."

### **1.3. PRE-CONSTRUCTION CONFERENCE**

- 1.3.1. Before beginning any Work, the Contract Administrator will schedule a Pre-Construction conference. The Parties have entered into a separate Pre-Construction Contract for Design Phase services establishing a fee the City will pay the DBM for all preconstruction services. The City will not request or obtain

from the DBM a fixed price or Guaranteed Maximum Price (GMP) until after the City has entered into a written contract with the DBM for preconstruction services and a preconstruction fee.

- 1.3.2. The purpose of this conference is to establish a working relationship between the DBM, utility firms, and various other City agencies. The agenda will include critical elements of the work schedule, submittal schedule, cost breakdown of major lump sum items, the DBM Payment Requests and processing, coordination with the involved utility firms and/or utility companies (i.e. APS, SRP, SW Gas, etc.) and emergency telephone numbers for all representatives involved in the course of construction.
- 1.3.3. At a minimum, attendees will include the DBM's Representative, who is authorized to execute and sign documents on behalf of the firm, the Job Superintendent, the Design Professional and the DBM's safety officer.
- 1.3.4. The Notice to Proceed date will be established at the Pre-Construction conference.
- 1.3.5. The DBM will provide a Baseline Project Schedule indicating duration, manpower, and equipment resources required to complete all major work activities. The City and the DBM will review the Baseline Project Schedule. It will be revised to the satisfaction of the Contract Administrator. No work will begin until the City accepts the Baseline Project Schedule.
- 1.3.6. The DBM will provide a Schedule of Values (SOV) based on the Work and bids accepted from selected Subcontractors. These values must reflect the actual labor, time, materials, profit and overhead for the Work.

#### **1.4. CONTROL OF THE WORK**

- 1.4.1. The DBM will properly secure and protect all finished or partially finished Work, and will be responsible for the Work until the entire Contract is completed and accepted by the City. Any payment for completed portions of the Work will not release the DBM from this responsibility, however, he must turn over the entire Work in full accordance with these specifications before final settlement will be made of claims remaining unsettled at the time of final payment. In case of suspension of the Work for any cause, the DBM will be responsible for the Project and will take all precautions as may be necessary to prevent damage to the Project and will erect any necessary temporary structures, signs, or other facilities at no cost to the City.
- 1.4.2. The DBM must provide through itself or Subcontractors the necessary supervision, labor, inspection, testing, start-up, material, equipment, machinery, temporary utilities and other temporary facilities to permit the DBM to complete the Work consistent with the Contract Documents, unless the Contract Documents provide that it is the responsibility of the City or a separate contractor.
- 1.4.3. The DBM must perform all construction activities efficiently and with the requisite expertise, skill and competence to satisfy the requirements of the Contract

Documents. The DBM must at all times exercise complete and exclusive control over the means, methods, sequences and techniques of construction.

- 1.4.4.** Survey stakes and marks required for the completion of the construction shown on the plans and described in the specifications will be furnished by the DBM.
- 1.4.5.** The DBM or the DBM's Representative or his designee must be present at the Work at all times that construction activities are taking place.
  1. All elements of the Work, such as concrete work, pipe work, etc., will be under the direct supervision of a foreman or his designated representative on the Site who must have the authority to take actions required to properly carry out that particular element of the Work.
  2. In the event of noncompliance with Article 8, the City may require the DBM to stop or suspend the Work in whole or in part.
- 1.4.6.** Where the Contract Documents have a requirement by the manufacturer that a particular product be installed or applied by an approved applicator, it is the DBM's responsibility to ensure the Subcontractor employed for the work is approved.
- 1.4.7.** The DBM must take field measurements and verify field conditions and carefully compare all field measurements and conditions and other information known to the DBM with the Contract Documents before commencing activities. Errors, inconsistencies or omissions discovered must be immediately reported to the City.
- 1.4.8.** Before ordering materials or conducting work, the DBM and each Subcontractor must verify measurements at the Site and will be responsible for the correctness and accuracy of any measurements. No extra charge or compensation will be allowed because of differences between actual dimensions and the dimensions indicated on the drawings; differences, which may be found, will be submitted to the City for resolution before proceeding with the Work.
- 1.4.9.** The DBM must establish and maintain all building and construction grades, lines, levels, and benchmarks, and will be responsible for their accuracy and protection. This work must be performed or supervised by an Arizona licensed civil engineer or surveyor.
- 1.4.10.** Any person employed by the DBM or any Subcontractor who, in the opinion of the City, does not perform his work in a proper, skillful and safe manner or is intemperate or disorderly will at the written request of the City, be removed from the Work by the DBM or Subcontractor employing the person, and will not be employed again in any portion of the Work without the written approval of the City. The DBM or Subcontractor will hold the City harmless from damages or claims which may arise out of or occur in the enforcement of this Article.
- 1.4.11.** The DBM assumes responsibility for the proper performance of the Work of Subcontractors and any acts and omissions in connection with their performance. Nothing in the Contract Documents is intended or considered to

create any legal or contractual relationship between the City and any Subcontractor or Sub-Subcontractor, including but not limited to any third-party beneficiary rights.

- 1.4.12. The DBM must coordinate the activities of all Subcontractors. If the City performs other work on the Project or at the Site with separate contractors under the City's control, the DBM agrees to reasonably cooperate and coordinate its activities with those of the separate contractors so that the Project can be completed in an orderly and coordinated manner without unreasonable disruption.
- 1.4.13. On a daily basis, the DBM will prepare a Contractor's Daily Report. The City's Capital Projects Management (CPM) Inspector will provide a sample report format to the DBM. The report will detail the activities that occurred during the course of the day, all equipment utilized, the number of hours operated and all personnel on the Site inclusive of Subcontractors. The Daily Reports must be submitted on a daily basis, unless otherwise arranged, to the City's CPM Inspector. The Daily Reports must also be made available to the Contract Administrator upon request. Failure to provide Daily Reports as arranged or requested above will result in the retention of monthly progress payments until the Reports are brought up to date.
- 1.4.14. In the event of noncompliance with this Article 1.4, the City may require the DBM to stop or suspend the construction in whole or in part. Any suspension, due to the DBM's noncompliance will not be considered a basis for an increase in the Contract Price or extension of the Contract Time.

## **1.5. CONTROL OF THE WORK SITE**

- 1.5.1. Throughout all phases of construction, including suspension of Work, the DBM must keep the Site reasonably free from debris, trash and construction wastes to permit the DBM to perform its construction services efficiently, safely and without interfering with the use of adjacent land areas. Upon Substantial Completion of the Work, or a portion of the Work, the DBM will remove all debris, trash, construction wastes, materials, equipment, machinery and tools arising from the Work to permit the City to occupy the Project or a portion of the Project for its intended use.
- 1.5.2. Dust Prevention. The DBM will take appropriate steps, procedures, or means required to prevent abnormal dust conditions due to his construction operations in connection with this Contract. The dust control measures will be maintained at all times during construction of the Project to the satisfaction of the City in accordance with the requirements of the Maricopa County Health Department Air Pollution Control Regulations and City of Scottsdale Supplement to M.A.G. Standard Specifications together with applicable provisions of Federal and State Law.
- 1.5.3. Dust Control Coordinator. At any City construction site of 5 acres or more of disturbed surface area, subject to a permit issued by a Control Officer requiring control of PM-10 emissions from dust generating operations, there must be at all times at the Site, at least one Dust Control Coordinator trained in accordance with the requirements of A.R.S. § 49-474.05 during primary dust generating

operations. The Dust Control Coordinator must have full authority to ensure that dust control measures are implemented at the Site, including authority to conduct inspections, deploy dust suppression resources, and modify or shutdown activities as needed to control dust. The Dust Control Coordinator must be responsible for managing dust prevention and dust control on the Site, including the use of leaf blowers and street sweeping equipment. The Dust Control Coordinator must have a valid Dust Training Certification Identification Card readily accessible on the Site while acting as the Dust Control Coordinator.

The requirements described in the above paragraph do not apply if all of the following circumstances are present:

1. The area of disturbed surface area is less than 5 acres.
2. The previously disturbed areas are stabilized in accordance with the requirements of any applicable County rules.
3. The DBM with the Dust Control Permit provides notice of the acreage stabilized to the County Control Officer.

Any DBM holding a Dust Control permit issued by a County Control Officer, and who is required to obtain a single permit for multiple noncontiguous sites that is required to control PM-10 emissions from dust generating operations must have, on sites with greater than 1-acre of disturbed surface area, at least 1 individual who is designated by the Contractor as a Dust Control Coordinator. The Dust Control Coordinator must have a valid Dust Training Certification Identification Card readily accessible on the Site while acting as the Dust Control Coordinator. The Dust Control Coordinator must be present on Site at all times during primary dust generating activities that are related to the purposes for which the permit was issued.

A Subcontractor who is engaged in dust generating operations at a site that is subject to a Dust Control Permit that is issued by a County Control Officer and that requires the control of PM-10 emissions from dust generating operations must register with the County Control Officer. The Subcontractor must have its registration number readily accessible on the Site while conducting any dust generating operations.

- 1.5.4.** Only materials and equipment, which are to be used directly in the Work, will be brought to and stored on the Site by the DBM. When equipment is no longer required for the Work, it will be removed promptly from the Site. Protection of construction materials and equipment stored at the Site from weather, theft, damage and all other adversity is solely the responsibility of the DBM.
- 1.5.5.** The DBM is responsible for the cost to dispose of all waste products including excess earth material, which will not be incorporated into the Work under this Agreement. The waste product will become the property of the DBM. The DBM will provide for the legal disposal at an appropriate off-site location of all waste products, debris, etc., and will make necessary arrangements for its disposal. Any disposal/dumping of waste products or unused materials must conform to applicable Federal, State and Local Regulations.

- 1.5.6.** The DBM will supervise and direct the Work. He will be solely responsible for the means, methods, techniques, sequences and procedures of construction. The DBM will employ and maintain on the Work a full-time competent and qualified supervisor or superintendent who will be at the Work, and who has been designated in writing by the DBM as the DBM's Representative at the Site. The Representative must have full authority to act on behalf of the DBM and all communications given to the Representative will be as binding as if given to the DBM. The Representative must be present on the Site at all times as required to perform adequate supervision and coordination of the Work. Where appropriate all Provisions of M.A.G., Section 105.5, will be applicable.
- 1.5.7.** In the event of abnormal weather conditions, such as windstorms, rainstorms, etc., the DBM will immediately inspect the work site and take all necessary actions to insure public access and safety are maintained.
- 1.5.8.** Damage to property at the Site: The DBM is responsible for any and all damage or loss to property at the Site, except to the extent caused by the acts or omissions of the City or its representatives, employees or agents and not carried by insurance. The costs and expenses incurred by the DBM under this Article will be paid as a Cost of the Work to the extent that these costs and expenses are in excess of or are not covered by required insurance, and to the extent of any deductibles, but will not increase the GMP.
- 1.5.9.** Damage to property of others: The DBM will avoid damage, as a result of the DBM's operations, to existing sidewalks, curbs, streets, alleys, pavements, utilities, adjacent property, the work of Separate Contractors and the property of the City. The DBM will repair any damage caused by the operations of the DBM. Repair costs will be paid as a Cost of the Work to the extent that these costs and expenses are in excess of or are not covered by required insurance, and to the extent of any deductible. Any repairs will not increase the GMP.
- 1.5.10.** Failure of the DBM to repair damage: If the DBM fails to begin the repair of damage to property as stated in Articles 1.5.8 and 1.5.9, and diligently pursue the repair, the City will give the DBM 10 days' written notice to begin the repairs. If the DBM fails to begin the repairs within the 10 day notice period, the City may elect to repair the damages with its own forces and to deduct from payments due or to become due to the DBM amounts paid or incurred by the City in correcting the damage.
- 1.5.11.** If applicable, the DBM will maintain American with Disabilities Act (ADA) and American National Standards Institute (ANSI) accessibility requirements during construction activities in an occupied building or facility. ADA and ANSI accessibility requirements must include, but not be limited to, parking, building access, entrances, exits, restrooms, areas of refuge, and emergency exit paths of travel. The DBM is responsible for the coordination of all Work to minimize disruption to building occupants and facilities.

**1.6. SHOP DRAWINGS, PRODUCT DATA AND SAMPLES**

- 1.6.1.** Shop Drawings, Product Data, Samples and similar submittals are not Contract Documents. The purpose of their submittal is to demonstrate for those portions

of the Work for which submittals are required the way the DBM proposes to conform to the information given and the design concept expressed in the Contract Documents.

- 1.6.2. The DBM will review, approve, and verify that all submittals meet the intent of the Contract Documents. An electronic copy of each Shop Drawing, Product Data, Sample, and any other similar submittals required by the Contract Documents, will be delivered to the Contract Administrator for review. The DBM will carry out these activities in a timely manner so as to cause no delay in the Work or in the activities of the City or of separate contractors. Deviations from the original specifications will be specifically noted on the submittal to the City and the City will be allowed 7 days to approve or reject any deviations.
- 1.6.3. The DBM will perform no portion of the Work requiring submittal and review of Shop Drawings, Product Data, Samples, or similar submittals until the respective submittal has been approved by the City. All Work will be in accordance with approved submittals. The DBM will not be relieved of responsibility for errors or omissions in Shop Drawings, Product Data, Samples, or similar submittals by the City's approval.
- 1.6.4. By approving, verifying and submitting Shop Drawings, Product Data, Samples and similar submittals, the DBM represents that the DBM has determined and verified materials, field measurements and any related field construction criteria, or will do so, and has checked and coordinated the information contained within these submittals with the requirements of the Work and of the Contract Documents.
- 1.6.5. The DBM will not be relieved of responsibility for deviations from requirements of the Contract Documents unless the DBM has specifically informed the City in writing of the deviation at the time of submittal and the City has given written approval to the specific deviation.
- 1.6.6. When professional certification of performance criteria of materials, systems or equipment is required by the Contract Documents, the City will be entitled to rely upon the accuracy and completeness of the calculations and certifications.
- 1.6.7. Informational submittals upon which the City is not expected to take responsive action may be so identified in the Contract Documents.

## **1.7. QUALITY CONTROL, TESTING AND INSPECTION**

- 1.7.1. The City's Capital Project Management Construction Inspectors may be stationed on the work site to report to the Contract Administrator or his Designee as to the progress of the Work, the manner in which it is being performed, and also to report whenever it appears that material furnished or Work performed by the DBM fails to fulfill the requirements of the specifications and this Contract. The Construction Inspector may direct the attention of the DBM to any such failure as described above but the inspection will not relieve the DBM from any obligation to furnish acceptable materials or to provide completed construction that is in compliance with the Contract Documents in every particular.



- 1.7.2. In case of any dispute arising between the Construction Inspector and the DBM as to material furnished or the manner of performing the Work, the Construction Inspector will have the authority to reject materials or suspend the Work until the question and issue can be referred to and decided by the City. Construction Inspectors are not authorized to revoke, alter, enlarge, relax, or release any requirements of the specifications. Construction Inspectors will in no case act as foremen or perform other duties for the DBM or interfere with the management of the Work by the DBM.
- 1.7.3. Inspection or supervision by the Contract Administrator or Designee will not be considered as direct control of the individual workman and his work. The direct control will be solely the responsibility of the DBM.
- 1.7.4. The furnishing of any services for the City will not make the City responsible for or give the City control over construction means, methods, techniques, sequenced procedures or for safety precautions or programs or responsibility for the DBM's failure to perform the Work in accordance with Contract Documents.

#### **1.8. MATERIALS TESTING**

- 1.8.1. All materials used in the Work must be new and unused, unless otherwise noted, and must meet all quality requirements of the Contract Documents.
- 1.8.2. All construction materials to be used on the Work or incorporated into the Work, equipment, plant, tools, appliances or methods to be used in the Work may be subject to the inspection and approval or rejection by the City. Any material rejected by the City will be removed immediately and replaced in a manner acceptable to the City.
- 1.8.3. The procedures and methods used to sample and test material will be determined by the City. Unless otherwise specified, samples and tests will be made in accordance with the following: The standard methods of American Association of State and Highway Transportation Off Roads (AASHTO) or American Society for Testing and Materials (ASTM), and Maricopa Association of Governments (MAG) supplements.
- 1.8.4. The City will select a pre-qualified Independent Testing Laboratory and will pay for initial City Acceptance Testing.
  - 1. When the first and subsequent tests indicate noncompliance with the Contract Documents, the cost associated with that noncompliance will be paid for by the DBM. The DBM's Contingency will be utilized for the cost of re-testing.
  - 2. When the first and subsequent tests indicate noncompliance with the Contract Documents, all retesting will be performed by the same testing agency.
- 1.8.5. The DBM will cooperate with the selected testing laboratory and all others responsible for testing and inspecting the Work and will provide them access to the Work at all times upon reasonable advance notice.

- 1.8.6.** All soils and materials testing will be performed by the DBM or its representatives and paid for by the City. The City will order tests and distribute test results for all construction areas. The City will be responsible for ordering testing and will distribute test results within 24 hours of receipt.
1. The City will pay for soils or materials testing as a separate line item in the Schedule of Values.
  2. Other material testing: when the first and subsequent tests indicate noncompliance with the Contract Documents, the cost associated with that noncompliance will be paid for by the DBM. The Construction Contingency cannot be utilized for the cost of re-testing.
- 1.8.7.** At the option of the City, materials may be approved at the source of supply before delivery is started.
- 1.8.8.** Code compliance testing and inspections required by codes or ordinances, or by a plan approval authority, and which are made by a legally constituted authority, will be the responsibility of and will be paid by the DBM, unless otherwise provided in the Contract Documents.

**1.9. PROJECT RECORD DOCUMENTS/AS-BUILTS**

- 1.9.1.** During the construction period, the DBM will maintain at the jobsite a set of blue-line or black-line prints of the Construction Document drawings and Shop Drawings for Project Record Document purposes.
1. The DBM will mark these drawings to indicate the actual installation where the installation varies appreciably from the original Construction Documents. The DBM will give particular attention to information on concealed elements, which would be difficult to identify or measure and record later. Items required to be marked include but are not limited to:
    - Dimensional changes to the drawings
    - Revisions to details shown on drawings
    - Depths of foundations below first floor
    - Locations and depths of underground utilities
    - Revisions to routing of piping and conduits
    - Revisions to electrical circuitry
    - Actual equipment locations
    - Duct size and routing
    - Locations of concealed internal utilities
    - Changes made by Contract Amendments
    - Details not on original Contract Drawings
  2. The DBM will mark completely and accurately Project Record Drawing prints of Construction Documents or Shop Drawings, whichever is the most capable of indicating the actual physical condition. Where Shop Drawings are marked, show cross-reference locations on the Construction Documents.

3. The DBM will mark Project Record Drawing sets with red erasable colored pencil.
4. The DBM will note Requests for Information (RFI) Numbers, Architects' Supplemental Information (ASI) Numbers and Contract Amendment Proposal Numbers, etc., as required to identify the source of the change to the Construction Documents.
5. The DBM will at the time of Substantial Completion, submit Project Record Drawing prints and Shop Drawings to the City or its representative for review and comment.

**1.9.2.** Immediately upon receipt of the reviewed Project Record Drawings from the City, the DBM will correct any deficiencies or omissions to the drawings and prepare the following for resubmission to the City:

1. A complete set of PDF electronic files of all Project Record Drawings will be prepared by the DBM in electronic format. Each drawing will be clearly marked with "As-Built Document." Files will be named consistent with the Plan Set Index.
2. A complete set of As-Built Document reproducible mylars will be made by the DBM and delivered to the City as part of the Project closeout.
3. The DBM's original redlined mark-up prints of the Project Record Drawings.

## **1.10. PROJECT SAFETY**

**1.10.1.** The DBM Safety Program. The Site environment in which the DBM operates may on occasion present a potential safety and health hazard to any who may be on the job site. All Work must be performed in compliance with all applicable Federal, State and Local laws, ordinances, statutes, rules and regulations including Arizona Division of Occupational Safety and Health (ADOSH) policies and procedures. The DBM will be required to attend a City safety briefing session at the pre-construction meeting. The Contract Administrator, the designated Risk Management staff, and a DBM's representative will attend the session.

The DBM will provide a safe job site and work environment for the safety and health of employees and members of the general public and comply with all legal requirements including but not limited to the following:

- Occupational Safety and Health Act (OSHA)
- Electrical Safe Work Practices Standards
- OSHA Personal Protective Equipment Standards
- National Fire Protection Association (NFPA) 70E Standard for Electrical Safety in the Workplace
- OSHA Fall Protection Standards
- OSHA Confined Space Entry

All other applicable requirements of OSHA and local codes and agencies having jurisdiction.

Contractors that violate the aforementioned rules and regulations may be subject to job shutdown and or removal from City facilities.

- 1.10.2.** The City Safety Rules and Expectations: Risk Management Division makes available a packet that contains the City's OSHA compliance guidelines, emergency evacuation, the City's safety and health plan, and other safety information.
- 1.10.3.** Contractor Safety Tailgate Meetings: The DBM will conduct tailgate safety meetings regularly to ensure that safety on the job is given priority.
- 1.10.4.** Accident/Injury Procedure: The DBM will contact the Contract Administrator and the Risk Management Division within 24 hours of the occurrence of an accident or injury arising out of the DBM's Work under this Contract.
- 1.10.5.** Unsafe Acts: The DBM employees are encouraged to abate or remedy any unsafe act or condition, which may arise in the course of the DBM's Work under this Agreement.
- 1.10.6.** Safety Audits: The City reserves the right to conduct safety audits at the job site and stop unsafe acts at any time. In addition, the City will be notified should any OSHA inspections occur at the City job site.
- 1.10.7.** The DBM recognizes the importance of performing the Work in a safe manner so as to prevent damage, injury or loss to (i) all individuals at the Site, whether working or visiting, (ii) the Work, including materials and equipment incorporated into the Work or stored on-Site or off-Site, and (iii) all other property at the Site or adjacent to the Site.
- 1.10.8.** The DBM assumes responsibility for implementing, monitoring, and documenting all safety precautions and programs related to the performance of the Work.
- 1.10.9.** The DBM will, before beginning construction, designate a Safety Representative with the necessary qualifications and experience to supervise the implementation and monitoring of all safety precautions and programs related to the Work. Unless otherwise required by the Contract Documents, the DBM's Safety Representative will be an individual stationed at the Site who may have responsibilities on the Project in addition to safety.
- 1.10.10.** The DBM must provide OSHA 300A Summary log information including total recordable cases, total case rates, and lost workday incident rates for the past 2 calendar years. This information can be compared to Bureau of Labor Statistics (BLS) rates to determine whether a contractor has below average or above average accident/injury rates. Bureau of Labor Statistics information can be obtained through Risk Management. The Safety Representative will make routine daily inspections of the Site and will hold weekly safety meetings with DBM's personnel, Subcontractors and others as applicable.

- 1.10.11.** The DBM and Subcontractors will comply with all Legal Requirements relating to safety, as well as any City-specific safety requirements contained in the Contract Documents, provided that any City-specific requirements do not violate any applicable Legal Requirement.
- 1.10.12.** The DBM will immediately report in writing any safety-related injury, loss, damage or accident arising from the Work to the Contract Administrator and, to the extent mandated by Legal Requirements, to all government or quasi-governmental authorities having jurisdiction over safety-related matters involving the Project or the Work.
- 1.10.13.** The DBM's responsibility for safety under this Article 1.10 is not intended in any way to relieve Subcontractors and Sub-Subcontractors of their own contractual and legal obligations and responsibility for (i) complying with all Legal Requirements, including those related to health and safety matters, and (ii) taking all necessary measures to implement and monitor all safety precautions and programs to guard against injury, losses, damages or accidents resulting from their performance of the Work.
- 1.10.14.** The DBM and Subcontractors must agree to provide to the City Material Safety Data Sheets for all substances that are delivered to the Site that come under OSHA Toxic and Hazardous Substances – Hazard Communication Standard, 29 CFR 1910.1200 Hazard Communication (reference Occupational Safety and Health Standards, Subpart Z Toxic and Hazardous Substances – Hazardous Communication Standard).

In conjunction with the Occupational Safety and Health Standards, Subpart Z Toxic and Hazardous Substances – Hazard Communication Standard, 29 CFR 1910.1200 Hazard Communication, the DBM and Subcontractors are informed of the presence of chemicals in the area where the Work requested will be performed. It is the responsibility of all selected Contractors to contact the City for specific information relative to the type of chemicals present and location of appropriate Material Safety Data Sheets.

Unless included in the Work, if the DBM encounters on-Site material which he reasonably believes to contain asbestos, polychlorinated biphenyl (PCB), or other hazardous substances or materials regulated by Public Health Laws, he will immediately stop work and report the condition to the City.

If the material is found to contain asbestos, PCB or other hazardous substances or materials regulated by Public Health Laws, the DBM will not resume work in the affected area until the material has been abated or rendered harmless. The DBM and the City may agree, in writing, to continue work in non-affected areas on-Site. An extension of Contract Time and an increase in the GMP may be granted in accordance with Article 5.

Upon discovery of hazardous substances or materials the DBM will comply with all applicable laws/ordinances and regulations and take all appropriate health and safety precautions.

The DBM and all Subcontractors using chemicals on City property will use only the safest chemicals, with the least harmful ingredients. The chemicals will be approved for use by a City representative before bringing them on the property.

The DBM and all Subcontractors will make every attempt to apply approved chemicals with highly volatile organic compounds, outside of working hours. Adequate ventilation will be used at all times during the application of these approved chemicals.

### **1.11. WARRANTY**

**1.11.1.** The provisions of M.A.G., Section 108.8 will apply with the following additional requirements:

1. Should the DBM fail to begin repairs or corrective work within 14 calendar days after receipt of written notice from the City, the City may perform the necessary work and the DBM agrees to reimburse the City for the actual cost.
2. The warranty period on any part of the Work so repaired or replaced will be extended for a period of 1 year from the date of the repair or replacement.
3. This warranty will not apply to damage caused by normal wear and tear or by acts beyond the DBM's control.

**1.11.2.** The DBM's warranty obligation excludes defects caused by abuse, alterations, or failure to maintain the Work by persons other than the DBM or anyone for whose acts the DBM may be liable.

**1.11.3.** The DBM's warranty obligation will be the maximum allowed by the Arizona Registrar of Contractors.

**1.11.4.** Nothing in this warranty is intended to limit any manufacturer's warranty which provides the City with greater warranty rights than those provided in this Article 1.11 or the Contract Documents. The DBM will provide the City with all manufacturers' warranties upon Substantial Completion.

### **1.12. CORRECTION OF DEFECTIVE WORK**

**1.12.1.** The DBM agrees to correct any Work that is found to not be in conformance with the Contract Documents, including that part of the Work subject to Article 1.11 above, within a period of 1 year from the date of Substantial Completion of the Work or any portion of the Work, or within any longer period to the extent required by the Contract Documents. A Progress Payment, or partial or entire use or occupancy of the Project by the City will not constitute acceptance of the Work if not in accordance with the Contract Documents.

**1.12.2.** The DBM will take meaningful steps to begin correction of nonconforming Work subject to this Article 1.12. These measures include but are not limited to timely correction of the Work. If the DBM fails to initiate necessary measures for this Work within 7 days of receipt of written notice from the City, the City, in

addition to any other remedies provided under the Contract Documents, may provide the DBM with written notice that the City will begin correction of any nonconforming Work with its own forces.

- 1.12.3. If the City does perform this corrective Work, the DBM will be responsible for all reasonable costs incurred by the City in performing the correction.
- 1.12.4. The DBM will immediately respond to any nonconforming Work that creates an emergency.
- 1.12.5. The 1 year period referenced in this Article 1.12 applies only to the DBM's obligation to correct nonconforming Work and is not intended to constitute a period of limitations for any other rights or remedies the City may have regarding the DBM's other obligations under the Contract Documents.

### **1.13. Subcontractor and Major Supplier Selection**

The Parties have entered into a Preconstruction Agreement that contains Subcontractor and Major Supplier provisions. In selecting Subcontractors and Major Suppliers, the DBM will comply with the provisions in the Preconstruction Agreement. [For horizontal construction, as defined in A.R.S. §34-101(15), the DBM must self-perform not less than 45% of the Work as required by A.R.S. §34-605(G).]

## **ARTICLE 2 – THE CITY'S SERVICES AND RESPONSIBILITIES**

### **2.**

#### **2.1. DUTY TO COOPERATE**

The City will, throughout the performance of the Work, cooperate with the DBM and perform its responsibilities, obligations and services in a timely manner to facilitate the DBM's timely and efficient performance of the Work so as not to delay or interfere with the DBM's performance of its obligations under the Contract Documents. The City will furnish to the DBM a Computer Aided Drafting and Design (CADD) file or electronic format of the Construction Documents acceptable to the City, at no cost to the DBM.

#### **2.2. CONTRACT ADMINISTRATION**

- 2.2.1. The Construction Administration Supervisor will be responsible for providing City-supplied information and approvals in a timely manner to permit the DBM to fulfill its obligations under the Contract Documents.
- 2.2.2. The Contract Administrator will also provide the DBM with prompt notice if the Contract Administrator observes any failure on the part of the DBM to fulfill its contractual obligations, including any default or defect in the Project or non-conformance with the drawings and specifications. The Contract Administrator has the authority to authorize Change Orders up to the limits permitted by the City's Procurement Code.

### **2.3. THE CITY'S SEPARATE CONTRACTORS**

The City is responsible for all Work performed on the Project or at the Site by separate contractors under the City's control. The City will contractually require its separate contractors to cooperate with, and coordinate their activities so as not to interfere with the DBM in order to enable the DBM to timely complete the Work consistent with the Contract Documents. The DBM agrees to reasonably cooperate and coordinate its activities with those of the separate contractors so that the Project can be completed in an orderly and coordinated manner without unreasonable disruption.

### **2.4. PERMIT REVIEW AND INSPECTIONS**

Approving specific parts of the Building Permit is the responsibility of the City's Capital Project Management. The City of Scottsdale Plan Review Division issues Certificates of Occupancy.

### **2.5. FURNISHING OF SERVICES AND INFORMATION**

**2.5.1.** The City will be responsible for the payment or waiver of the following:

1. City review and permit(s) fees for building, encroachment, and demolition permits.
2. City review fees for grading and drainage, water, sewer, and landscaping.
3. Utility design fees for permanent services.
4. Obtaining Clean Water Act Nationwide 404 Permits.
5. City Development Fees.
6. Environmental Permits and Licenses.

**2.5.2.** Unless expressly stated to the contrary in the Contract Documents, the City will provide, (at its own cost and expense) to the DBM, the following information:

1. To the extent available, surveys describing the property, boundaries, topography and reference points for use during construction, including existing service and utility lines;
2. Temporary and permanent easements, zoning and other requirements and encumbrances affecting land use, or necessary to permit the proper design and construction of the Project and enable the DBM to perform the Work;
3. A legal description and Street or Physical address of the Site;
4. To the extent available, as-built record or historical drawings of any existing structures at the Site;



5. To the extent available, environmental studies/reports and environmental impact statements describing the environmental conditions (including hazardous materials) known to exist at the Site;
6. To the extent available, Geotechnical studies describing subsurface conditions, and other surveys describing other latent or concealed physical conditions at the Site.

The City will provide all City standards and guidelines, supplementary conditions and special provisions that will be included in the plans and specifications for the Project. These may include but are not limited to: disposal of surplus material, special security provisions, investigation of underground facilities, traffic controls and regulations, special quality control testing and termite treatment requirements.

The City is responsible for securing and executing all necessary agreements with adjacent land or property owners that are necessary to enable the DBM to perform the construction. The City is further responsible for all costs, including attorneys' fees, incurred in securing these necessary agreements.

## **2.6. PROJECT MANAGEMENT SERVICES**

- 2.6.1. The City may contract separately with one or more Technical Consultants to provide project management assistance to the Project. The Technical Consultant's contract as well as other firms hired by the City will be furnished to the DBM. The DBM will not have any right however, to limit or restrict any contract modifications that are mutually acceptable to the City and the Technical Consultant.
- 2.6.2. The Technical Consultant services will augment the City staffing resources to effectively manage the objectives of the City and this Project with the goal of managing the key Project communication, cost and time parameters.
- 2.6.3. The Technical Consultant may provide preprogramming and design standards.
- 2.6.4. The City may contract with the Technical Consultant to provide some or all of the following services during the performance of the construction:
  1. Oversight of the construction: The City may hire Technical Consultants to assist it in oversight of the Construction Project. The Technical Consultants will:
  2. Conduct Site visits at intervals appropriate to the stage of construction to become generally familiar with the progress and quality of the completed construction and to determine in general if the construction is being performed in accordance with the Construction Documents. The Technical Consultant will keep the City informed of progress of the construction, and will endeavor to guard the City against defects and deficiencies in the construction. The Technical Consultant may have authority to reject construction which does not conform to the Construction Documents and to

require additional inspection or testing of the construction in accordance with Articles 1.7 and 1.8;

3. Review and recommend approval of the DBM's Payment Requests;
4. Interpret matters concerning performance under and requirements of the Contract Documents on written request of the City. The Technical Consultant's response to these requests will be made with reasonable promptness and within any time limits agreed upon;
5. Analyze, recommend and assist in negotiations of Change Orders;
6. Conduct inspections to determine Substantial Completion and Final Acceptance;
7. Receive and forward to the City for the City's review and records written warranties and related documents required by the Contract Documents and assembled by the DBM.

### **ARTICLE 3 – CONTRACT TIME**

#### **3.**

##### **3.1. CONTRACT TIME**

- 3.1.1. Contract Time will be \_\_\_\_\_ days as indicated in the Notice to Proceed (NTP).
- 3.1.2. Contract Time will start with the Construction Notice to Proceed (NTP) and end with Substantial Completion. The City will issue a NTP letter establishing the mutually agreed upon NTP date for this Contract.
- 3.1.3. Failure on the part of the DBM to adhere to the Project Schedule may be the basis for termination of this Contract by the City.
- 3.1.4. Each GMP amendment to this Contract will establish a separate construction NTP date, Performance Period and Substantial Completion date for the entire Project. The Performance Period(s) may be sequential or may run concurrently.
- 3.1.5. The DBM agrees that it will commence performance of the Work and achieve Performance Periods and the Contract Time.
- 3.1.6. All of the times stated in this Article 3 will be subject to adjustment in accordance with Article 5.

##### **3.2. CONSTRUCTION SCHEDULE**

- 3.3. Each approved GMP proposal will include a Project Schedule as prescribed in Article 3.5 below with a Critical Path Method diagram construction schedule that will indicate the critical path activities and establish the Performance Period encompassed by the GMP. The DBM will maintain the construction schedule throughout the construction.

### 3.4. LIQUIDATED DAMAGES

The DBM understands that if Substantial Completion is not attained within the Contract Time as adjusted, the City will suffer damages, which are difficult to determine and accurately specify. The DBM agrees that if Substantial Completion is not attained within the Contract Time as adjusted, the DBM will pay as liquidated damages the amounts specified in Section 108.9 of the M.A.G. Standard Specifications, incorporated in this Contract by reference. These amounts may be adjusted depending on the anticipated or actual loss caused by the delay and the difficulty of proof of loss.

### 3.5. PROJECT SCHEDULE

**3.5.1.** The Project Schedule will be initially submitted at the start of this Contract as required by Article 1.3 and updated and maintained throughout the Contract Services. An updated Project Schedule will be part of the GMP amendment.

**3.5.2.** The Project Schedule will be revised as required by conditions and progress of the Contract Services, but the revisions will not relieve the DBM of its obligations to complete the Contract Services within the Contract Time(s), as these dates may be adjusted in accordance with the Contract Documents.

**3.5.3.** Updated Project Schedules will be submitted monthly to the City 5 days before the DBM's monthly payment Request.

1. The DBM will provide the City with a monthly status report with each Project Schedule detailing the progress of Construction, including whether (i) the construction is proceeding according to schedule, (ii) discrepancies, conflicts, or ambiguities exist in the Contract Documents that require resolution, and (iii) other items that require resolution so as not to jeopardize the ability to complete the construction as presented in the GMP and within the Contract Time(s).

2. With each Project Schedule submitted, the DBM will include a transmittal letter including the following:

- Description of problem tasks (referenced to field instructions, requests for information (RFIs), change order or claim numbers) as appropriate.
- Current and anticipated delays not resolved by approved change orders, including:
  - Cause of the delay
  - Corrective action and schedule adjustments to correct the delay
  - Known or potential impact of the delay on other activities, milestones, and the date of Substantial Completion
  - Changes in construction sequence
- Pending items and status including but not limited to:
  - Pending change orders
  - Time extension requests

- Other items
- Substantial Completion date status:
  - If ahead of schedule, the number of days ahead
  - If behind schedule, the number of days behind
- Other project or scheduling concerns.

**3.5.4.** The City's review of and response to the Project Schedule is only for general conformance with the scheduling requirements of the Contract Documents. The review will not relieve the DBM from compliance with the requirements of the Contract Documents or be construed as relieving the DBM of its complete and exclusive control over the means, methods, sequences and techniques of executing the Contract Services.

**3.5.5.** The Project Schedule will include a Critical Path Method diagram schedule that will show the sequence of activities, the interdependence of each activity and indicate the path of critical activities.

The Critical Path Method diagram schedule will be in days and indicate duration, earlier and latest start and finish dates, and float times for all activities except critical activities and will be presented in a time scaled graphical format for the Project as a whole.

1. The activities making up the schedule will be of sufficient detail to assure that adequate planning has been done for proper execution of the Work and provides an appropriate basis for monitoring and evaluating the progress of the Work.
2. The Critical Path Method diagram construction schedule will be based upon activities, which would coincide with the schedule of values.
3. The Critical Path Method diagram schedule will show all submittals associated with each Work activity and the review time for each submittal.
4. The schedule will show milestones, including milestones for City-furnished information, and will include activities for City-furnished equipment and furniture, if any, when those activities are interrelated with the DBM's activities.
5. The schedule will include a critical path activity that reflects anticipated rain delay during the performance of the Contract. The duration will reflect the average climatic range and usual industrial conditions prevailing in the locality of the Site. Weather data will be based on information provided by the National Weather Service or other approved source.

### **3.6. COST ESTIMATES**

Provisions pertaining to Cost Estimates may be found in the GMP Proposal, attached as Exhibit C.

### **3.7. CONSTRUCTION MANAGEMENT PLAN**

As a part of the Preconstruction Agreement the City has required the DBM to prepare a Construction Management Plan.

### **3.8. DESIGN SERVICES**

Design Services have been performed by the DBM in accordance with the Preconstruction Agreement.

## **ARTICLE 4 – CONTRACT PRICE**

4. The DBM agrees to do all Work for the design and construction of the improvements and to completely construct the improvements and install the material, as called for by this Contract free and clear of all claims, liens, and charges, in the manner and under the conditions specified within the time, or times, stated in the GMP, as may be amended from time to time, as stated in Exhibit C2, attached and by reference made a part of this Contract.

### **4.1. CONTRACT PRICE**

- 4.1.1. The Contract Price is the Guaranteed Maximum Price of \$22,853,327, as stated in detail in the GMP Proposal for Phase 1 attached as Exhibit C2.
- 4.1.2. The Contract Price is subject to adjustments made in accordance with Article 5.
- 4.1.3. The DBM will be responsible for payment of all State of Arizona and City of Scottsdale transaction privilege (sales) taxes due on construction income, whether or not these taxes are specifically separated in the bid amount.
- 4.1.4. Unless otherwise provided in the Contract Documents, the Contract Price is considered to include all sales, use, consumer and other taxes throughout the term of this Contract, whether or not yet effective or merely scheduled to go into effect.
- 4.1.5. The DBM must secure and maintain, during the life of the Contract, State of Arizona and City of Scottsdale Transaction Privilege (sales) Tax Licenses.

To obtain a State of Arizona Privilege (Sales) Tax License Application, please go to the following website:  
[http://www.revenue.state.az.us/ADOR\\_Forms/70-79/74-4002\\_fillable.pdf](http://www.revenue.state.az.us/ADOR_Forms/70-79/74-4002_fillable.pdf)

To obtain a City of Scottsdale Transaction (Sales) Tax License Application, please go to the following website:  
<http://www.scottsdaleaz.gov/taxes/salestax.asp>

### **4.2. RESPONSIBILITY FOR PRIVILEGE (SALES) TAXES**

The DBM is responsible for payment of all applicable State of Arizona and City of Scottsdale transaction privilege (sales) taxes due on construction income whether or not these taxes are specifically separated in the bid amount. The taxes are to be reported on either a progressive billing (accrual) basis or cash receipts basis,

depending on the method chosen at the time application was made for the Privilege (sales) Tax License.

City Privilege (sales) tax exemptions/deductions may be applicable to certain projects. The DBM is advised to consider this as it prepares its bid. Please review, in detail, Sections 415, 465, and 110 of the Scottsdale Revised City Code, Appendix C to determine if exemptions/deductions are applicable. For tax guidance, please reference the City Code and other tax resources at the following website:

<http://www.scottsdaleaz.gov/taxes/>

The State of Arizona has similar exemptions, please reference A.R.S. Title 42 at the following website:

<http://www.azleg.state.az.us/ArizonaRevisedStatutes.asp?Title=42>

For further questions regarding tax treatment, please contact the Arizona Department of Revenue at 602-255-2060 and the City of Scottsdale Tax & Audit Section at 480-312-2768.

#### **4.3. CONTINGENCIES AND ALLOWANCES**

Any Contingencies and Allowances as agreed upon between the City and the DBM will be as stated in the GMP.

#### **4.4. MARKUPS FOR CHANGES**

If the GMP requires an adjustment due to changes in the Work, the cost of these changes is determined by Article 5. The mark-ups that are to be allowed on these changes will be no greater than the mark-ups in the approved GMP, as stated in the Preconstruction Agreement.

#### **4.5. GUARANTEED MAXIMUM PRICE (GMP)**

**4.5.1.** At the end of the design phase or at a time determined by the City and as a part of the Work done under the Preconstruction Agreement, the City has requested the DBM to provide a GMP or series of GMPs if the DBM determines phased construction would be in the City's best interest. The approved GMP(s) is provided in Exhibit C, attached to this Contract.

**4.5.2.** The DBM guarantees to bring the completion of the design and construction of the Project within the GMP or the DBM alone will be required to pay the difference between the actual cost and the GMP.

1. Any buy out savings of the DBM's GMP at the conclusion of the selection of Subcontractors may be used during construction by the City as a City Project Construction Contingency.
2. Any savings realized during construction must be incorporated into the construction of the Project to fund additional scope items or will be returned to the City upon the City's request.

**4.5.3.** The GMP is composed of the following not-to-exceed cost reimbursable or lump sum amounts defined below:

1. The Contractor's Cost of the Work is a negotiated cost and is a not-to-exceed amount defined by the individual work items and their associated negotiated unit prices as a part of the hard construction work as defined in Article 13. It includes direct labor costs, subcontract costs, design fees, costs of materials and equipment incorporated in the completed construction, costs of other materials and equipment, temporary facilities, building and licensing permit fees, materials testing, General Conditions, and warranty of the work together with self-performed work that the DBM established in the Sub-Contractor Selection Plan. The Cost of Work does not include the DBM's Construction Fee, taxes, bonds or insurance costs.
2. DBM Construction Fee is a negotiated percentage or fixed fee that is proposed by the DBM for the project as defined in Article 13. It is for additional services and management of the DBM Project.
3. The General Conditions Costs are a negotiated amount of project supervision and other indirect costs according to construction terms. These costs are not reflected in other GMP items. Costs may include, but are not limited to, the following: Project Manager, Superintendent, Full-time General Foremen, workers not included as direct labor costs engaged in support (e.g. loading/unloading, clean-up, etc.) and administrative office personnel. Other costs may include: temporary office, fencing and other facilities, office supplies, office equipment, minor expenses, utilities, vehicles, fuel, sanitary facilities, and telephone services at the site.
4. Bonds and Insurance are fixed percentages that will be applied to Cost of Work, and General Condition Costs as detailed in the GMP Proposal.
5. Taxes include all sales, use, consumer and other taxes which are legally enacted when negotiations of the GMP were concluded, whether or not yet effective or merely scheduled to go into effect. Taxes are actual costs and are a not-to-exceed reimbursable amount.
6. Indirect Costs include DBM Construction Fee, the DBM contractor management costs such as DBM staff, office space, phones, copiers, faxes, etc. and general requirements such as sweeping, temporary fencing, permitting, licensing, and inspections. The General Conditions, DBM Construction Fee, Payment and Performance Bonds, Insurance, taxes, and permitting and licensing fees equal the DBM Indirect Costs.
7. The City's Project Contingency is defined in Article 13. It is to be used at the sole discretion of the City to cover any increases in Project costs that result from City directed changes or unforeseen site conditions. The City's Project Contingency will be added to the GMP amount provided by the DBM, the sum of which will be the full contract price for construction. Markups for the Construction Fee and taxes will be applied by the DBM at the time that the City's Project Contingency is used.

8. The Total Cost of Work, plus the DBM Indirect Costs plus the City's Project Contingency equals the Total GMP.
9. The GMP is cumulative. The amount of any GMP amendment will be negotiated separately and will reflect the DBM's risk from that point forward in the Project.

#### **4.6. GMP PROPOSAL**

The GMP Proposal will be that as stated in the Preconstruction Agreement, on file in the offices of Capital Projects Management.

#### **4.7. GMP APPROVAL**

The approval of the GMP will be in accordance with the provisions of the Preconstruction Agreement, attached to this Contract as Exhibit B.

### **ARTICLE 5 - CHANGES TO THE CONTRACT PRICE AND TIME**

#### **5.**

##### **5.1. DELAYS IN THE WORK**

- 5.1.1. Delays may be compensable, concurrent, excusable or non-excusable, all as defined in Article 13.
- 5.1.2. If the DBM is delayed in the performance of the Work due to acts, omissions, conditions, events, or circumstances beyond its control and due to no fault of its own or those for whom the DBM is responsible, the Contract Times for performance may be reasonably extended by Change Order.
- 5.1.3. The DBM will request an increase in the Contract Time by written notice including an estimate of the probable effect of delay on progress of the Work. In the case of a continuing delay only one request is necessary.
  1. Written notice will be received within 14 days of the commencement of the cause of the delay.
  2. If written notice is received more than 14 days after commencement of the cause of the delay, the period of delay will be considered to commence 14 days before the giving of any notice.
- 5.1.4. By way of example and subject to the Force Majeure provisions of Article 11.8, events that may entitle the DBM to an extension of the Contract Time include acts or omissions of the City or anyone under the City's control (including separate contractors), Acts of God or public enemy, changes in the Work, Differing Site Conditions, Hazardous Conditions, unusual delay in transportation, and excessive inclement weather conditions not reasonably anticipated, war or



other national emergency making performance temporarily impossible or illegal, or strikes or labor disputes not brought about by any act or omission of the DBM.

- 5.1.5. If excessive inclement weather conditions are the basis for a request for additional Contract Time, these requests will be documented by data substantiating that weather conditions were abnormal for the period of time and could not have been reasonably anticipated, and that weather conditions had an adverse effect on the scheduled construction.
- 5.1.6. It is understood, however, that permitting the DBM to proceed to complete any Work, or any part of the Work, after the date to which the time of completion may have been extended, will in no way act as a waiver on the part of the City of any of its legal rights in this Contract.
- 5.1.7. In the event that the DBM sustains damages as a result of expenses incurred by a delay for which the City is responsible, the DBM and the City will negotiate to determine the amount of these damages. This provision is made in compliance with Arizona Revised Statutes § 34-609(E) and is effective only if the delay caused by the City is unreasonable under the circumstances and was not within the contemplation of the parties. This provision will not be construed in a way to void any provisions of the Pre-Construction Agreement pertaining to notice of delays, arbitration or other settlement provisions applicable to disputes or provisions relating to liquidated damages.
- 5.1.8. In addition to the DBM's right to a time extension for those events stated in this Article 5.1, the DBM may also be entitled to an appropriate adjustment of the Contract Price, provided, however, that the Contract Price will not be adjusted for those events stated in this Article that are beyond the control of both the DBM and the City, including the events of war, acts of terrorism, floods, labor disputes (but not including DBM's own work force and those of its subcontractors), earthquakes, epidemics, excessive inclement weather conditions not reasonably anticipated, and other Acts of God.

## **5.2. DIFFERING SITE CONDITIONS**

- 5.2.1. If the DBM encounters a Differing Site Condition(s), the DBM may be entitled to an adjustment in the Contract Price or Contract Time(s) to the extent the DBM's cost or time of performance are the direct result of a Differing Site Condition(s).
- 5.2.2. Upon encountering a Differing Site Condition, the DBM will provide prompt written notice to the City of the condition, which notice will not be later than 7 days after the condition has been encountered. The DBM must give the City's Contract Administrator written notice of and an opportunity to observe, such condition before disturbing or altering the Differing Site conditions. The failure of the DBM to give written notice and make the Claim as required by this Article and Article 7.1.5 shall constitute a waiver by the DBM of any rights arising out of or relating to such Differing Site Conditions. The DBM will, to the extent reasonably possible, provide notice before the Differing Site Condition has been substantially disturbed or altered. (Final costs must be submitted within thirty (30) days after notice is received by the City, unless extended by written agreement of the parties.)

- 5.2.3.** In order for the DBM to obtain any additional compensation or time extensions for Differing Site Conditions, the DBM must demonstrate that it encountered a material difference at the Site, as defined in Article 13, that required it to expend additional cost or time. The DBM will also establish that it actually and reasonably relied upon the representations found in the Contract Documents concerning the Site conditions.

### **5.3 APPLICATION FOR EXTENSION OF TIME**

- 5.3.1** If performance by the DBM is delayed for a reason set forth in Article 5, the DBM may be allowed a reasonable extension of time in conformance with this Article. Before the DBM's time extension request may be considered, the DBM shall notify the City of the condition which allegedly has caused or is causing the delay, and shall submit a written application to the City identifying:

1. Liquidated damage assessment rate, as specified in the Contract;
2. Original total GPM;
3. The original Contract start date and completion date;
4. Any previous time extensions granted (number and duration);
5. The extension of time requested.

- 5.3.2** In addition, the application for extension of time shall set forth in detail;

1. The nature of each alleged cause of delay in completing the Work; and
2. The date upon which each such cause of delay began and ended and the number of dates attributable to each such cause; and
3. A statement that the DBM waives all claims except for those delineated in the application, and the particulars of any claims which the DBM does not agree to waive. For time extensions for Substantial Completion and final completion payments, the application shall include a detailed statement of the dollar amounts of each claim item reserved; and
4. A statement indicating the DBM's understanding that the time extension is granted only for purposes of permitting continuation of Contract performance and payment for Work performed and that the City retains its right to conduct an investigation and assess liquidated damages as appropriate in the future.

### **5.4 ERRORS, DISCREPANCIES AND OMISSIONS**

- 5.4.1** If the DBM observes errors, discrepancies or omissions in the Contract Documents, it will promptly notify the City and arrange for clarification. The DBM will provide a copy of the notice to the City Contract Administrator.

- 5.4.2 If the DBM proceeds with the Work affected by the errors, discrepancies or omissions, without receiving any clarifications, it does so at its own risk. Adjustments involving these circumstances made by the DBM before receiving clarification will be at the DBM's risk.

## **5.5 THE CITY REQUESTED CHANGE IN WORK**

- 5.5.1 The City reserves the right to make, at any time during the progress of the Work, any alterations as may be found necessary or desirable.
- 5.5.2 Any alterations and changes will not invalidate this Contract nor release the surety, and the DBM agrees to perform the Work as altered, in the same manner as if it has been a part of the original Contract Documents. The DBM will notify the surety of the changes and will assure that the alterations and changes are adequately covered by the surety bond.
- 5.5.3 Upon receipt of a request for Change in Work, the DBM will prepare a proposal in significant detail, using the rates and markups established in the Contract Documents as a basis of the Contract Price adjustment. The DBM's proposal will include a detailed description of any schedule impact.
- 5.5.4 Legal Requirements: The Contract Price or Contract Times will be adjusted to compensate the DBM for the effects of any changes in the Legal Requirements enacted after the date of the Contract or the date of the GMP affecting the performance of the Work.

## **5.6 CHANGE ORDERS**

- 5.6.1 In accordance with Scottsdale Revised Code § 2-200 and any related Rules and Procedures, the City and the DBM will negotiate in good faith and as expeditiously as possible the appropriate adjustments for a Change Order. Upon reaching an agreement, the parties will prepare and execute an appropriate Change Order reflecting the terms of the adjustment. The change in Work may or may not include an adjustment in the Contract Price or Contract Time.
- 5.6.2 All changes in Work authorized by Change Orders will be performed under the conditions of the Contract Documents. The decision to issue Change Orders rests solely with the City and any decision to issue a Change Order must be promptly complied with by the DBM, subject to the provisions of Article 5.4. The Contract Administrator has the authority to authorize Change Orders up to the limits permitted by the City's Procurement Code.
- 5.6.3 The execution of a Change Order by the DBM shall constitute conclusive evidence of the DBM's agreement to the ordered changes in work, this Contract as thus amended, the Contract Price, and the time for performance by the DBM. The DBM, by executing the Change Order, waives and forever releases any claim against the City for any additional time or compensation for matters relating to, arising out of, or resulting from the work included within or affected by the executed Change Order of which the DBM knew or should have known.

**5.7 UNILATERAL DETERMINATION OF CHANGE ORDER VALUE**

If no mutual agreement occurs between the City and the DBM, the change in Contract Price, if any, shall be derived by determining the reasonable actual costs incurred or savings achieved, resulting from revisions to the Work. Such reasonable actual costs or savings shall include a component for direct job site overhead and profit, but shall not include home-office overhead or other indirect costs and components. The calculation of actual costs shall conform to the markup schedule in Article 5.11.2 below. Any such costs or savings shall be documented in the format and with such content and detail as the City requires. The DBM shall promptly submit such documentation and other backup as the City may require in evaluating the actual costs incurred.

**5.8 ADDITIONAL CHANGE ORDER COST REQUIREMENTS**

DBM's or Subcontractor's submittals shall include the cost of materials, sales tax, and the cost of all transport. The cost of items listed shall be directly related to the Change Order. Indirect costs not specifically related to the Change Order shall not be considered. DBM's or Subcontractor's Direct Labor Costs shall be limited to the hourly rate of directly involved workmen, employer contributions toward DBM standard benefits, pensions, unemployment or social security (if any), and employer costs for paid sick and annual leave. DBM's or Subcontractor's Overhead shall include license fees, bond premiums, supervision, wages of timekeepers and clerks, incidentals, home and field office expense, and vehicle expense directly related to the Project, and all other direct Project expenses not included in the DBM's material, direct labor, and equipment costs.

**5.8.1** The allowance for overhead and profit shall be limited to the following schedule:

1. For the DBM, for any work performed by the DBM's own forces, fifteen (15%) percent of the Subtotal of Costs to the DBM.
2. For the DBM, for any work performed by his Subcontractor, six (6%) percent of the amount due to the Subcontractor.
3. For each Subcontractor or Sub-subcontractor involved, for any work performed by their own forces, fifteen (15%) of their materials and direct labor costs.
4. For each Subcontractor, for work performed by his Sub-Subcontractor(s), six (6%) percent of the amount due to the Sub-subcontractor.

**5.9 LIMITATION OF COMPENSABLE ITEMS**

**5.9.1** For Change Orders, the total cost or credit to the City shall be based on the following schedule:

1. DBM's Materials Costs.
2. DBM's Direct Labor Costs.

3. DBM's Equipment Costs (includes owned/rented equipment).
4. Applicable Subcontractor Costs.
5. Subtotal of Costs to the DBM.
6. DBM's Overhead and Profit.
7. Total Cost or Credit to the City.

## **5.10 FIELD ORDERS**

- 5.10.1** The City has authority to initiate Field Orders that do not materially and adversely affect the Work, including the design, quality, performance and workmanship required by the Contract Documents. Field Orders will be imposed by written order and will be binding on the City and the DBM. The DBM will carry out the written orders promptly.
- 5.10.2** Field Orders will not involve an adjustment in the Contract Price or Contract Times unless or until an adjustment becomes a Change Order.
- 5.10.3** The DBM may make minor changes in Work; provided, however that the DBM will promptly inform the City, in writing, of any changes and record the changes, if appropriate, on the Project Record Documents maintained by the DBM.

## **5.11 CONTRACT PRICE ADJUSTMENTS**

- 5.11.1** The increase or decrease in Contract Price resulting from a Change in the Work will be determined by one or more of the following methods:
1. Unit prices stated in the Agreement or as subsequently agreed to between the parties;
  2. A mutually agreed upon and accepted lump sum, properly itemized and supported by sufficient substantiating data to permit evaluation by the City; and
  3. Costs, fees and any other markups.
- 5.11.2** The markups that will be allowed on these changes will be no greater than the markups outlined in the approved GMP as shown on Exhibit C.
- 5.11.3** If an increase or decrease cannot be agreed to as stated in Article 5.6.1.(1) through 5.6.1.(3) above, the cost of the Change of the Work will be determined by the reasonable expense and savings in the performance of the Work resulting from the change, including a reasonable overhead and profit. The DBM will maintain a documented, itemized accounting evidencing the expenses and savings associated with these changes.
- 5.11.4** If unit prices are included in the Contract Documents or are subsequently agreed to by the parties, but application of the unit prices will cause substantial inequity

to the City or the DBM because of differences in the character or quantity of the unit items as originally contemplated, the unit prices will be equitably adjusted.

**5.11.5** If the City and DBM disagree upon the amount to be paid, whether the DBM is entitled to be paid for any services required by the City the amount to be paid, other disagreements over the Scope of Work, proposed changes to the Work, or the time required to complete the work, the City and the DBM will resolve the disagreement in compliance with Article 7 of this Contract.

1. As part of the negotiation process, the DBM will furnish the City with a good faith estimate of the costs to perform the disputed services or the additional time required in accordance with the City's interpretations.
2. If the parties are unable to agree and the City expects the DBM to perform the services in accordance with the City's interpretations, the DBM will proceed to perform the disputed services, conditioned upon the City issuing a written order to the DBM (i) directing the DBM to proceed and (ii) specifying the City's interpretation of the services that are to be performed.

**5.11.6** Emergencies: In any emergency affecting the safety of persons or property, the DBM will act, at its discretion, to prevent threatened damage, injury or loss. Any change in the Contract Price or Contract Time(s) resulting from emergency work will be determined as provided in this Article 5.

## **ARTICLE 6 – PROCEDURE FOR PAYMENT**

**6.** For and in consideration of the faithful performance of the Work required to be done in the Contract Documents, and in accordance with the directions of the City to its satisfaction, the City agrees to pay the DBM the actual Cost of the Work and any applicable costs for general conditions, insurance, bonding, and taxes, but no more than the GMP as adjusted by any Change Orders or Contract Modifications. Payment for the specific Work under this Contract will be made in accordance with payment provisions of this Article 6.

### **6.1. GMP PAYMENT REQUEST**

**6.1.1.** At the Pre-construction conference described in Article 1.3, the DBM will submit for the City's review and approval a Schedule of Values. The Schedule of Values will be based on bids accepted from successful Subcontractors, include values for all items, including professional fees, cost of construction, indirect costs, and the construction fee, that comprise the GMP or the City allowances, and serve as the basis for monthly progress payments made to the DBM throughout the Work.

**6.1.2.** The DBM will pay all sums due to Subcontractors or Suppliers for services or materials within 7 calendar days after the DBM has received payment from the City.

**6.1.3.** At least 5 working days before the date established for a Construction Payment Request, the DBM will submit an updated Project Schedule and meet with the Construction Administration Supervisor to review the progress of the construction, as it will be reflected on the Construction Payment Request. The

DBM Payment Request will constitute the DBM's representation that the Work has been performed consistent with the Contract Documents, has progressed to the point indicated in the DBM Payment Request, and that title to all Work will pass to the City free and clear of all claims, liens, encumbrances, and security interests upon incorporation of the Work into the Project.

- 6.1.4.** The DBM Payment Request may request payment for equipment and materials not yet incorporated into the Project if construction progress is in reasonable conformance with the approved schedule.
1. For equipment and materials properly stored at the Site, the equipment and materials will be protected by suitable insurance, and the City will receive the equipment and materials free and clear of all liens and encumbrances.
  2. For materials and equipment stored off the Site, the City must approve the storage. The material and equipment must be stored within Maricopa County and be accessible for the City's inspection. Title to the materials and equipment must protect the City's interest and will include applicable insurance, bonding, storage and transportation to the Site.
  3. The City will be named as an Additional Insured on all insurance required for stored materials or equipment.
- 6.1.5.** The DBM will submit Payment Requests in a format acceptable to the City on dates established by the City and the DBM. This submittal will include, as a minimum, a narrative description of the tasks accomplished during the billing period, a listing of any deliverables submitted, and the Subcontractors' actual request for payment plus similar narrative and listing of their work.
- 6.1.6.** Payment for services negotiated as a fixed unit price will be made in accordance with actual measured quantities completed during the preceding month as itemized on the Schedule of Values and stated in Exhibit C. Payments for these services negotiated as a lump sum will be made in accordance with the percentage of the services completed during the preceding month as itemized on the Schedule of Values in Exhibit C. Those services negotiated, as a not-to-exceed fee will be paid in accordance with the actual costs of the service expended during the preceding month. The City will review payment requests and make recommendations for approval or denial within 7 calendar days after the City's receipt of each properly submitted and accurate Construction Payment Request, but in each case less the total of payments previously made, and less amounts properly withheld as retention under Article 6.2.3. Payment Requests will be considered approved and certified for payment after 7 days unless before that time, the Contract Administrator issues a specific finding setting forth in detail those items in the Request for Payment that are not approved for payment.
- 6.1.7.** The DBM agrees at its own proper cost and expense, to do all construction, as called for by this Contract free and clear of all claims, liens, and charges whatsoever, in the manner and under the conditions specified within the time, or times, stated in this Contract.

- 6.1.8. The Schedule of Values will be submitted as prescribed in this Contract, and subject to adjustment in accordance to this Contract and will serve as the basis for monthly progress payments made to the DBM throughout the construction.
- 6.1.9. The DBM will submit to the City on the monthly anniversary of the construction NTP date beginning with the first month after the construction NTP date the "Construction Payment Request".
- 6.1.10. All bonds and insurance required for stored materials will be in the City's name.

**6.2. PAYMENT OF GMP**

- 6.2.1. The City will make payment in accordance with A.R.S. § 34-609. Payment will be made no later than 14 days after the DBM's Payment Request is certified and approved by the City's Contract Administrator, less amounts properly retained under Article 6.2.3 below. The DBM will pay all sums due to the Subcontractors and Suppliers for services and materials within 7 days after the DBM has received payment from the City.
- 6.2.2. The City will pay the DBM all amounts properly due. If the City determines that the DBM is not entitled to all or part of a DBM's Payment Request, it will notify the DBM in writing within 7 days after the date the DBM Payment Request is received by the City. The notice will indicate the specific amounts the City intends to withhold, the reasons and contractual basis for the withholding, and the specific measures the DBM must take to rectify the City's concerns. The DBM and the City will attempt to resolve the City's concerns. If the parties cannot resolve these concerns, the DBM may pursue its rights under the Contract Documents, including those under Article 7 of this Contract.
- 6.2.3. Retention of Progress Payments.
  - 1. The City will retain 10% of each DBM Payment Request amount, provided, however, that when 50% of the Work has been completed by the DBM, on DBM's request one-half of the amount retained, including any substituted securities, will be paid to the DBM if the DBM is making satisfactory progress on the Contract, and there is no specific cause or claim requiring a greater amount to be retained. After the Contract is 50% completed, no more than 5% of the amount of any subsequent progress payments may be retained if the DBM is making satisfactory progress on the Contract. If, however, the City determines that satisfactory progress is not being made on the Contract, the City may reinstate the 10% retention for all remaining progress payments.
  - 2. In lieu of retention, the DBM may provide an assignment of time certificates of deposit (CDs) from a bank licensed by the State of Arizona, securities guaranteed by the United States, securities of the United States, the State of Arizona, Arizona counties, Arizona municipalities, and Arizona school districts, or shares of savings and loan institutions authorized to transact business in Arizona. Securities deposited in lieu of retention must be deposited into a separate account with a bank having a branch located in the City of Scottsdale. CDs and Securities will be assigned exclusively for the



benefit of the City of Scottsdale in accordance with the City's form of Retainage Escrow Agreement.

### 6.3. SUBSTANTIAL COMPLETION

- 6.3.1. Substantial Completion will be for the entire Project unless a partial Substantial Completion is identified in the approved GMP schedule and stated in the Notice to Proceed (NTP) letter. Substantial Completion will be in accordance with its definition in Article 13, and with the criteria in the Notice to Proceed.
- 6.3.2. Before notifying the City in accordance to Article 6.3.3 below, the DBM will inspect the Work and prepare and submit to the City a comprehensive list of items to be completed or corrected. The DBM will proceed promptly to complete and correct items on the list. Failure to include an item on the list does not alter the responsibility of the DBM to complete all Work in accordance with the Contract Documents.
- 6.3.3. The DBM will notify the City when it believes the Work, or to the extent permitted in the Contract Documents, a portion of the Work, is substantially complete.
- 6.3.4. Within 5 days of the City's receipt of the DBM's notice, the City and the DBM will jointly inspect the Work to verify that it is substantially complete in accordance with the requirements of the Contract Documents.
- 6.3.5. If the Work is substantially complete, the City will prepare and issue a Certificate of Substantial Completion that will state (i) the date of Substantial Completion of the Work or portion of the Work, (ii) the remaining items of Work that have to be completed within 30 calendar days before Final Acceptance, (iii) provisions (to the extent not already provided in the Contract Documents) establishing the City's and the DBM's responsibility for the Project's security, maintenance, utilities and insurance pending Final Acceptance and (iv) an acknowledgment that warranties commence to run on the date of Substantial Completion, except as may otherwise be noted in the Certificate of Substantial Completion.
- 6.3.6. The City, at its option, may use a portion of the Work which has been determined to be substantially complete, provided, however, that (i) a Certificate of Substantial Completion has been issued for the portion of Work addressing the items in Article 6.3.5 above, (ii) the DBM and the City have obtained the consent of their sureties and insurers, and to the extent applicable, the appropriate government authorities having jurisdiction over the Project, and (iii) the City and DBM agree that the City's use or occupancy will not interfere with the DBM's completion of the remaining Work.
- 6.3.7. **Punch List Preparation:** A minimum of 30 days before Substantial Completion the DBM, in conjunction with the City, will prepare a comprehensive list of Punch List items, which the City may edit and supplement. The DBM will proceed promptly to complete and correct the Punch List items. Failure to include an item on the Punch List does not alter the responsibility of the DBM to complete all Work in accordance with the Contract Documents. Warranties required by the Contract Documents will not begin until the date of Final Acceptance unless otherwise provided in the Contract Documents. Seven (7) days before the City

issues its Final Acceptance Letter, the DBM will deliver to the City all Operation and Maintenance Manuals necessary for the City to assume responsibility for the operation and maintenance of that portion of the Work.

**6.3.8.** Upon Substantial Completion of the entire Work or, if applicable, any portion of the Work, the City will release to the DBM all retained amounts relating, as applicable, to the entire Work or completed portion of the Work, not to exceed two and one half times (2.5) the reasonable value of all remaining or incomplete items of Work as noted in the Certificate of Substantial Completion.

**6.3.9. Final Acceptance:** Upon receipt of written notice that the Work or identified portions of the Work are ready for final inspection and acceptance, the City and DBM will jointly inspect to verify that the remaining items of Work have been completed as described in Article 6.3.5, including items on the Punch List. Upon verification that the items have been satisfactorily completed, the City will issue a Final Acceptance Letter.

#### **6.4. FINAL PAYMENT**

**6.4.1.** After receipt of a final payment request from the DBM, and provided that the DBM has completed all of the Work in conformance with the Contract Documents the City will make final payment 14 days after the City has issued its Final Acceptance Letter.

**6.4.2.** At the time of submission of its final DBM Payment Request, the DBM will provide the following information:

1. An affidavit that there are no claims, obligations or liens outstanding or unsatisfied for labor, services, material, equipment, taxes or other items performed, furnished or incurred for or in connection with the Work which will in any way affect the City's interests;
2. A general release executed by the DBM waiving, upon receipt of final payment by the DBM, all claims, except those claims previously made in writing to the City and remaining unsettled at the time of final payment; and
3. Consent of the DBM's surety, if any, to final payment.

#### **6.5. EXTENSION OF TIME FOR FINAL PERFORMANCE**

In the event the DBM is delayed in performing any task, which at the time of the delay is then critical, or which during the delay becomes critical, as the sole and exclusive result of any act or omission by the City, or someone acting on the City's behalf, or by City authorized Change Orders, unusually severe weather not reasonably anticipatable, fire, or other Acts of God, occurring without the fault or negligence of the DBM, the date for achieving Substantial Completion, or, as applicable, final completion, will be appropriately adjusted by the City upon the written claim of the DBM to the City filed in full compliance with the Contract Documents. A task is critical within the meaning of this Article if the task is on the critical path of the most recently approved Progress Schedule so that a Delay in performing the task will Delay the ultimate completion of the Project. ANY CLAIM FOR AN EXTENSION OF TIME BY THE DBM MUST STRICTLY COMPLY

WITH THE REQUIREMENTS OF ARTICLE 7 BELOW. IF THE DBM FAILS TO MAKE SUCH CLAIM AS REQUIRED IN THIS ARTICLE, ANY CLAIM FOR AN EXTENSION WILL BE WAIVED AND SHALL BE DISMISSED.

**6.6. PAYMENTS TO SUBCONTRACTORS OR SUPPLIERS**

**6.6.1.** The DBM will pay its Subcontractors or Suppliers within 7 calendar days after receipt of each progress payment from the City unless otherwise agreed by the DBM and the Subcontractor or Supplier. The DBM will pay for the amount of Work performed or materials supplied by each Subcontractor or Supplier as accepted and approved by the City with each progress payment. In addition, any reduction of retention by the City to the DBM will result in a corresponding reduction to Subcontractors or Suppliers who have performed satisfactory work. The DBM will pay Subcontractors or Suppliers the reduced retention within 7 calendar days of the payment of the reduction of the retention to the DBM. No Contract between the DBM and its Subcontractors and Suppliers may materially alter the rights of any Subcontractor or Supplier to receive prompt payment and retention reduction in this Contract.

**6.6.2.** If the DBM fails to make payments in accordance with these provisions, the City may take any of one or more of the following actions, and the DBM agrees that the City may take these actions:

1. Hold the DBM in default under this Contract;
2. Withhold future payments including retention until proper payment has been made to Subcontractors or Suppliers in accordance with these provisions;
3. Reject all future offers to perform work for the City from the DBM for a period not to exceed 1 year from Substantial Completion date of this Project; or
4. Terminate this Contract.

**6.6.3.** If the DBM's payment to a Subcontractor or Supplier is in dispute, the DBM and Subcontractor or Supplier agree to submit the dispute to any of the following dispute resolution processes within 14 calendar days from the date any party gives notice to the other: (a) binding arbitration; (b) a form of alternative dispute resolution (ADR) agreeable to all parties, or (c) a City of Scottsdale facilitated mediation. When the disputed claim is resolved through ADR or otherwise, the DBM and Subcontractor or Supplier agree to implement the resolution within 7 calendar days from the resolution date.

**6.6.4.** Should the City fail or delay in exercising or enforcing any right, power, privilege, or remedy under this Article, this failure or delay will not be considered a waiver, release or modification of the requirement of this Article or of any of the terms or provisions of this Contract.

**6.6.5.** The DBM will include these prompt payment provisions in every subcontract, including procurement of materials and leases of equipment for this Agreement.

## **6.7. RECORD KEEPING AND FINANCE CONTROLS**

**6.7.1.** Records of the DBM's direct personnel payroll, reimbursable expenses pertaining to this Project and records of accounts between the City and the DBM will be kept on a generally recognized accounting basis. From the effective date of this Contract and until 3 years after the date of final payment by the City of Scottsdale to the DBM, the City, its authorized representative, or the appropriate federal or state agencies, reserve the right to audit the DBM's records to verify the accuracy and appropriateness of all pricing data, including data used to negotiate Contract Documents and any Change Orders or Contract Modifications. The City of Scottsdale or its authorized representative will have access, during normal working hours, to all necessary DBM and Subcontractor facilities, and will be provided adequate and appropriate workspace, in order to conduct audits in compliance with the provisions of this Article. The City of Scottsdale will give the DBM or Subcontractor reasonable advance notice of intended audits.

The City reserves the right to decrease the Contract Price or payments made on this Contract if, upon audit of the DBM's records, the audit discloses the DBM has provided false, misleading, or inaccurate cost and pricing data.

**6.7.2.** The DBM will include similar provisions in all of its agreements with Subconsultants and Subcontractors providing services under the Contract Documents to ensure the City, its authorized representative, or the appropriate federal or state agencies, have access to the Subconsultants' and Subcontractors' records to verify the accuracy of cost and pricing data.

**6.7.3.** The City reserves the right to decrease the Contract Price or payments made on this Contract if the above provision is not included in Subconsultant's and Subcontractor's contracts, and one or more Subconsultants or Subcontractors do not allow the City to audit their records to verify the accuracy and appropriateness of pricing data.

**6.7.4.** If an audit discloses overcharges, of any nature, by the DBM to the City in excess of 1% of the total contract billings, the actual cost of the City's audit will be reimbursed to the City by the DBM. Any adjustments or payments which must be made as a result of any audit or inspection of the DBM's invoices or records will be made within a reasonable amount of time (not to exceed 90 days) from presentation of the City's findings to the DBM. This audit provision includes the right to inspect personnel records as required by Article 11.36.

## **ARTICLE 7 – CLAIMS AND DISPUTES**

### **7.**

#### **7.1. REQUESTS FOR CONTRACT ADJUSTMENTS AND RELIEF**

**7.1.1.** If either the DBM or the City believes that it is entitled to relief against the other for any event arising out of or related to the Work, the party will provide written notice to the other party of the basis for its claim for relief. The claims shall set

forth in detail all known facts and circumstances supporting the claim; final costs associated with any claim upon which notice has been given must be submitted in writing to the City within thirty (30) days after notice has been received.

- 7.1.2. The notice will, if possible, be made before incurring any cost or expense and in accordance with any specific notice requirements contained in applicable Articles of this Contract.
- 7.1.3. Written notice will be given within a reasonable time, not to exceed (ten) (10) calendar days, after the occurrence creating the claim for relief or after the claiming party reasonably should have recognized the event or condition creating the request, whichever is later.
- 7.1.4. Notice will include sufficient information to advise the other party of the circumstances creating the claim for relief, the specific contractual adjustment or relief requested and the basis of the request. ANY NOTICE OF CLAIM NOT FILED WITH THE CITY WITHIN SUCH TIME AND IN COMPLIANCE WITH THE PRECEEDING PROVISIONS SHALL BE CONSIDERED TO HAVE BEEN WAIVED AND SHALL BE DISMISSED.
- 7.1.5. In the event the Contractor seeks to make a claim for an increase in the Contract Price, as a condition precedent to any liability of the City therefore, unless emergency conditions exist, the DBM shall strictly comply with the requirements of this section and such claim shall be made by the DBM before proceeding to execute any work for which a claim is made. Failure to comply with this condition precedent shall constitute a waiver by the DBM of any claims for compensation.
- 7.1.6. The DBM must continue its performance under this contract regardless of the existence of any claims by the DBM.
- 7.1.7. In a claim by the DBM against the City for compensation in excess of the Contract sum, any liability of the City to the DBM shall be strictly limited and computed in accordance with the Contract documents and shall in no event include indirect costs (such as home office overheads or consequential damages of the DBM or any estimated costs or damages).

## **7.2. DISPUTE AVOIDANCE AND RESOLUTION**

- 7.2.1. The parties are fully committed to working with each other throughout the Project and agree to communicate regularly with each other at all times so as to avoid or minimize disputes or disagreements. If disputes or disagreements do arise, the DBM and the City each commit to resolving their disputes or disagreements in an amicable, professional and expeditious manner so as to avoid unnecessary losses, delays and disruptions to the Work.
- 7.2.2. The DBM and the City will first attempt to resolve disputes or disagreements at the field level through discussions between the DBM's Representative and the Contract Administrator.
- 7.2.3. If a dispute or disagreement cannot be resolved through the DBM's Representative and Contract Administrator, the DBM's Senior Representative

and the City's Senior Representative, upon the request of either party, will meet as soon as conveniently possible, but in no case later than 30 days after the request is made, to attempt to resolve the dispute or disagreement.

**7.2.4.** Before any meetings between the Senior Representatives, the parties will exchange relevant information that will assist the parties in resolving their dispute or disagreement. Should the Parties' Senior Representatives be unable to resolve the dispute or disagreement, either Party may file an action in the Maricopa County Superior Court.

**7.2.5.** Duty to Continue Performance. Unless provided to the contrary in the Contract Documents, the DBM will continue to perform the Work and the City will continue to satisfy its payment obligations to the DBM pending the final resolution of any dispute or disagreement between the DBM and the City.

### **7.3. REPRESENTATIVES OF THE PARTIES**

**7.3.1.** Contract Administrator, Senior Representative, and Construction Administration Supervisor.

1. The City designates the individual listed below as its Senior Representative ("The City's Senior Representative"), which individual has the authority and responsibility for avoiding and resolving disputes under Article 7.2.3:

Dave Lipinski, City Engineer  
Capital Project Management  
7447 E. Indian School Road, Suite 205  
Scottsdale, Arizona 85251

The City designates the individual listed below as its Contract Administrator, which individual has the authority and responsibility set forth in Article 7.2.2:

Anna Leyva, Contract Administrator  
Capital Project Management  
7447 E. Indian School Road, Suite 205  
Scottsdale, Arizona 85251

The City designates the individual listed below as its Construction Administration Supervisor, which individual has the responsibilities described in Article 13 and as authorized by the Contract Administrator:

Joe Mannino, Construction Administration Supervisor  
Capital Projects Management  
7447 E. Indian School Road, Suite 205  
Scottsdale, Arizona 85251

**7.3.2.** DBM's Representatives.

1. The DBM designates the individual listed below as its Senior Representative ("The DBM's Senior Representative"), which individual has the authority and responsibility for avoiding and resolving disputes under Article 7.2.3:

Chris Willis, Project Executive  
Hunt Construction Group, Inc., Inc.  
7720 North 16th Street, Suite 100  
Phoenix, AZ 85020

2. The DBM designates the individual listed below as its DBM's Representative, which individual has the authority and responsibility set forth in Article 7.2.2:

Martin Sanchez, Senior Project Manager  
Hunt Construction Group, Inc  
7720 North 16<sup>th</sup> Street, Suite 100  
Phoenix, AZ 85020

## **ARTICLE 8 – SUSPENSION, TERMINATION AND CANCELLATION**

### **8.**

#### **8.1. THE CITY'S RIGHT TO STOP WORK**

- 8.1.1. The City may, at its discretion and without cause, order the DBM in writing to stop and suspend the Work. Immediately after receiving this notice, the DBM will discontinue advancing the Work specified under this Contract. The suspension may not exceed 180 consecutive days.
- 8.1.2. The DBM may seek an adjustment of the Contract Price or Contract Time if its cost or time to perform the Work has been adversely impacted by any suspension or stoppage of the Work by the City.
- 8.1.3. If the City suspends the Work for 181 consecutive days or more, this suspension will be considered a termination of convenience.

#### **8.2. TERMINATION FOR CONVENIENCE**

- 8.2.1. Upon receipt of written notice to the DBM, the City has the right to terminate this Contract or abandon any portion of the Project for which services have not been performed by the DBM.
  1. The DBM will estimate the value of the Work it has completed and submit its appraisal to the City for evaluation. The City will have the right to inspect the Work to appraise the Work completed.
  2. The DBM will receive compensation for services performed to the date of any termination as stated in Article 6.4 of this Contract and the fee will be paid in accordance with Article 6.4.2 and will be an amount mutually agreed upon by the DBM and the City. If there is no mutual agreement, the final determination will be made in accordance with Article 7.
  3. The DBM will not be entitled to anticipated profit or anticipated overhead, but is entitled to recover apportioned profit and overhead proportional to the

amount of the Work completed. In no event will the fee exceed that stated in Article 6.1 of this Contract or as amended.

4. The City will make the final payment within 60 days after the DBM has delivered the last of the partially completed items and the final fee has been agreed upon.
5. If the City terminates this Contract in accordance with this Article and proceeds to design and construct the Project through its employees, agents or third parties, the City's rights to use the work product will be as stated in Article 8.4.5 of this Contract.

**8.2.2.** Upon termination during construction services, the DBM will proceed with the following obligations:

1. Stop Work as stated in the notice.
2. Place no further subcontracts or orders.
3. Terminate all subcontracts to the extent they relate to the work terminated.
4. Assign to the City all right, title and interest of the DBM under the subcontracts terminated, in which case the City will have the right to settle or to pay any termination settlement proposal arising out of those terminations.
5. Take any action that may be necessary for the protection and preservation of the property related to the contract that is in the possession of the DBM and which the City has or may acquire an interest.
6. Comply with the requirements of Article 6.4.2. (1), (2) and (3).

**8.2.3.** The DBM will submit complete termination inventory schedules no later than 60 days from the date of the notice of termination.

**8.2.4.** The City will pay the DBM the following:

1. The direct value of its completed Work and materials supplied as of the date of termination; and
2. The reasonable costs and expenses attributable to the termination; and
3. The DBM will be entitled to profit and overhead on completed Work only, but will not be entitled to anticipated profit or anticipated overhead. If it appears the DBM would have sustained a loss on the entire Work had the Project been completed, the DBM will not be allowed profit and the City will reduce the settlement to reflect the indicated rate of loss.

**8.2.5.** The DBM will maintain all records and documents for 3 years after final settlement. These records will be maintained and subject to auditing as prescribed in Article 6.6.



### **8.3. CANCELLATION FOR CAUSE**

**8.3.1.** The City may also cancel this Contract or any part of this Contract with 7 days' notice for cause in the event of any default by the DBM, or if the DBM fails to comply with any of the terms and conditions of this Contract. Unsatisfactory performance, despite a reasonable opportunity to cure, as judged by the Contract Administrator, and failure to provide the City, upon request with adequate assurances of future performance will all be causes allowing the City to cancel this Contract for cause. In the event of cancellation for cause, the City will not be liable to the DBM for any amount, and the DBM will be liable to the City for any and all damages sustained by reason of the default, which gave rise to the cancellation.

### **8.4. THE CITY'S RIGHT TO PERFORM AND CANCEL FOR CAUSE**

**8.4.1.** If the DBM persistently fails to (i) provide a sufficient number of skilled workers, (ii) supply the materials required by the Contract Documents, (iii) comply with applicable Legal Requirements, (iv) timely pay, without cause, Suppliers or Subcontractors, (v) prosecute the Work with promptness and diligence to ensure that the Work is completed by the Contract Time, as these times may be adjusted, or (vi) perform material obligations under the Contract Documents, then the City, in addition to any other rights and remedies provided in the Contract Documents or by law, will have the rights stated in Articles 8.4.3, 8.4.4 and 8.4.5 below.

In the event the DBM is in violation of any Federal, State, County or City law, regulation or ordinance, the City may cancel this Contract immediately upon giving notice to the DBM.

In the event the City cancels this Contract or any part of the services of this Contract, the City will notify the DBM in writing, and immediately upon receiving this notice, the DBM will discontinue advancing the Work under this Contract and proceed to close all operations.

**8.4.2.** If the City provides the DBM with a written order to correct deficiencies to provide adequate maintenance of traffic, adequate cleanup, adequate dust control, or to repair damage resulting from abnormal weather conditions, and the DBM fails to comply in the time frame specified, the City may have the Work accomplished by other sources at the DBM's expense.

**8.4.3.** Upon the occurrence of an event stated in Article 8.4.1 above, the City will provide written notice to the DBM that it intends to cancel the Contract unless the problem cited is cured, or commenced to be cured, within 7 days of the DBM's receipt of the notice.

1. If the DBM fails to cure, or undertake reasonable efforts to cure the problem, then the City will give a second written notice to the DBM of its intent to cancel within an additional 7 day period.
2. If the DBM, within this second 7 day period, fails to cure, or undertake reasonable efforts to cure the problem, then the City may declare the

Contract cancelled for cause by providing written notice to the DBM of the declaration.

- 8.4.4. Upon declaring the Contract cancelled in accordance with Article 8.4.3.(2) above, the City may enter upon the premises and take possession of all materials and equipment, for the purpose of completing the Work.
- 8.4.5. Upon termination, cancellation or abandonment, the DBM will deliver to the City all drawings, special provisions, field survey notes, reports, and estimates, entirely or partially completed, in any format, including but not limited to written or electronic media, together with all unused materials supplied by the City. Use of incomplete data will be the City's sole responsibility and at its sole risk.
- 8.4.6. The DBM will appraise the Work it has completed and submit its appraisal to the City for evaluation.
- 8.4.7. If through any cause, the DBM fails to fulfill in a timely and proper manner its obligations under this Contract, or if the DBM violates any of the covenants, Contracts, or stipulations of this Contract, the City may withhold any payments to the DBM for the purpose of setoff until the exact amount of damages due the City from the DBM is determined by a court of competent jurisdiction.
- 8.4.8. In the event of any cancellation, the DBM will not be entitled to receive any further payments under the Contract Documents for disputed work until the Work is finally completed in accordance with the Contract Documents. At that time, the DBM will only be entitled to be paid for Work performed and accepted by the City before its default.
- 8.4.9. If the City's cost and expense of completing the Work exceeds the unpaid balance of the Contract Price, then the DBM will be obligated to pay the difference to the City. These costs and expense will include not only the cost of completing the Work, but also losses, damages, costs and expense, including reasonable attorneys' fees and expenses, incurred by the City in connection with the procurement and defense of claims arising from the DBM's default.
- 8.4.10. If the City improperly cancels the Contract for cause, the cancellation for cause will be converted to a termination for convenience in accordance with the provisions of Article 8.2.

## **ARTICLE 9 – INSURANCE AND BONDS**

### **9.**

#### **9.1. INSURANCE REQUIREMENTS**

- 9.1.1. At the same time as execution of this Contract, the DBM will furnish the City of Scottsdale a certificate of insurance on a standard insurance industry ACORD form. The ACORD form must be issued by an insurance company authorized to transact business in the State of Arizona.

- 9.1.2. The DBM, Subcontractors and Subconsultants must procure and maintain, until all of their obligations have been discharged, including any warranty periods under this Contract are satisfied, insurance against claims for injury to persons or damage to property, which may arise from or in connection with the performance of the Work by the DBM, his agents, representatives, employees, or Subcontractors.
- 9.1.3. The insurance requirements are minimum requirements for this Contract and in no way limit the indemnity covenants contained in this Contract.
- 9.1.4. The City in no way warrants that the minimum limits contained in this Contract are sufficient to protect the DBM from liabilities that might arise out of the performance of the Contract services under this Contract by the DBM, his agents, representatives, employees, Subcontractors or Subconsultants, and the DBM is free to purchase any additional insurance as may be determined necessary. City of Scottsdale reserves the right to review any and all of the insurance policies and/or endorsements required by in this Contract but has no obligation to do so. Failure to demand any evidence of full compliance with the insurance requirements stated in this Contract or failure to identify any insurance deficiency does not relieve Contractor from, nor may it be construed or considered a waiver of, Contractor's obligation to maintain the required insurance at all times during the performance of this Contract.
- 9.1.5. Claims Made. In the event any insurance policies required by this Contract are written on a "claims made" basis, coverage shall continue uninterrupted throughout the term of this Contract by keeping coverage in force using the effective date of this Contract as the retroactive date on all "claims made" policies. The retroactive date for exclusion of claims must be on or before the effective date of this Contract, and can never be after the effective date of this Contract. Upon completion or termination of this Contract, the "claims made" coverage shall be extended for an additional three (3) years using the original retroactive date, either through purchasing an extended reporting option; or by continued renewal of the original insurance policies. Submission of annual Certificates of Insurance, citing the applicable coverages and provisions specified herein, shall continue for three (3) years past the completion or termination of this Contract.

## 9.2. MINIMUM SCOPE AND LIMITS OF INSURANCE

The DBM will provide coverage and with limits of liability not less than those stated below.

### 9.2.1. Commercial General Liability - Occurrence Form

**Commercial General Liability:** DBM must maintain "occurrence" form Commercial General Liability insurance with a limit of not less than \$2,000,000 for each occurrence, \$2,000,000 Products and Completed Operations Annual Aggregate, and a \$2,000,000 operations, independent contractors, products completed operations, personal injury and advertising injury. If any Excess insurance is utilized to fulfill the requirements of this paragraph, the Excess

insurance must be “follow form” equal or broader in coverage scope than underlying insurance.

**9.2.2. Automobile Liability - Any Auto or Owned, Hired and Non-Owned Vehicles**

**Vehicle Liability:** DBM must maintain Business/Automobile Liability insurance with a limit of \$1,000,000 each accident on DBM owned, hired, and non-owned vehicles assigned to or used in the performance of the DBM’s work or services under this Contract. If any Excess insurance is utilized to fulfill the requirements of this paragraph, the Excess insurance must be “follow form” equal or broader in coverage scope than underlying insurance.

**9.2.3. Workers’ Compensation and Employers Liability**

**Insurance:** DBM must maintain Workers Compensation insurance to cover obligations imposed by federal and state statutes having jurisdiction of DBM employees engaged in the performance of work or services under this Contract and must also maintain Employers’ Liability insurance of not less than \$500,000 for each accident, \$500,000 disease for each employee and \$1,000,000 disease policy limit.

**9.2.4. Professional Liability**

**Professional Liability:** If the Contract is the subject of any professional services or work performed by the DBM, or if the DBM engages in any professional services or work adjunct or residual to performing the work under this Contract, the DBM must maintain Professional Liability insurance covering errors and omissions arising out of the work or services performed by the DBM, or anyone employed by the DBM, or anyone whose acts, mistakes, errors and omissions the DBM is legally liable, with a liability limit of \$2,000,000 each claim and \$2,000,000 all claims. In the event the Professional Liability insurance policy is written on a “claims made” basis, coverage will extend for 3 years past completion and acceptance of the work or services, and the DBM, or its selected Design Professional will submit Certificates of Insurance as evidence the required coverage is in effect. The Design Professional must annually submit Certificates of Insurance citing that the applicable coverage is in force and contains the required provisions for a 3 year period.

If there is no Professional Liability work or service as a part of this Contract, the City will waive the Professional Liability insurance requirement in writing.

**9.2.5. Builders’ Risk Insurance (Course of Construction)** The DBM bears all responsibility for loss to all Work being performed and to buildings under construction. Unless waived in writing by the City of Scottsdale, the DBM will purchase and maintain in force Builders’ Risk-Installation insurance on the entire Work until completed and accepted by the City. This insurance will be Special Causes of Loss or Open Perils policy form for the, completed value at replacement cost equal to the GMP and all subsequent modifications. The DBM’s Builders’ Risk-Installation insurance must be primary and not contributory; and waive all rights of subrogation against the City of Scottsdale, its officer, officials and employees.

1. Builders' Risk-Installation insurance must name the City of Scottsdale, the DBM and all tiers of Subcontractors as Insureds as respects their insurable interest at the time of loss. It must contain a provision that this insurance will not be canceled or materially altered without at least 30 days advance notice to the City. The DBM is also required to give the City 30 days advance written notice of the coverage termination for this project. The City must also be named as a Loss Payee under Builders' Risk-Installation coverage.
2. Builders' Risk-Installation insurance must cover the entire Work including reasonable compensation for architects and engineers' services and expenses and other "soft costs" made necessary by an insured loss. Builders' Risk-Installation insurance must provide coverage from the time any covered property comes under the DBM's control and or responsibility, and continue without interruption during course of construction, renovation and or installation, including any time during which any project property or equipment is in transit, off site, or while on site for future use or installation. Insured property must include, but not be limited to, scaffolding, false work, and temporary buildings at the site. This insurance must also cover the cost of removing debris, including demolition as may be legally required by operation of any law, ordinance, regulation or code.
3. The DBM must also purchase and maintain Boiler and Machinery insurance with the same requirements as Builder's Risk-Installation insurance cited above if the Work to be performed involves any exposures or insurable property normally covered under a Boiler and Machinery insurance policy or made necessary as required by law or testing requirements in the performance of this Contract.

The DBM will be responsible for any and all deductibles under these policies and the DBM waives all rights of recovery and subrogation against the City under the DBM-provided Builders' Risk-Installation insurance described above.

4. The Builders' Risk insurance must be endorsed so that the insurance will not be canceled or lapse because of any partial use or occupancy by the City. Builders' Risk insurance must be maintained until whichever of the following first occurs: (i) final payment has been made; or, (ii) until no person or entity, other than the City, has an insurable interest in the property required to be covered.
5. All rights of subrogation are, by this Contract, waived against the City of Scottsdale, its officers, officials, agents and employees.

### **9.3. SELF-INSURED RETENTIONS**

- 9.3.1. Any self-insured retentions and deductibles must be declared and approved by the City. If not approved, the City may require that the insurer reduce or eliminate any self-insured retentions with respect to the City, its officers, officials, agents, employees, and volunteers.

**9.4. OTHER INSURANCE REQUIREMENTS**

The policies are to contain, or be endorsed to contain, the following provisions:

**9.4.1. Coverage Terms and Required Endorsements.**

1. The Commercial General Liability and Automobile Liability policies are to contain, or be endorsed to contain, the following provisions: The City, its officers, officials, agents, and employees are additional insureds with respect to liability arising out of activities performed by, or on behalf of, the DBM including the City's general supervision of the DBM; Products and Completed operations of the DBM; and automobiles owned, leased, hired, or borrowed by the DBM.
2. The DBM's Insurance must contain broad form contractual liability coverage and must not exclude liability arising out of explosion, collapse, or underground property damage hazards ("XCU") coverage.
3. The City, its officers, officials, agents, and employees must be additional insureds to the full limits of liability purchased by the DBM, even if those limits of liability are in excess of those required by this Contract.
4. The DBM's insurance coverage must be primary insurance with respect to the City, its officers, officials, agents, and employees. Any Insurance or self-insurance maintained by the City, its officers, officials, agents, and employees must be in excess of the coverage provided by the DBM and must not contribute to it.
5. The DBM's insurance must apply separately to each insured against whom claim is made or suit is brought, except with respect to the limits of the insurer's liability.
6. Coverage provided by the DBM must not be limited to the liability assumed under the indemnification provisions of this Contract.
7. The policies must contain a waiver of subrogation against the City, its officers, officials, agents, and employees for losses arising from Work performed by the DBM for the City.
8. The DBM, its successors and or assigns, are required to maintain Commercial General Liability insurance as specified in this Contract for a minimum period of 3 years following completion and acceptance of the Work. The DBM must submit a Certificate of Insurance evidencing Commercial General Liability insurance during this 3 year period containing all the Contract insurance requirements, including naming the City of Scottsdale, its agents, representatives, officers, directors, officials and employees as Additional Insured as required.
9. Workers' Compensation and Employers Liability Coverage: The insurer must agree to waive all rights of subrogation against the City, its officers,

officials, agents, employees, and volunteers for losses arising from Work performed by the DBM for the City.

**9.5. SUBCONSULTANT'S AND SUBCONTRACTOR'S INSURANCE**

If any work under this agreement is subcontracted in any way, DBM must execute a written agreement with its subcontractor containing the same or broader Indemnification Clause and Insurance Requirements stated in this Contract protecting City of Scottsdale and DBM. The DBM will be responsible for executing the agreement with Subcontractor and obtaining Certificates of Insurance verifying the insurance requirements. Unless the DBM's Subconsultants and Subcontractors can provide the insurance requirements same level of coverage as detailed in Article 9 and name the City and the DBM as Additional Insureds the DBM's insurance must extend its scope to cover Subcontractors and Subconsultants as excess insurance over the subconsultants or sub contractors in order to satisfy the total insurance limit requirement. . The DBM must maintain separate certificates and endorsements for each Subcontractor and Subconsultant

**9.6. NOTICE OF CANCELLATION**

If the DBM receives notice that any of the required policies of insurance are materially reduced or cancelled, it will be the DBM's responsibility to provide prompt notice to the Contract Administrator of same to the City, unless such coverage is immediately replaced with similar policies. Each insurance policy required by the insurance provisions of this Contract must provide the required coverage and must not be suspended, voided, canceled by either party, reduced in coverage or in limits except until after 30 days written notice has first been given, by certified mail, return receipt requested to:

The City of Scottsdale  
C/O CPM Contract Administrator 7447 E. Indian School Road, Suite Scottsdale,  
Arizona 85251

**9.7. ACCEPTABILITY OF INSURERS**

Insurance is to be placed with insurers duly licensed or approved unlicensed companies in the State of Arizona and with an A. M. Best's rating of no less than B++6. The City in no way warrants that the above required minimum insurer rating is sufficient to protect the DBM from potential insurer insolvency.

**9.8. VERIFICATION OF COVERAGE**

**9.8.1.** The DBM must furnish the City Certificates of Insurance (ACORD form or equivalent approved by the City) and with original endorsements effecting coverage as required by this Contract. The certificates and endorsements for each insurance policy are to be signed by a person authorized by that insurer to bind coverage on its behalf. Any policy endorsements that restrict or limit coverages must be clearly noted on the Certificate of Insurance.

**9.8.2.** All certificates and endorsements are to be received and approved by the City before Work commences except for Builders' Risk Insurance, which will be received and approved as provided in Article 9.2.5. Each insurance policy

required by this Contract must be in effect on or before the earlier of commencement of Work under the Contract Documents or the signing of this Contract. Failure to maintain the insurance policies as required by this Contract or to provide evidence of renewal is a material breach of this Contract.

- 9.8.3.** All certificates of insurance required by this Contract must be sent directly to the City of Scottsdale, Capital Project Management. **The project number and project description must be included on the Certificates of Insurance.** The City reserves the right to require complete, certified copies of all insurance policies required by this Contract, at any time.

## **9.9. APPROVAL**

Any modification or variation from the insurance requirements in this Contract must be approved by the Scottsdale Risk Management Office, whose decision is final. This action will not require a formal contract modification, but may be made by administrative action.

## **9.10. BONDS AND OTHER PERFORMANCE SECURITY**

- 9.10.1.** Before execution of this Contract, the DBM must provide a Performance Bond and a Payment Bond, each in an amount equal to the full amount of the GMP stated in this Contract. The form of the bonds must be in substantially the same form as Exhibits C and D, which are attached to this Contract.
- 9.10.2.** Each bond must be executed by a surety company or companies holding a Certificate of Authority to transact surety business in the State of Arizona, issued by the Director of the Arizona Department of Insurance. A copy of the Certificate of Authority must accompany the bonds. The Certificate must have been issued or updated within 2 years before the execution of this Contract.
- 9.10.3.** The bonds must be made payable and acceptable to the City of Scottsdale.
- 9.10.4.** The bonds must be written or countersigned by an authorized representative of the surety and the bonds must have attached a certified copy of the Power of Attorney of the signing official.
1. If 1 Power of Attorney is submitted, it must be for twice the total GMP amount.
  2. If 2 Powers of Attorney are submitted, each must be for the total GMP amount. Personal or individual bonds are not acceptable.
- 9.10.5.** Upon the request of any person or entity appearing to be a potential beneficiary of bonds covering payment of obligations arising under the Contract Documents, the DBM must promptly furnish a copy of the bonds or permit a copy to be made.
- 9.10.6.** All bonds submitted for this Project must be provided by a company which has been rated "A-or better" by the A.M. Best Company.



**ARTICLE 10 – INDEMNIFICATION****10.****10.1. THE DESIGN-BUILD MANAGER’S GENERAL INDEMNIFICATION**

To the fullest extent permitted by law, the DBM, its successors, assigns and guarantors, must defend, indemnify and hold harmless the City of Scottsdale, its agents, representatives, officers, directors, officials and employees from and against all allegations, demands, proceedings, suits, actions, claims, damages, losses, expenses, including but not limited to, reasonable attorney fees, court costs, and the cost of appellate proceedings, and all claim adjusting and handling expense, investigation and litigation, for bodily injury or personal injury (including death), or loss or damage to tangible or intangible property caused, or alleged to be caused, in whole or in part, related to, arising from or out of, or resulting from any acts, omissions, negligence, recklessness, or intentional wrongful conduct to the extent caused by the DBM or any of its owners, officers, directors, agents or employees performing Work or Services under this Contract, including but not limited to, any Subcontractor or anyone directly or indirectly employed by any of them or anyone for whose acts any of them may be liable and any injury or damages by any of the DBM employees. This indemnity includes any claim or amount arising out of, or recovered under, the Worker’s Compensation Law or arising out of the failure of the DBM to conform to any federal, state, or local law, statute, ordinance, rule, regulation, or court decree. It is the specific intention of the parties that the City shall, in all instances, except for Claims arising solely from the negligent or willful acts or omissions of the City, be indemnified by the DBM from and against any and all claims. It is agreed that the DBM will be responsible for primary investigation, defense, and judgment costs where this indemnification is applicable. In consideration of the award of this Contract, the DBM agrees to waive all rights of subrogation against the City, its officers, agents, representatives, directors, officials, and employees for losses arising from the work performed by the Architect for the City.

Insurance provisions in this Contract are separate and independent from the indemnity provisions of this Article and will not be construed in any way to limit the scope and magnitude of the indemnity provisions. The indemnity provisions of this Article will not be construed in any way to limit the scope and magnitude and applicability of the insurance provisions.

**10.2. INTELLECTUAL PROPERTY**

**10.2.1.** The DBM must pay all royalties and license fees associated with its performance of services.

**10.2.2.** The DBM must defend any action or proceeding brought against the City based on any claim that the Work, or any part of it, or the operation or use of the Work or any part of it, constitutes infringement of any United States patent or copyright, now or subsequently issued. The City will give prompt written notice to the DBM of any action or proceeding and will reasonably provide authority, information and assistance in the defense of any action or proceeding. The DBM will indemnify and hold harmless the City from and against all damages and costs, including but not limited to attorneys’ fees and expenses awarded against the City or the DBM in any action or proceeding. The DBM agrees to keep the City informed of all developments in the defense of these actions.

- 10.2.3.** If the City is enjoined from the operation or use of the Work, or any part of the Work, as the result of any patent or copyright suit, claim, or proceeding, the DBM must at its sole expense take reasonable steps to procure the right to operate or use the Work. If the DBM cannot so procure this right within a reasonable time, the DBM must promptly, at the DBM's option and at the DBM's expense, (i) modify the Work so as to avoid infringement of any patent or copyright or (ii) replace the Work with Work that does not infringe or violate any patent or copyright.
- 10.2.4.** Articles 10.2.2 and 10.2.3 above will not be applicable to any suit, claim or proceeding based on infringement or violation of a patent or copyright (i) relating solely to a particular process or product of a particular manufacturer specified by the City and not offered or recommended by the DBM to the City or (ii) arising from modifications to the Work by the City or its agents after acceptance of the Work.
- 10.2.5.** The obligations contained in this Article 10.2 will constitute the sole agreement between the parties relating to liability for infringement of violation of any patent or copyright.

## **ARTICLE 11 – GENERAL PROVISIONS**

### **11.**

#### **11.1. MARSHALING YARD**

The DBM is advised to contact the City of Scottsdale Development Services to determine the requirements for obtaining a permit for marshaling areas it proposes to use. Marshaling areas must be fenced. The DBM must obtain written approval from the property owner for marshaling area use. The approval must contain any requirements, which are a condition of this approval. Marshaling yard requirements according to M.A.G. Subsection 107.6.1 and City of Scottsdale Supplemental Specifications will apply.

#### **11.2. CONTRACT DOCUMENTS**

- 11.2.1.** Contract Documents are as defined in Article 13.
- 11.2.2.** The Contract Documents form the entire Contract between the City and the DBM. No oral representations or other contracts have been made by the parties except as specifically stated in the Contract Documents.
- 11.2.3.** In the event of any inconsistency, conflict, or ambiguity between or among the Contract Documents, the Contract Documents will take precedence in the order in which they are listed in the definition of Contract Documents in Article 13. As to drawings and plans, given dimensions will take precedence over scaled measurements, and large scale plans over small-scale plans. Contract specifications will take precedence over contract plans.

**11.2.4.** The Contract Documents are intended to permit the parties to complete the Work and all obligations required by the Contract Documents within the Contract Time(s) for the Contract Price. The Contract Documents are intended to be complementary and interpreted in harmony so as to avoid conflict, with words and phrases interpreted in a manner consistent with construction and design industry standards.

**11.2.5.** The Preconstruction Agreement, the Plans, Standard Specifications and Details, Special Provisions, Performance Bond, Payment Bond, Certificates of Insurance, Change Orders, and Contract Modifications (if any) are by reference made a part of this Contract.

**11.2.6.** Work Product.

1. All work products (electronically or manually generated) including but not limited to: cost estimates, studies, design analyses, original mylar drawings, Computer Aided Drafting and Design (CADD) file diskettes, and other related documents which are prepared or procured in the performance of this Contract (collectively referred to as documents) are to be and remain the property of the City and are to be delivered to the City before the final payment is made to the DBM. In the event these documents are altered, modified or adapted without the written consent of the DBM or the Subconsultants, which consent the DBM or the Subconsultants will not unreasonably withhold, the City agrees to hold the DBM and the Subcontractors harmless to the extent permitted by law from the legal liability arising out of the City's alteration, modification or adoption of the documents.
2. The copyrights, patents, trade secrets or other intellectual property rights associated with the ideas, concepts, techniques, inventions, processes or works of authorship developed, created by the DBM, its Subcontractors or personnel, during the course of performing this Contract or arising out of the Project will belong to the DBM.

**11.3. AMENDMENTS**

The Contract Documents may not be changed, altered, modified, or amended in any way except in writing signed by a duly authorized representative of each party.

**11.4. TIME IS OF THE ESSENCE**

The City and DBM mutually agree that time is of the essence with respect to the dates and times contained in the Contract Documents.

**11.5. MUTUAL OBLIGATIONS**

The City and DBM commit at all times to cooperate fully with each other, and proceed on the basis of trust and good faith, to permit each party to realize the benefits afforded under the Contract Documents.

**11.6. COOPERATION AND FURTHER DOCUMENTATION**

The DBM agrees to provide all documents, as the City will reasonably request to implement the intent of the Contract Documents.

**11.7. ASSIGNMENT**

Neither the DBM nor the City will, without first obtaining the written consent of the other assign, transfer or sublet any portion of this Contract or part of the Work or the obligations required by the Contract Documents.

**11.8. FORCE MAJEURE**

Neither party will be responsible for delays or failures in performance resulting from acts beyond their control. These acts will include, but not be limited to, riots, acts of war, acts of terrorism, epidemics, governmental regulations imposed after the fact, fire, communication line failures, or power failures.

**11.9. FUNDS APPROPRIATION**

If the City Council does not appropriate funds to continue this Contract and pay for required charges, the City may terminate this Contract at the end of the current fiscal period. The City agrees to give written notice to the DBM at least 30 days before the end of its current fiscal period and will pay the DBM for all approved charges incurred through the end of this period.

**11.10. CONSTRUCTION METHODS**

If the City provides the DBM with a written order to provide adequate maintenance of traffic, clean-up, dust control or to correct deficiencies or damage resulting from abnormal weather conditions, and the DBM fails to comply in the time frame specified, the City may have Work accomplished by other sources at the DBM's expense.

**11.11. UTILITY RELOCATIONS FOR CONSTRUCTION METHODS**

If any utility is relocated or rebuilt to accommodate the DBM's construction methods and available equipment, the expense will be borne by the DBM.

**11.12. DAMAGED UTILITIES DURING CONSTRUCTION**

Any utilities damaged during construction will be replaced at the DBM's expense as required of the M.A.G. Standard Specifications.

**11.13. THIRD PARTY BENEFICIARY**

The Contract Documents will not be construed to give any rights or benefits to anyone other than the City and the DBM, and all duties and responsibilities undertaken in accordance with the Contract Documents will be for the sole and exclusive benefit of the City and the DBM and not for the benefit of any other party.

**11.14. GOVERNING LAW**

The Contract and all Contract Documents will be considered to be made under, and will be construed in accordance with and governed by the laws of the State of Arizona without regard to the conflicts or choice of law provisions. Any action to enforce any provision of this Contract or to obtain any remedy with respect to this Contract will be brought in the Superior Court, Maricopa County, Arizona. Such action must be filed, tried and remain in this Court for any and all proceedings. For this purpose, each party expressly and irrevocably consents to the jurisdiction and venue of this Court, and DBM hereby waives its right to have such action removed to Federal District Court.

**11.15. SEVERABILITY**

If any provision of the Contract Documents or the application of them to any person or circumstance is invalid, illegal or unenforceable to any extent, the remainder of the Contract Documents and the application of them will not be affected and will be enforceable to the fullest extent permitted by law. In accordance with the provisions of ARS § 41-194.01, should the Attorney General give notice to the City that any provisions of the Contract violates state law or the Arizona Constitution, or that it may violate a state statute or the Arizona Constitution, and the Attorney General submits the offending provision to the Arizona Supreme Court, the offending provision(s) shall be immediately severed and struck from the Contract and the City and the Contractor shall, within 10 days after such notice, negotiate in good faith to resolve any issues related to the severed provision(s).

**11.16. LEGAL REQUIREMENTS**

The DBM will perform all Work in accordance with all Legal Requirements and will provide all notices applicable to the Work as required by the Legal Requirements.

**11.17. INDEPENDENT CONTRACTOR**

The DBM is and will be an independent contractor and not an employee or agent of the City.

**11.18. THE CITY'S RIGHT OF CANCELLATION**

All parties to this Contract acknowledge that this Contract is subject to cancellation by the City of Scottsdale as provided by the provisions of Section 38-511, Arizona Revised Statutes.

**11.19. SURVIVAL**

All warranties, representations and indemnifications by the DBM will survive the completion or termination of this Contract.

**11.20. COVENANT AGAINST CONTINGENT FEES**

The DBM warrants that no person other than a bona fide employee working solely for the DBM has been employed or retained to solicit or secure this Contract upon an agreement or understanding for a commission, percentage, brokerage, or contingent

fee. For breach or violation of this covenant, the City of Scottsdale will have the right to annul this Contract without liability, or at its discretion to deduct from the Contract Price or consideration, or otherwise recover the full amount of any commission, percentage, brokerage, or contingent fee, together with costs and attorney's fees.

**11.21. SUCCESSORSHIP**

The DBM and the City agree that the provisions of the Contract Documents are binding upon the parties, their employees, agents, heirs and assigns. This Contract will extend to and be binding upon the DBM, its successors and assigns, including any individual, company, partnership or other entity with or into which the DBM will merge, consolidate or be liquidated, or any person, corporation, partnership or other entity to which the DBM sells its assets.

**11.22. ATTORNEYS' FEES**

In the event either party brings any action for any relief, declaratory or otherwise, arising out of this Contract, or on account of any breach or default, the prevailing party will be entitled to receive from the other party reasonable attorneys' fees and reasonable costs and expenses, determined by the court sitting without a jury, which will be considered to have accrued on the commencement of any action and will be enforceable whether or not the action is prosecuted to judgment.

**11.23. HEADINGS**

The headings used in this Contract, or any other Contract Documents, are for ease of reference only and will not in any way be construed to limit or alter the meaning of any provision.

**11.24. COOPERATIVE USE OF CONTRACT**

In addition to the City of Scottsdale, this Contract may be extended for use by other municipalities, government agencies, and governing bodies, including the Arizona Board of Regents, and political subdivisions of this State. Any such usage by other entities must be in accord with the ordinances, charter, and/or rules and regulations of the respective entity and the approval of the Contractor.

**11.25. NO WAIVER**

The failure of either party to enforce any of the provisions of the Contract Documents or to require performance of the other party of any of the provisions of this Contract will not be construed to be a waiver of these provisions, nor will it affect the validity of the Contract Documents, or the right of either party to enforce each and every provision.

**11.26. NOTICE**

All notices or demands required to be given, in accordance with the terms of this Contract, will be given to the other party in writing, delivered by hand or registered or certified mail, at the addresses stated below, or to any other address as the parties

may substitute by written notice given in the manner prescribed in this Article. Notice given by facsimile or electronic mail (e-mail) will not be considered adequate notice.

To the City: Capital Project Management  
City of Scottsdale  
7447 E. Indian School Road, Suite 205  
Scottsdale, Arizona 85251

Copy to: Joe Mannino, Construction Administration  
Supervisor  
Capital Project Management  
City of Scottsdale  
7447 E. Indian School Road, Suite 205  
Scottsdale, Arizona 85251

To The Design-Build Manager: Chris Willis, Project Executive  
Hunt Construction Group, Inc., Inc.  
7720 North 16th Street, Suite 100  
Phoenix, AZ 85020

**11.27. EQUAL EMPLOYMENT OPPORTUNITY**

During the performance of this Contract the DBM will comply with all provisions of Executive Order 11246 of September 24, 1965, and the rules, regulations and relevant orders of the Federal government's Affirmative Action guidelines to ensure that employees or applicants applying for employment will not be discriminated against because of race, color, religion, sex, sexual orientation, gender identity, or national origin. The DBM will include the forms of this provision in all contracts and subcontracts for work performed under this Contract, including supervision and oversight. The DBM will take affirmative action to ensure that applicants are employed, and that employees are treated during employment without regard to their race, color, religion, sex, sexual orientation, gender identity, or national origin. Such action shall include, but not be limited to the following: Employment, upgrading, demotion, or transfer; recruitment or recruitment advertising; layoff or termination; rates of pay or other forms of compensation; and selection for training, including apprenticeship. The DBM agrees to post in conspicuous places, available to employees and applicants for employment, notices to be provided setting forth the provisions of this nondiscrimination clause.

The DBM will, in all solicitations or advertisements for employees placed by or on behalf of the DBM, state that all qualified applicants will receive consideration for employment without regard to race, color, religion, sex, sexual orientation, gender identity, or national origin.

**11.28. NO PREFERENTIAL TREATMENT OR DISCRIMINATION**

In accordance with the provisions of Article II, Section 36 of the Arizona Constitution, the City will not grant preferential treatment to or discriminate against any individual or group on the basis of race, sex, color, ethnicity or national origin.

**11.29. ADDITIONAL CITY RIGHTS REGARDING SECURITY INQUIRIES**

- 11.29.1.** In addition to the foregoing, the City reserves the right to: (1) require an employee/prospective employee of the DBM to provide fingerprints and execute any other documentation as may be necessary to obtain criminal justice information pursuant to A.R.S. § 41-1750(G)(4); (2) act on newly acquired information whether or not the information should have been previously discovered; (3) unilaterally change its standards and criteria relative to the acceptability of the DBM's employees or prospective employees; and, (4) object, at any time and for any reason, to an employee of the DBM performing work (including supervision and oversight) under this Contract.
- 11.29.2.** Terms of this Provision Applicable to all of DBM's Contracts and Subcontracts: The DBM will include the terms of this provision for employee background and security checks and screening in all contracts and subcontracts for work performed under this Contract, including supervision and oversight.
- 11.29.3.** Materiality of Security Inquiry Provisions: The Security Inquiry provisions of this Contract, as stated above, are material to the City's entry into this Contract and any breach by the DBM may, at the City's sole option and unfettered discretion, be considered to be a breach of contract of sufficient magnitude to terminate this Contract. Termination will subject the DBM to liability for its breach of contract.

**11.30. HAZARDOUS MATERIALS**

- 11.30.1.** Upon discovery of hazardous substances, as defined in Article 13, the DBM will comply with all applicable laws/ordinances and regulations and take all appropriate health and safety precautions.
- 11.30.2.** Unless included in the Work, if the DBM encounters onsite or as material to be incorporated in the Work, any material which he reasonably believes to contain asbestos, polychlorinated biphenyl (PCB), or other hazardous substances or materials regulated by public health laws, he will immediately stop work and report the condition to the City.
- 11.30.3.** If the material is found to contain asbestos, PCB or other hazardous substances or materials regulated by public health laws, the DBM will not resume work in the affected area until the material has been abated or rendered harmless. The Construction Administration Supervisor and the DBM will determine how best to abate or render harmless the hazardous substance or materials. The DBM and the City may agree, in writing, to continue work in non-affected areas on-Site.
- 11.30.4.** An extension of Contract Time may be granted in accordance with Article 5.
- 11.30.5.** The DBM will comply with all applicable laws, ordinances and regulations and take all appropriate health and safety precautions upon discovery.



- 11.30.6.** Despite the preceding provisions of this Article 11.29, the City is not responsible for Hazardous Conditions introduced to the Site by the DBM, Subcontractors or anyone for whose acts they may be liable. The DBM will indemnify, defend and hold harmless the City and the City's officers, directors, employees and agents from and against all claims, losses, damages, liabilities and expenses, including attorneys' fees and expenses, arising out of or resulting from those Hazardous Conditions introduced to the Site by the DBM, Subcontractors or anyone for whose acts they may be liable.

### **11.31. TRAFFIC CONTROL**

- 11.31.1.** Complete street closures will not be permitted unless specified in the Special Provisions. The timing and sequence of street closures will be approved by the appropriate municipal Traffic Engineering Director or designee at least 2 weeks before the closure. This approval is necessary to provide coordination with other roadway projects and special events.
- 11.31.2.** Adequate barricades and lighted warning signs will be installed and maintained by the DBM throughout the duration of the Project. All traffic control will be in accordance with the most recent City of Scottsdale Traffic Control Manual or as per the approved barricade plan unless otherwise specified in the Special Provisions.
- 11.31.3.** The DBM will submit a construction schedule and a barricade plan to the appropriate municipal Traffic Engineering Director (or designee) for approval or modification at least 72 hours before construction is initiated.
- 11.31.4.** The DBM will comply with all provisions of the most recent City of Scottsdale Traffic Barricade Manual and any other traffic control provisions as may be provided in the technical specifications or in the approved barricade plan.

### **11.32. MATERIAL SOURCE**

- 11.32.1.** No material source has been designated by the City for use on this Project. MAG Specification, Section 106 will apply as will Arizona Department of Transportation (ADOT) Standard Specifications 1982, Section 106.1, 106.2, 106.7 & 106.8, which outline controls and Section 1001 1, 2, & 4 concerning approval of Contractor Furnished Source and supplemental agreements in regards to environmental analysis and the liability for materials testing costs.
- 11.32.2.** The DBM and Subcontractor furnished material sources situated in the 100-year flood plain of any stream or watercourse, and located within 1.0 mile upstream and 2.0 miles downstream of any highway structure or surfaced roadway crossing will not be allowed.
- 11.32.3.** A DBM and Subcontractor furnished source will be defined as a material source, which are neither an ADOT furnished source nor a commercial source, as defined in this Contract.

**11.32.4.** A commercial source will be defined as a material source in which the owner or producer has been, for at least one year, regularly engaged during regular business hours on a regular basis in the processing and selling of sand, rock, ready mixed Portland cement concrete, asphaltic concrete and other similar products normally produced and sold to all parties. The company will have an Arizona retail sales tax license.

**11.32.5.** The location of any new material source or existing non-commercial material source proposed for use on this Project will be reviewed by the appropriate agency having flood plain management jurisdiction over the area of proposed source location. The DBM and Subcontractor will obtain a letter from the agency addressed to the Contract Administrator certifying that the proposed source location conforms to the conditions of this Contract and the applicable Standard Specifications.

### **11.33. FAMILIARIZATION WITH APPLICABLE LAWS**

The DBM will familiarize himself with the nature and extent of the Contract Documents, work to be performed, all local conditions, and all applicable federal, state and local laws, ordinances, rules and regulations that in any manner may affect cost, progress or performance of the Work.

### **11.34. NATIVE PLANTS**

The DBM will take whatever steps, procedures or means necessary to remove, move, displace and save all native plants within the contract work area in accordance with the City of Scottsdale's Ordinance No. 1438, Native Plants, and all applicable state and county statutes, ordinances, codes and other policy requirements and recognized methods, procedures, techniques and equipment for protection, salvage, and handling of all plants to be moved from the construction area. This is not a pay item unless specified upon the schedule of Bid items.

### **11.35. ENDANGERED HARDWOODS**

Any construction, building addition or alteration project which is financed by monies of this State or its political subdivisions will not use endangered tropical hardwood unless an exemption is granted by the Director of the State of Arizona, Department of Administration.

### **11.36. HOURS OF WORK**

**11.36.1.** All building construction and associated work will be restricted to the applicable summer or winter hours. Construction activity will include any work requiring the use of manually operated or power assisted tools or equipment and vehicles used to excavate, erect or deliver materials associated with construction. Summer hours begin April 1 and end on October 31. No work may begin before 6:00 a.m. or continue after 7:00 p.m., Monday through Friday. No work will begin on Saturday or Sunday before 7:00 a.m. or continue after 7:00 p.m. Sunday work may be conducted only if the DBM demonstrates, in writing to the building official, justifiable cause for the Sunday work.

- 11.36.2. Winter hours begin November 1 and end on March 31. No work will begin before 7:00 a.m. or continue after 5:00 p.m., Monday through Friday. No work may begin on Saturday or Sunday before 8:00 a.m. or continue after 5:00 p.m. Sunday work may be conducted only if the DBM demonstrates, in writing to the building official, justifiable cause for the Sunday work.
- 11.36.3. The City may establish other times of work as necessary based on the geographical location of the jobsite in relation to surrounding occupancies, buildings and structures.
- 11.36.4. The DBM must submit a written request to the Building Official for a variance from the required work hours at least 7 days before the date for which the variance is desired. Variances will not be granted for more than 30 days at a time. A new application must be made for each additional variance. The DBM must notify adjacent property owners of the intended work and the duration of the requested variance. Proof of notification must be presented to the building official before the variance can be granted.
  - 1. The application for the variance must demonstrate justifiable cause why the work must be done outside the prescribed time period (e.g. pouring concrete during "summer hours"). A variance will not be granted based solely on convenience or for work that can be completed during daytime construction hours.
  - 2. The application for a variance must state the construction permit number, the address of the work, type of work, time period of the work, and the duration of the variance.

**11.37. COMPLIANCE WITH FEDERAL LAWS**

- 11.37.1. The DBM understands and acknowledges the applicability to it of the American with Disabilities Act, the Immigration Reform and Control Act of 1986 and the Drug Free Workplace Act of 1989. The DBM agrees to comply with these laws in performing this Contract and to permit the City to verify compliance. The DBM will also comply with A.R.S. § 34-301, "Employment of Aliens on Public Works Prohibited", and A.R.S. § 34-302, as amended, "Residence Requirements for Employees". The DBM will include the terms of this provision in all contracts and subcontracts for work performed under this Contract, including supervision and oversight.
- 11.37.2. **Under the provisions of A.R.S. § 41-4401, the DBM warrants to the City that the DBM and all its subcontractors will comply with all Federal Immigration laws and regulations that relate to their employees and that the DBM and all its subcontractors now comply with the E-Verify Program under A.R.S. § 23-214(A).**
- 11.37.3. A breach of this warranty by the DBM or any of its subcontractors will be considered a material breach of this Contract and may subject the DBM or Subcontractor to penalties up to and including termination of this Contract or any subcontract.

- 11.37.4.** The City retains the legal right to inspect the papers of any employee of the DBM or any subcontractor who works on this Contract to ensure that the DBM or any subcontractor is complying with the warranty given above.
- 11.37.5.** The City may conduct random verification of the employment records of the DBM and any of its subcontractors to ensure compliance with this warranty. The DBM agrees to indemnify, defend and hold the City harmless for, from and against all losses and liabilities arising from any and all violations of these statutes.
- 11.37.6.** The City will not consider the DBM or any of its subcontractors in material breach of this Contract if the DBM and its subcontractors establish that they have complied with the employment verification provisions prescribed by 8 USCA § 1324(a) and (b) of the Federal Immigration and Nationality Act and the E-Verify requirements prescribed by A.R.S. §23-214(A). The "E-Verify Program" means the employment verification pilot program as jointly administered by the United States Department of Homeland Security and the Social Security Administration or any of its successor programs.
- 11.37.7.** The provisions of this Article must be included in any contract the DBM enters into with any and all of its subcontractors who provide services under this Contract or any subcontract. "Services" are defined as furnishing labor, time or effort in the State of Arizona by a contractor or subcontractor. Services include construction or maintenance of any structure, building or transportation facility or improvement to real property.

**11.37.8. Compliance with Americans With Disabilities Act**

The DBM acknowledges that, pursuant to the Americans with Disabilities Act (ADA), programs, services and other activities provided by a public entity to the public, whether directly or through a contractor, must be accessible to the disabled public. The DBM will provide the services specified in this Contract in a manner that complies with the ADA and any and all other applicable federal, state and local disability rights legislation. The DBM agrees not to discriminate against disabled persons in the provision of services, benefits or activities provided under this Agreement and further agree that any violation of this prohibition on the part of the DBM, its employees, agents or assigns will constitute a material breach of this Contract.

**11.38. DATA CONFIDENTIALITY**

- 11.38.1.** As used in this Contract, data means all information, whether written or verbal, including plans, photographs, studies, investigations, audits, analyses, samples, reports, calculations, internal memos, meeting minutes, data field notes, work product, proposals, correspondence and any other similar documents or information prepared by or obtained by the DBM in the performance of this Contract.
- 11.38.2.** The parties agree that all data, including originals, images, and reproductions, prepared by, obtained by, or transmitted to the DBM in

connection with the DBM's performance of this Contract is confidential and proprietary information belonging to the City.

**11.38.3.** The DBM will not divulge data to any third party without first obtaining the written consent of the City. The DBM will not use the data for any purposes except to perform the services required under this Contract. These prohibitions will not apply to the following data provided the DBM has first given the required notice to the City:

1. Data, which was known to the DBM before its performance under this Contract unless the data was acquired in connection with Work performed for the City;
2. Data which was acquired by the DBM in its performance under this Contract and which was disclosed to the DBM by a third party, who to the best of the DBM's knowledge and belief, had the legal right to make the disclosure and the DBM is not otherwise required to hold the data in confidence; or
3. Data, which is required to be disclosed by virtue of law, regulation, or court order to which the DBM is subject.
4. In the event the DBM is required or requested to disclose data to a third party, or any other information to which the DBM became privy as a result of any other contract with the City, the DBM will first notify the City, as stated in this Article, of the request or demand for the data. The DBM will give the City sufficient facts so that the City can be given an opportunity to first give its consent or take any action that the City may consider appropriate to protect the data or other information from disclosure.
5. Unless prohibited by law, within 10 days after completion of services for a third party on real or personal property owned or leased by the City, the DBM will promptly deliver a copy of all data to the City. All data will continue to be subject to the confidentiality agreements of this Contract.
6. The DBM assumes all liability for maintaining the confidentiality of the data in its possession and agrees to compensate the City if any of the provisions of this Article are violated by the DBM, its employees, agents or subconsultants. Solely for the purposes of seeking injunctive relief, it is agreed that a breach of this Article will be considered to cause irreparable harm that justifies injunctive relief in court.

**11.39. TAXES AND INDEMNIFICATION**

The fee listed in this Contract includes any and all taxes applicable to the activities authorized by this Contract. The City will have no obligation to pay additional amounts for taxes of any type. DBM and all subcontractors shall pay all Federal, state and local taxes applicable to its operation and any persons employed by the DBM, except as may be otherwise provided in this Contract. DBM shall, and require all subcontractors to hold the City harmless from any responsibility for taxes, damages and interest, if applicable, contributions required under Federal, and/or state and local laws and

regulations and any other costs including transaction privilege taxes, unemployment compensation insurance, Social Security and Worker's Compensation.

**11.40. CONFLICT OF INTEREST**

**11.40.1.** To evaluate and avoid potential conflicts of interest, the DBM will provide written notice to the City, as provided in this Article, of any Work or Services performed by the DBM for third parties that may involve or be associated with any real property or personal property owned or leased by the City. The notice will be given 7 business days before commencement of the Project by the DBM for a third party, or 7 business days before an adverse action as defined below. Written notice and disclosure will be sent to the City Senior Representative identified in Article 7.3.1.1.

**11.40.2.** Actions that are considered to be adverse to the City under this Contract include but are not limited to:

1. Using data as defined in this Contract acquired in connection with this Contract to assist a third party in pursuing administrative or judicial action against the City;
2. Testifying or providing evidence on behalf of any person in connection with an administrative or judicial action against the City; and
3. Using data to produce income for the DBM or its employees independently of performing the services under this Contract, without first obtaining the written consent of the City.

**11.40.3.** The DBM represents that except for those persons, entities and projects identified to the City, the Services to be performed by the DBM under this Contract are not expected to create an interest with any person, entity, or third party project that is or may be adverse to the interests of the City.

**11.40.4.** The DBM's failure to provide a written notice and disclosure of the information as stated in this Article on Conflicts of Interest will constitute a material breach of this Contract.

**11.41. COMMENCEMENT OF STATUTORY LIMITATION PERIOD AND STATUTE OF REPOSE**

**11.41.1.** Before Final Completion: As to acts or failures to act occurring before the relevant date of Final Completion, any applicable statute of limitations will commence to run and any alleged cause of action will be considered to have accrued in any and all events not later than the date of Final Completion.

**11.41.2.** Between Punch List Preparation and Final Completion: As to acts or failures to act occurring between the relevant date of Punch List Preparation and before Final Completion, any applicable statute of limitation will commence to run and any alleged cause of action will be considered to have accrued in any events not later than the date of Final Completion.

**11.41.3.** After Completion: As to acts or failures to act occurring after the date of Final Completion, any applicable statute of limitations will commence to run and any alleged cause of action will be considered to have accrued in any and all events not later than the date of any correction of Work or failure to correct Work by the DBM, or the date of actual commission of any other act or failure to perform any duty or obligation by the DBM or the City, whichever occurs last.

**11.41.4.** Statute of Repose: The time period for the applicable Statute of Repose will begin to run at the time specified in Arizona Revised Statute § 12-552 as it is amended or renumbered from time to time.

**11.42. NO BOYCOTT OF ISRAEL**

Unless otherwise prohibited by law, DBM certifies that it is not currently engaged in and agrees for the duration of the Contract to not engage in a boycott of Israel as defined in A.R.S. § 35-393.

**ARTICLE 12 – BENCHMARKS**

**12. CERTIFICATION OF BENCHMARKS**

In compliance with the City's Design Standards & Policies Manual (DS&PM), Sections 9-1.1 and 9-1.301, it is the City's intent that the DBM must use both horizontal and vertical benchmarks with City of Scottsdale published values for any survey on all public works projects. These published values are available for public use at the following website: <http://eservices.scottsdaleaz.gov/landsurvey/>. AT LEAST 1 HORIZONTAL AND 1 VERTICAL BENCHMARK MUST MATCH THE NORTHING, EASTING OR ELEVATION VALUES PUBLISHED ON THE CITY'S WEBSITE. The DBM must sign and submit with this Contract, the Certificate of Use attached and by reference made a part of this Contract.

**ARTICLE 13 – DEFINITIONS**

"Addenda" – means written or graphic instruments issued before the submittal of the GMP Proposal(s), which clarify, correct or change the GMP Proposal(s) requirements.

"Allowance" – means an agreed amount by the City and the DBM for items which may be required to complete the scope of work.

"Alternate Systems Evaluations" – means alternatives for design, means and methods or other scope of work considerations that are evaluated using value engineering principles and have the potential to reduce construction costs while still delivering a quality and functional Project that meets City requirements.

"As-Built Document" – "As-built" in construction is equivalent to "as-is." Drawings deemed "as-built" are final drawings that include all changes made during the actual construction process. These drawings represent the actual existing constructed conditions as opposed to designs or a proposed condition. The As-Built Documents should be per Arizona Revised Statutes §32-152.

"Blueline or Blackline Prints" – Prints that allows comparison of document versions to show what has been revised.

"Change Order" – means a written order to the DBM executed by the City after execution of this Contract, directing a change in the Work. A Change Order may include a change in the Contract Price (other than a change attributable to damages to the DBM for delay as provided in Article 5 hereof) or the time for the DBM's performance, or any combination thereof. Where there is a lack of total agreement on the terms of a Change Order or insufficient time to execute a bilateral change, the City may also direct a change in the Work in the form of a Construction Change Directive, which will set forth the change in the Work and the change, if any, in the contract amount or time for performance, for subsequent inclusion in a Change Order; Construction Change Directives shall include a not-to-exceed preliminary price, against which the DBM may begin billing (subject to the requirements for pay applications provided elsewhere herein) as the work is performed. Change Orders must comply with the provisions of Rule 2-200.1 of the City's Procurement Code.

"The City" – means the City of Scottsdale, an Arizona municipal corporation. Regulatory activities handled by the City of Scottsdale Development Services, Planning and Fire Departments or any other City department are not subject to the responsibilities of the City under this Contract.

"The City's Senior Representative" – means the person designated in Article 7.3.1.1.

"Claim" – means a written request for either payment of additional monies or extension of contract time, submitted in accordance with the terms of this Contract or applicable law.

"Construction Administration Supervisor" – means a City employee who coordinates the daily construction activities with the DBM, performs quality control inspections, enforces project plans and specifications and adopted City codes and ordinances. He will also carry out any other assignments authorized by the Contract Administrator.

"Construction Change Directive" – means an alternate mechanism for directing the DBM to perform additional work under the Contract when time and/or cost of the work is not in agreement between the City and the DBM. During the pendency of a resolution of the price and/or time adjustments between the City and the DBM, the DBM may not suspend work and will comply with the Construction Change Directive. Construction Change Directives must comply with the provisions of Rule 2-200.1 of the City's Procurement Code.

"Construction Documents" – means the plans, specifications and drawings prepared by the DBM's design professional after correcting for permit review requirements and incorporating addenda and approved Change Orders, or Contract Modifications.

"Construction Fee" – means the DBM's administrative costs, home office overhead, and profit, whether at the DBM's principal or branch offices for the construction phase. This includes the administrative costs and home office costs and any limitations or exclusions that may be included in the General Conditions for the construction phase.

"City's Project Contingency" – means a fund to cover cost growth during the Project used at the discretion of the City usually for costs that result from the City's direct changes or unforeseen site conditions. The amount of the City's Contingency may be set solely by the City and will be in addition to the project costs included in the DBM's GMP packages. Use and management of the City's Contingency is described in Article 4.4.3.7. The City's Contingency is an amount to cover changes initiated by the City, which may be incorporated into the GMP as an allowance at the City's discretion.



"Contract" – means this written document signed by the City and the DBM covering the design and construction of the Project, and including other documents itemized and referenced in or attached to and made a part of this Contract.

"Contract Administrator" – means the person designated in Article 7.3.1.1.

"Contract Amendment" – means a written order signed by an authorized representative of the City and which approves changes in the scope of work, in the total compensation or time allowed for completion of services or modifications to other contract terms consistent with S.R.C. Sec. 2-200.

"Contract Documents" – means the following items and documents in descending order of precedence executed by the City and the DBM: (i) all written Contract modifications, addenda and Change Orders; (ii) this Design-Build Construction Contract, including all exhibits and attachments; (iii) the Preconstruction Agreement, including all exhibits and attachments; (iv) written Supplementary Conditions; (v) Construction Documents; (vi) DBM's GMP Proposal(s), GMP Plans and Specifications.

"Contract Time(s)" – means the Day(s) as stated in Article 3 subject to adjustment in accordance with this Contract.

"Cost of the Work" – means the direct costs necessarily incurred by the DBM in the proper performance of the Work. The Cost of the Work will include direct labor costs, subcontract costs, costs of materials and equipment incorporated in the completed construction, costs of other materials and equipment, temporary facilities, building permit fees, Design Fee, materials testing, profit and related items. The Cost of Work does not include the DBM's Construction Fee, taxes, bonds, or insurance costs.

Critical Path Method is a schedule in the form of precedents, networks and time sequences. The critical path method is a project management planning and control technique implemented on computers. The critical path is the series of activities and tasks in the Project that have no built-in slack time. Any task in the critical path that takes longer than expected will lengthen the total time of the Project.

"Day(s)" – mean calendar days unless otherwise specifically noted in the Contract Documents.

"Delay" – means an unanticipated event or interference with the progress of a critical path work activity being performed at the time that causes the completion date of the project to be extended. Delays may be caused by the City, the DBM, third parties or Force Majeure events. Delays may be excusable, compensable, non-compensable or concurrent.

"Delay, Compensable" – means delay that results from the City's actions or inactions that entitle the DBM to both a time extension and delay damages.

"Delay, Concurrent" – means 2 or more delays, within the same timeframe, both of which would independently impact the Project's critical path. If one delay is caused by the City and the other by the DBM, the DBM will generally be entitled to an excusable, non-compensable time extension, to the degree the delays may "overlap."

"Delay, Excusable" – means an unforeseeable delay caused by an event beyond the control and without the fault or negligence of the DBM (including its suppliers and subcontractors). Excusable

delays may be compensable or non-compensable, depending upon whether the terms of the contract or the law allows recovery of delay costs. Unless otherwise shown, it will generally be presumed that these delays are non-compensable.

"Delay, Non-Excusable" – means a delay within the control of the DBM, its suppliers and subcontractors, or a delay resulting from a risk taken by the DBM under the terms of the Contract. The DBM will not be due any time extension or delay damages, and may be responsible for paying to the City, actual or liquidated damages for the delay.

"Deliverables" – means the work products prepared by the DBM in performing the Scope of Work described in this Contract. Some of the major deliverables to be prepared and provided by the DBM during the design phase may include, but are not limited to: Construction Management Plan, Project Schedule, Schedule of Values, alternative system evaluations, procurement strategies and plans, cost estimates, construction market surveys, cash flow projections, GMP Proposals, Subcontractor procurement plan, Subcontractor contracts, Subcontractor bid packages, Supplier agreements, and others as indicated in this Contract or required by the Project Team.

"Design Build" – means a project delivery method in which:

- (a) There is a single contract for design services and construction services, except that instead of a single contract for design services and construction services, the agent may elect separate contracts for preconstruction services and design services during the design phase, for construction and design services during the construction phase and for any other construction services.
- (b) Design and construction of the project may be either:
  - i. Sequential with the entire design complete before construction commences.
  - ii. Concurrent with the design produced in two or more phases and construction of some phases commencing before the entire design is complete.
- (c) Finance services, maintenance services, operations services, preconstruction services and other related services may be included.

"Design Build Manager (DBM)" – means Hunt Construction Group, Inc., as the firm, corporation, or other approved legal entity selected by the City to provide design and construction services as detailed in this Contract, and with whom the City has entered into a Contract to do the work.

"Design Fee" – means the amount paid to DBM for the production of complete construction documents and specifications approved and permitted by the City of Scottsdale.

"DBM's Representative" – means the person designated in Article 7.3.2.2.

"DBM's Senior Representative" – means the person designated in Article 7.3.2.1.

"Design Fee" – means the DBM's administrative costs, home office overhead and profit, whether at the DBM's principal or branch offices for the design phase. This includes the administrative costs and home office costs and any limitations or exclusions that may be included in the General Conditions for the design phase.

"Design Services" – means all professional services to be performed or procured by the DBM to provide the required Project design under this Contract and any subsequent amendments.

“Differing Site Conditions” – means compliance with M.A.G. Standard Specifications Subsection 102.4.

“Field Order” – means a written field directive prepared and signed by the City, directing a change in work that may or may not include an adjustment in contract price and or contract time.

“Final Acceptance” – means the completion of all the Work as prescribed in Article 6.3.9.

“General Conditions Costs” – means costs incurred by the DBM during the construction phase and includes but is not limited to the following types of costs: (i) payroll costs for project manager or construction manager but not both for Work conducted at the site; (ii) payroll costs for the superintendent and full-time general foremen; (iii) payroll costs for other management personnel resident and working on the site; (iv) workers not included as direct labor costs engaged in support (e.g. loading/unloading, clean-up, etc.); (v) administrative office personnel; (vi) costs of offices and temporary facilities including office materials, office supplies, office equipment, minor expenses; (vii) utilities, fuel, sanitary facilities and telephone services at the site; (viii) costs of consultants not in direct employ of the DBM or Subcontractors, fees for permits and licenses, and some administrative personnel who may work at the home office. Charges for some home office administrative personnel may be included in General Conditions if agreed upon by both DBM and City.

“GMP Plans and Specifications” – means the documents used to establish the GMP and made part of this Contract by reference.

“Guaranteed Maximum Price” or “GMP” – means the sum of the maximum Cost of the Work as given in the GMP proposal, including design and construction; the DBM’s Construction Fee; General Conditions; Taxes, Payment and Performance Bonds, Insurance Costs; permit and licensing fees; sales tax, DBM Indirect Costs, and Project Contingency.

“Guaranteed Maximum Price (GMP) Proposal” – the offer or proposal of the DBM submitted on the prescribed form stating the GMP prices for the entire Work (which includes design and construction, DBF Construction Fee, General Conditions, Taxes, Bonds, Insurance, Permit and License Fees, Sales Tax, DBM Indirect Costs, and Project Contingency) or portions of the Work to be performed during the construction phase or portions of the Work to be performed throughout all phases.

“Hazardous substance” means:

- (a) Any substance designated pursuant to sections 311(b)(2)(A) and 307(a) of the clean water act.
- (b) Any element, compound, mixture, solution or substance designated pursuant to section 102 of CERCLA.
- (c) Any hazardous waste having the characteristics identified under or listed pursuant to section 49-922.
- (d) Any hazardous air pollutant listed under section 112 of the federal clean air act (42 United States Code section 7412).
- (e) Any imminently hazardous chemical substance or mixture with respect to which the administrator has taken action pursuant to section 7 of the federal toxic substances control act (15 United States Code section 2606).
- (f) Any substance which the director, by rule, either designates as a hazardous substance following the designation of the substance by the administrator under the authority described in subdivisions (a) through (e) of this paragraph or designates as a hazardous

substance on the basis of a determination that such substance represents an imminent and substantial endangerment to public health.

"Indirect Costs" - include the DBM Construction Fee, the DBM contractor management costs such as DBM staff, office space, phones, copiers, faxes, etc., and general requirements such as sweeping, temporary fencing, and permitting, licensing, and inspections. The General Conditions, the DBM Construction Fee, Payment and Performance Bonds, Insurance, Taxes, and Permitting and Licensing Fees equal the DBM Indirect Costs.

"Informational Submittals" – Submittals are required (common with construction projects) for the architect and engineer to verify that the correct products and quantities will be installed on a project.

"Legal Requirements" – means all applicable federal, state and local laws, codes, ordinances, rules, regulations, orders and decrees of any government or quasi-governmental entity having jurisdiction over the Project or Site, the practices involved in the Project or Site, or any Work.

"Liquidated Damages" – means an amount the DBM will pay as required in Article 3.3.

"Must" and "will" as used in this Contract are mandatory.

"Payment Request" – means a monthly progress payment request, which is based on a monthly estimate of the dollar value of the Work completed.

"Preconstruction Agreement" – means that certain agreement entered into by the City and the DBM to cover preconstruction and design services. The Agreement is Contract No. 2018-078-COS, and is dated the \_2<sup>nd</sup> day of July, 2018, a copy of which is filed in the offices of Capital Projects Management.

"Preconstruction Services" – means advice given during the design phase. It will include the following services: all design services, project scheduling, appraisal of grading, drainage, street lighting and landscaping, installation of water and sewer lines to the boundaries of the building envelopes, construction of streets within the boundaries of the Premises, and installation of conduit for placement of "dry utilities" to the boundaries of the building envelopes, evaluation of costs and benefits of alternative systems and distribution approaches; recommendations for efficiency and cost effectiveness; and resolution of constructability problems; GMP preparation; and Subcontractor bid phase services. Preconstruction Services have been contracted for between the City and the Design-Build, as required by A.R.S. § 34-603(C)(1)(c).

"Product Data" – means illustrations, standard schedules, performance charts, instructions, brochures, diagrams and other information furnished by the DBM to illustrate materials or equipment for some portion of the Work.

"Professional Certification" – Professional certification is a designation which indicates that a person is qualified to perform a job or task. Professional certification can be trade certification or professional designation.

"Project" – means the Work to be completed in the execution of this Contract as described in the Recitals above and in Exhibit A attached.

"Project Record Documents" – means the documents created pursuant to Article 1.9.

“Project Record Drawing Prints” – Set of current design drawings used by construction contractor for reference during construction. These drawings are typically marked up during the construction process, and are used to develop the subsequent “As-Built” drawings.

“Project Schedule” – means a schedule as prescribed in Article 3.5.

“Punch List” – means those minor items of Work to be completed before Final Acceptance, which do not prevent the Project from being used for the purpose for which it is intended and which will not prevent the issuance of a Certificate of Occupancy.

“Samples” – means physical examples, which illustrate materials, equipment or workmanship and establish standards by which the Work will be judged.

“Savings” – means the difference between the Guaranteed Maximum Price and the Final Cost of the Work (including DBM’s Fee). One Hundred Percent (100%) of savings will accrue to the City, unless otherwise agreed in the itemization of the Guaranteed Maximum Price.

“Schedule of Values (SOV)” – means the Document specified in the construction phase, which divides the Contract Price into pay items, so that the sum of all pay items equals the Contract Price for the construction phase Work, or for any portion of the Work having a separate specified Contract Price. The SOV may or may not be output from the Progress Schedule depending on whether the Progress Schedule is cost-loaded or not.

“Shop Drawings” – mean drawings, diagrams, schedules and other data specially prepared for the Work by the DBM, subcontractor, manufacturer, supplier or distributor to illustrate some portion of the Work.

“Site” – means the land or premises on which the Project is located generally described as the approximately located at NEC of Osborn and Scottsdale Roads, City of Scottsdale, Arizona. The DBM will include in its contract with subcontractors the street or physical address of the construction site.

“Specifications” – means those sections of the Contract Documents for the construction phase consisting of written technical descriptions of materials, equipment, construction systems, standards and workmanship as applied to the Work and certain applicable administrative details.

“Subcontractor” or “Subconsultant” – means a person or firm having a direct contract with the DBM or any other person or firm having a contract with the DBM at any tier, who undertake to perform a part of the construction phase Work for which the DBM is responsible, and includes materialmen and suppliers. All Subcontractors must be selected in accordance with the selection plan set forth in Article 1.11 of the DBM’s Preconstruction Contract.

“Substantial Completion” – means when the Work, or when an agreed upon portion of the Work, is sufficiently complete so that the City can occupy and use the Project or a portion of it for its intended purposes. This may include, but is not limited to: (i) approval by the City Fire Marshall and local authorities (Certificate of Occupancy); (ii) issuance of elevator permit; (iii) demonstration to the City that all systems are in place, functional, and displayed to the City or its representative; (iv) installation of all materials and equipment; (v) the City review and acceptance of all systems; (vi) the City review and acceptance of draft O&M manuals and record documents; (vii) the City operation and maintenance training is completed; (viii) HVAC test and balance completed

(provide a minimum 30 days before projected substantial completion); (ix) completion of Punch List items; (x) completed landscaping and site work; and (xi) final cleaning.

“Supplier” – means a manufacturer, fabricator, supplier, distributor, material man or vendor having a direct contract with the DBM or any Subcontractor to furnish materials or equipment to be incorporated in the construction phase Work by the DBM or any Subcontractor.

“Work” – means the entire design and completed construction or the various separately identifiable parts of the design and construction, required to be furnished. Work includes and is the result of completing the design work, performing or furnishing labor and furnishing and incorporating materials, resources and equipment into the construction, and performing or furnishing services and documents as required by the Contract Documents for the construction phase.

(SIGNATURES ON NEXT PAGE)

THE CITY OF SCOTTSDALE

PROJECT NO. PE05, CONTRACT NO. 2019-006-COS

This Contract has been properly executed by the parties above named, on the date and year written above, to be retained by the City Clerk.

The Design-Build Manager (DBM) agrees that this Contract, as awarded, is for the stated work and understands that payment for the total work will be made on the basis of the indicated amount(s), in accordance with the terms and conditions of the Contract.

DESIGN-BUILD MANAGER  
Hunt Construction Group, Inc.

\_\_\_\_\_  
Print Name / Title: \_\_\_\_\_

THE CITY OF SCOTTSDALE

ATTEST:

\_\_\_\_\_  
W.J. "Jim" Lane, Mayor

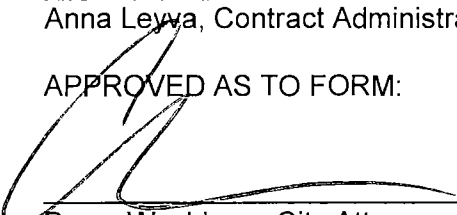
\_\_\_\_\_  
Carolyn Jagger, City Clerk

\_\_\_\_\_  
Dave Lipinski  
City Engineer

\_\_\_\_\_  
Katherine Callaway  
Risk Management Director

\_\_\_\_\_  
Anna Leyva, Contract Administrator

APPROVED AS TO FORM:

  
\_\_\_\_\_  
Bruce Washburn, City Attorney  
By: Eric C. Anderson  
Senior Assistant City Attorney

**EXHIBIT A**

**PROJECT DESCRIPTION**

Scope of work anticipated under this Contract include the following:

Design-Build Manager Construction Services Contract (GMP 1) 2019-006-COS with Hunt Construction Group with a not-to-exceed cost of \$22,853,327 for the services specified in the contract to begin construction of improvements to Scottsdale Stadium



**EXHIBIT B**

**PRECONSTRUCTION AGREEMENT  
2018-078-COS IS ON FILE AT  
THE SCOTTSDALE CITY CLERK'S OFFICE  
LINK:**

**[HTTPS://ESERVICES.SCOTTSDALEAZ.GOV/EDMVIEWER/16697773](https://eservices.scottsdaleaz.gov/edmviewer/16697773)**

---

## TABLE OF CONTENTS

1. Scope of Work
2. GMP 1
3. Schedule of Values
  - a. Schedule of Values/GMP Detail
  - b. GMP 1 Phase 1 - GC's and GR's
  - c. Scottsdale Stadium Organization Chart
  - d. Construction Administration Proposal
4. GMP 1 Project Documents
  - a. Cover Page with Signatures
  - b. GMP 1 Project Document Log, dated 2/12/2019
  - c. Drawings
  - d. Specifications
  - e. Supplemental Info
  - f. As-Builts
  - g. Bidder RFI's
5. Clarifications and Assumptions
  - a. GMP 1 Clarifications and Assumptions
  - b. Charros Lodge Scope Removal Clarification
  - c. Furniture, Fixtures, and Equipment Responsibility Matrix
  - d. Assessment Scope Clarification
  - e. Southwest Gas Proposed Gas Line Routing Sleeve, dated 2/11/2019
6. Scottsdale Stadium Schedule
  - a. Schedule Narrative
  - b. Drawing Package Matrix
  - c. Scottsdale Stadium Schedule, dated 3/14/2019

## TABLE OF CONTENTS

7. City of Scottsdale Published Benchmarks
8. Noise Mitigation Plan, dated 3/11/2019

---

## SCOPE OF WORK

This GMP 1 was prepared based upon the Phase 1 100% CD Documents for drawings packages P1 and P2, dated 1/15/2019; Drawing Addendum 1 for drawing packages P1 and P2, dated 2/6/2019; Specifications dated 1/15/2019; and a 50% CD Progress set of documents for drawing packages P3 and P4, dated 1/15/2019. A document log and the documents are included in section 4 of this GMP package.

Due to the nature and schedule of the Scottsdale Stadium Multi-Use Event Center project, Phase 1 will be broken up into two separate GMP's. GMP 1 includes the costs for the following Phase 1 scope items:

- 02.41 Demolition – Drawing Packages P1, P4
- 03.20 Concrete – Drawing Packages P1, P2, P3, P4
- 04.20 Masonry – Drawing Packages P1, P2, P4
- 05.10 Structural & Misc. Steel – Drawing Packages P1, P2, P3, P4
- 07.10 Waterproofing – Drawing Packages P1, P2
- 07.42 Metal Wall Panels – Drawing Packages P2, P4
- 07.52 Membrane Roofing – Drawing Packages P2, P4
- 08.10 Doors, Frames & Hardware – Drawing Packages P1, P2, P3, P4
- 08.33 Overhead Coiling Doors – Drawing Packages P2
- 08.40 Glazing Systems – Drawing Packages P2
- 09.10 Framing & Sheathing/Drywall – Drawing Packages P2, P3, P4
- 09.24 EIFS – Drawing Packages P2
- 10.22 Operable Partitions – Drawing Packages P3, P4
- 11.40 Food Service – Drawing Packages P3, P4
- 14.42 Wheelchair Lift – Drawing Packages P4
- 14.10 Elevator – Drawing Packages P2, P3
- 21.00 Fire Protection – Drawing Packages P1, P2, P3, P4
- 22.00 Plumbing – Drawing Packages P1, P2
- 23.00 HVAC – Drawing Packages P1, P2
- 26.00 Electrical & Technology – Drawing Packages P1, P2
- 31.10 Earthwork & Asphalt – Drawing Packages P1
- 32.00 Landscaping / Irrigation – Drawing Packages P1
- 32.12 Site Concrete – Drawing Packages P1, P2, P4
- 33.00 Site Utilities – Drawing Packages P1

Note that several scopes of work contain work for drawing packages P3 and P4, which are not yet 100% complete CD documents. These scopes will contain allowances for the P3 and P4 packages, which will get reconciled after the 100% CD documents are issued. It is important due to lead times and schedule to get these scopes released as soon as possible.

## SCOPE OF WORK

The GMP 1 Package for Phase 1 of the Scottsdale Stadium Multi-Use Event Center is based upon the clarifications and assumptions provided in Section 5 of this GMP.

END OF DOCUMENT

# AECOM HUNT

Project: Scottsdale Stadium Multi-Use Event Center Improvements  
 Owner: City of Scottsdale  
 Architect: DWL - Populous  
 Location: Scottsdale, AZ  
 Date: March 12, 2019

GMP SUMMARY - DIRECT COSTS (Organized by Bid Package #)				GMP 1
02.41 Demolition P1, P4				\$399,022
03.20 Concrete P1, P2, P3, P4				\$1,315,238
04.20 Masonry P1, P2, P4				\$732,995
05.10 Structural & Misc. Steel P1, P2, P3, P4				\$3,406,807
07.10 Waterproofing P1 & P2				\$71,491
07.42 Metal Wall Panels P2, P4				\$855,365
07.52 Membrane Roofing P2, P4				\$451,795
08.10 Doors, Frames & Hardware P1, P2, P3, P4				\$339,205
08.33 Overhead Coiling Doors P2				\$7,783
08.40 Glazing Systems P2				\$634,400
09.10 Framing & Sheathing/Drywall P2, P3, P4				\$1,426,330
09.24 EIFS P2				\$194,580
10.22 Operable Partitions P3, P4				\$50,700
11.40 Food Service P3 & P4				\$493,879
14.42 Wheelchair Lift P4				\$54,280
14.10 Elevator P2, P3				\$163,550
21.00 Fire Protection P1, P2, P3, P4				\$219,300
22.00 Plumbing P1 & P2				\$329,948
23.00 HVAC P1 & P2				\$988,101
26.00 Electrical & Technology P1 & P2				\$1,050,882
31.10 Earthwork & Asphalt P1				\$347,104
32.00 Landscaping / Irrigation P1				\$339,255
32.12 Site Concrete P1, P2, P4				\$749,935
33.00 Site Utilities P1				\$514,877
City Permit Plan Review Changes 2% Allowance				\$302,736
<b>A Sub-Contractors Cost of Work (Labor Materials, Equipment Warranty) Sub Total</b>				<b>\$15,439,558</b>
<b>B DBM Cost of Work (Labor, Materials, Equipment, Warranty)</b>				<b>\$185,310</b>
<b>C Design Fee (Construction Administration)</b>				<b>\$763,623</b>
<b>D COST of WORK (A+B+C)</b>				<b>\$16,388,491</b>
<b>Indirect Costs</b>				
E General Conditions		1	LS	\$2,364,894
F DBM Construction Fee (% of D)	5.00%	1	LS	\$819,425
G Performance & Payment Bond (% of D+E)	0.80%	1	LS	\$150,027
H1 Insurance (% of D+E)	0.95%	1	LS	\$178,157
H2 Builders Risk Insurance (% of D+E)	0.35%	1	LS	\$65,637
H3 Sub-Contractor Default Insurance (% of A)	1.25%	1	LS	\$192,994
<b>I Subtotal Indirect Costs</b>				<b>\$3,771,134</b>
<b>J Direct + Indirect Costs (D+I)</b>				<b>\$20,159,625</b>
K Sales Tax (Scottsdale 7.95%+0.1% at 65% of rate - % of J)	5.23%	1	LS	\$1,054,852
L Project Contingency (% of D)	10.00%	1	LS	\$1,638,849
<b>M TOTAL GMP 1</b>				<b>\$22,853,327</b>

# AECOM HUNT

Project: Scottsdale Stadium Multi-Use Event Center Improvements  
 Architect: DWL - Populous  
 Date: March 12, 2019

MASTER FORMAT CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	REMARKS
02.41 Demolition P1, P4						
Package 1 Site Improvements						
02.41 Demolition		1	LS	258,140.00	258,140	
	Demo Existing Clubhouse, Ticketing, Restroom Bldg.	1	LS			Included above
	Selective Demolition at Existing Elevator/Stair Shaft	1	LS			Included above
	Remove Existing Elevator		None			Elevator/Shaft to Remain
	Abatement & Hazardous Material Removal		None			None per environmental assessment
	Demo Curb	1	LS			Included above
	Hardscape Removal	1	LS			Included above
	Demo Asphalt	1	LS			Included above
	Tree Removal	1	LS			Included above
<b>Subtotal:</b>	<b>Package 1 Site Improvements</b>	<b>02.41 Demolition</b>			<b>258,140</b>	
Package 2 Clubhouse Core & Shell						
02.41 Demolition			w/Package 1			
<b>Subtotal:</b>	<b>Package 2 Clubhouse Core &amp; Shell</b>	<b>02.41 Demolition</b>			<b>0</b>	
Package 4.1 Team Shop Improvements						
02.41 Demolition		1	LS	7,350.00	7,350	
	Selective Interior Demolition	1	LS			Included above
	Abatement & Hazardous Material Removal		None			None anticipated at this time
<b>Subtotal:</b>	<b>Package 4.1 Team Shop Improvements</b>	<b>02.41 Demolition</b>			<b>7,350</b>	
Package 4.2 Press Club Level						
02.41 Demolition		1	LS	86,032.00	86,032	
	Interior Demolition	1	LS			Included above
	Selective Demolition at Sliding Glass Wall Openings	1	LS			Included above
	Demo for Coiling Doors		None			None anticipated at this time
	Abatement & Hazardous Material Removal		None			None anticipated at this time
	Demo Existing Stadium Chiller	1	LS			Included above
<b>Subtotal:</b>	<b>Package 4.2 Press Club Level</b>	<b>02.41 Demolition</b>			<b>86,032</b>	
Package 4.3 City & Ticket Offices						
02.41 Demolition		1	LS	5,000.00	5,000	
	Remove Concourse Slab on Grade	1	LS			Included above
	Remove Air Condenser Enclosure	1	LS			Included above
<b>Subtotal:</b>	<b>Package 4.3 City &amp; Ticket Offices</b>	<b>02.41 Demolition</b>			<b>5,000</b>	
Package 4.4 Charros Lodge						
02.41 Demolition		1	LS	42,500.00	42,500	
	Existing Shade Structure Removal	1	LS			Included above
	Drinkrail Removal	1	LS			Included above
	Demo concrete for new shade structure steel columns	1	LS			Included above
	Misc. Demo & Removals	1	LS			Included above
	Abatement & Hazardous Material Removal		None			None anticipated at this time
<b>Subtotal:</b>	<b>Package 4.4 Charros Lodge</b>	<b>02.41 Demolition</b>			<b>42,500</b>	
Package 4.5 Right Field Bleachers						



Project: Scottsdale Stadium Multi-Use Event Center Improvements  
 Architect: DWL - Populous  
 Date: March 12, 2019

MASTER FORMAT CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	REMARKS
	<b>02.41 Demolition</b> Demo Existing Bleachers East Side Demo Existing Bleachers Upper Level					See Bleachers See Bleachers
<b>Subtotal:</b>	<b>Package 4.5 Right Field Bleachers</b>	<b>02.41 Demolition</b>			<b>0</b>	
	<b>Package 4.6 Main Entry Plaza</b> <b>02.41 Demolition</b> Demo Existing Structure Salvage Truss Elements Demo Plaza Paving Remove Palm Trees Remove Existing Trees	1 1 1 1 1	LS LS LS LS LS			Included w/ Demo 02.41 Site Improvements Included above Included above Included above Included above
<b>Subtotal:</b>	<b>Package 4.6 Main Entry Plaza</b>	<b>02.41 Demolition</b>			<b>0</b>	
<b>TOTAL:</b>	<b>02.41 Demolition P1, P4</b>				<b>399,022</b>	
	<b>03.20 Concrete P1, P2, P3, P4</b> <b>Package 1 Site Improvements</b> 03.20 Concrete					None
<b>Subtotal:</b>	<b>Package 1 Site Improvements</b>	<b>03.20 Concrete</b>			<b>0</b>	
	<b>Package 2 Clubhouse Core &amp; Shell</b> <b>03.20 Concrete</b> 03 30 00 CIP Concrete Elevator Pit Slab On Grade Structural Elevated Slab Hydrotherapy Mat Slab CIP Hydrotherapy Pit Walls CIP Concrete Column CIP Hydrotherapy Platforms Slab On Deck CONC 1 - CIP Board Formed Concrete Walls, Color Light Grey / Stone Grey Concrete Beams Continuous Footings Grade Beam B1 Thickened Slab Spread Footings Caisson Type H 03 20 00 Concrete Reinforcing	1 1	LS LS	1,210,168.00	1,210,168	Included above Included above
<b>Subtotal:</b>	<b>Package 2 Clubhouse Core &amp; Shell</b>	<b>03.20 Concrete</b>			<b>1,210,168</b>	
	<b>Package 3 Clubhouse Buildout</b> <b>03.20 Concrete</b> 03 30 00 CIP Concrete Concrete Curb Below Lockers	1	LS	7,570.00	7,570	
<b>Subtotal:</b>	<b>Package 3 Clubhouse Buildout</b>	<b>03.20 Concrete</b>			<b>7,570</b>	
	<b>Package 4.1 Team Shop Improvements</b>					





Project: Scottsdale Stadium Multi-Use Event Center Improvements  
 Architect: DWL - Populous  
 Date: March 12, 2019

MASTER FORMAT CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	REMARKS
03.20 Concrete						None
<b>Subtotal:</b>	<b>Package 4.1 Team Shop Improvements</b>	<b>03.20 Concrete</b>			<b>0</b>	
Package 4.2 Press Club Level 03.20 Concrete						None
<b>Subtotal:</b>	<b>Package 4.2 Press Club Level</b>	<b>03.20 Concrete</b>			<b>0</b>	
Package 4.3 City & Ticket Offices 03.20 Concrete						
03 30 00	CIP Concrete	1	LS	56,000.00	56,000	
	Continuous Footings	1	LS			Included above
	Spread Footing	1	LS			Included above
	Slab On Grade	1	LS			Included above
	CONC 1 - CIP Board Formed Concrete Walls	1	LS			Included above
	Haul Off Footing Spoils	1	LS			Included above
03 20 00	Concrete Reinforcing	1	LS			Included above
<b>Subtotal:</b>	<b>Package 4.3 City &amp; Ticket Offices</b>	<b>03.20 Concrete</b>			<b>56,000</b>	
Package 4.4 Charros Lodge 03.20 Concrete						
03 30 00	CIP Concrete	1	LS	33,500.00	33,500	
	Slab On Deck for New Second Story Structure	1	LS			Included above
	Slab Repairs at New Columns	1	LS			Included above
<b>Subtotal:</b>	<b>Package 4.4 Charros Lodge</b>	<b>03.20 Concrete</b>			<b>33,500</b>	
Package 4.5 Right Field Bleachers 03.20 Concrete						None
<b>Subtotal:</b>	<b>Package 4.5 Right Field Bleachers</b>	<b>03.20 Concrete</b>			<b>0</b>	
Package 4.6 Main Entry Plaza 03.20 Concrete						
03 30 00	CIP Concrete	1	LS	8,000.00	8,000	
	Column Footing	1	LS			Included above
	Concrete Seat Walls		None			See alternate for additional site area
<b>Subtotal:</b>	<b>Package 4.6 Main Entry Plaza</b>	<b>03.20 Concrete</b>			<b>8,000</b>	
<b>TOTAL:</b>	<b>03.20 Concrete P1, P2, P3, P4</b>				<b>1,315,238</b>	
04.20 Masonry P1, P2, P4 Package 1 Site Improvements 04.20 Masonry						
04 20 00	Concrete Unit Masonry	1	LS	10,900.00	10,900	
	Trash Enclosure CMU					
<b>Subtotal:</b>	<b>Package 1 Site Improvements</b>	<b>04.20 Masonry</b>			<b>10,900</b>	

# AECOM HUNT

Project: Scottsdale Stadium Multi-Use Event Center Improvements  
 Architect: DWL - Populous  
 Date: March 12, 2019

MASTER FORMAT CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	REMARKS
<b>Package 2 Clubhouse Core &amp; Shell</b>						0
<b>04.20 Masonry</b>						
04 20 00	Concrete Unit Masonry	1	LS	602,360.00	602,360	
	CMU-1 / Wall Type E2	1	LS			Included above
	Reinforce & Tie Into Existing Elevator Shaft		None			Existing to Remain
	8" CMU Elevator Shaft (New Shaft)	1	LS			Included above
	Wall Type P7 - Int.	1	LS			Included above
	Wall Type P8 - Int.	1	LS			Included above
	Wall Type P11 - Int.	1	LS			Included above
04 72 00	Cast Stone Masonry		None			No cast-stone trim or caps anticipated
03 20 00	Concrete Reinforcing	1	LS			Included above
<b>Subtotal:</b>	<b>Package 2 Clubhouse Core &amp; Shell</b>	<b>04.20 Masonry</b>			<b>602,360</b>	
<b>Package 3 Clubhouse Buildout</b>						None
<b>04.20 Masonry</b>						
<b>Subtotal:</b>	<b>Package 3 Clubhouse Buildout</b>	<b>04.20 Masonry</b>			<b>0</b>	
<b>Package 4.1 Team Shop Improvements</b>						None
<b>04.20 Masonry</b>						
<b>Subtotal:</b>	<b>Package 4.1 Team Shop Improvements</b>	<b>04.20 Masonry</b>			<b>0</b>	
<b>Package 4.2 Press Club Level</b>						
<b>04.20 Masonry</b>						
04 22 00	Concrete Unit Masonry	1	LS	25,435.00	25,435	
	8" CMU Exterior Walls at Press Box	1	LS			Included above
	Block Repair at Coiling Doors		None			
	Canopy Columns Veneer		None			
<b>Subtotal:</b>	<b>Package 4.2 Press Club Level</b>	<b>04.20 Masonry</b>			<b>25,435</b>	
<b>Package 4.3 City &amp; Ticket Offices</b>						
<b>04.20 Masonry</b>						
04 22 00	Concrete Unit Masonry	1	LS	87,550.00	87,550	
	CMU 1 - 8" CMU Exterior Walls	1	LS			Included above
	4" CMU Interior Walls		None			
	12" CMU Retaining Wall, Grouted		None			
<b>Subtotal:</b>	<b>Package 4.3 City &amp; Ticket Offices</b>	<b>04.20 Masonry</b>			<b>87,550</b>	
<b>Package 4.4 Charros Lodge</b>						
<b>04.20 Masonry</b>						
<b>Subtotal:</b>	<b>Package 4.4 Charros Lodge</b>	<b>04.20 Masonry</b>			<b>0</b>	
<b>Package 4.5 Right Field Bleachers</b>						
<b>04.20 Masonry</b>						
<b>Subtotal:</b>	<b>Package 4.5 Right Field Bleachers</b>	<b>04.20 Masonry</b>			<b>0</b>	
<b>Package 4.6 Main Entry Plaza</b>						
<b>04.20 Masonry</b>						



Project: Scottsdale Stadium Multi-Use Event Center Improvements  
 Architect: DWL - Populous  
 Date: March 12, 2019

MASTER FORMAT CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	REMARKS
04 22 00	Concrete Unit Masonry Canopy Columns Masonry Seat Walls	1	LS None	6,750.00	6,750	Entry Canopy Excluded
<b>Subtotal:</b>	<b>Package 4.6 Main Entry Plaza</b>	<b>04.20 Masonry</b>			<b>6,750</b>	
<b>TOTAL:</b>	<b>04.20 Masonry P1, P2, P4</b>				<b>732,995</b>	
<b>05.10 Structural &amp; Misc. Steel P1, P2, P3, P4</b>						
<b>Package 1 Site Improvements</b>						
<b>05.10 Structural &amp; Misc. Steel</b>						
05 50 00	<b>Metal Fabrications</b>	1	LS	126,050.00	126,050	
	Trash Enclosure Gates P1-A061	1	LS			Included above
	Vehicle Barrier Gate - 11/LH2.2	1	LS			Included above
	Rework Existing Salvaged Metal Gates & Fencing for New Gate Layout at Home Plate Plaza 1/P1-A060	1	LS			Included above.
	Rework Existing Salvaged Metal Gates & Fencing for New Gate Layout at Teamshop/Clubhouse 2/P1-A060	1	LS			Included above.
	Rework Existing Salvaged Metal Gates & Fencing for New Gate Layout at East of Clubhouse 1/P1-A061	1	LS			Included above.
	Patio Fence & Gate Southeast Corner of Clubhouse 5/P1-A062	1	LS			Included above. Excluding Perforated Metal, future GMP
	Aluminum Site Guardrails P1-A060 & A061	1	LS			Included above.
	Cast Safety (Stair) Nosings 2/P1-A063	1	LS			Included above.
	Erection	1	LS			Included above.
<b>Subtotal:</b>	<b>Package 1 Site Improvements</b>	<b>05.10 Structural &amp; Misc. Steel</b>			<b>126,050</b>	
<b>Package 2 Clubhouse Core &amp; Shell</b>						
<b>05.10 Structural &amp; Misc. Steel</b>						
05 10 00	<b>Structural Steel Framing w/ Metal Joists</b>	1	LS	1,824,242.00	1,824,242	
	Columns, Floor & Roof Framing	1	LS			Included Above
	Modify Canopy Steel from Team Shop to Clubhouse	1	LS			Included Above
	Frame for MTL 7 Perforated Panels	1	LS			See BP #7.42 for MTL 7 Perforated Panels
	Schedule Acceleration - Fabrication - Late Award 3-6 in lieu of 2-6 Erection	1	LS	150,000.00	150,000	Not in original budget
05 30 00	<b>Metal Decking</b>					
	Floor Decking	1	LS			Included Above
	Roof Decking	1	LS			Included Above
	2" Dovetail Acoustical Deck - Multi-Purpose Room	1	LS			Included Above
	2" Dovetail Acoustical Deck - 3rd Level Roof	1	LS			Included Above
05 50 00	<b>Metal Fabrications</b>					
	Metal Fabrications as applies to the Core & Shell	1	LS			Included Above
	Exterior Balcony Guardrail, Cable 1/P2-A560	1	LS			Included Above
	Screen Wall Support Steel - 10' Screen metal	1	LS			Included Above See BP #7.42
	Metal Pan Stairs, Cable Rail - Stair 2 - P2-A600	1	LS			Included Above
	Metal Pan Stairs, Steel Rail - Stair 3 - P2-A601	1	LS			Included Above
	Elevator Pit Ladder 2/P2-A602	1	LS			Included Above
	Elevator Pit Sump Grate & Angle 3/P2-A602	1	LS			Included Above
	Elevator Door Sill Angle 6/P2-A602	1	LS			Included Above
	HVAC Roof Opening Frames	1	LS			Included Above
	Rigging Points P2-S224 Multi-Purpose Room	1	LS			Included Above
					0	



Project: Scottsdale Stadium Multi-Use Event Center Improvements  
 Architect: DWL - Populous  
 Date: March 12, 2019

MASTER FORMAT CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	REMARKS
	Rigging Points Weight Room	1	LS			Included Above
<b>Subtotal:</b>	<b>Package 2 Clubhouse Core &amp; Shell</b>	<b>05.10 Structural &amp; Misc. Steel</b>			<b>1,974,242</b>	
<b>Package 3 Clubhouse Buildout</b>						
<b>05.10 Structural &amp; Misc. Steel</b>						
05 50 00	<b>Metal Fabrications</b>	1	LS	363,131.00	363,131	
	Interior Ramp Handrail 1st Floor P3-A200	1	LS			Included Above
	Ladders - Hydro pit P2-A200, Low Roof, High Roof	1	LS			Included Above
	Cable guard rail at Clubhouse 2nd Floor P3-A205	1	LS			Included Above
	Cable guard rail at Clubhouse 3rd Floor P3-A207	1	LS			Included Above
	Metal Pan Stairs, Cable Rail and nosings - Stair 2 - P2-A600	1	LS			Included Above
	Metal Pan Stairs, Steel Rail and nosings - Stair 3 - P2-A601	1	LS			Included Above
	Stair nosings P2-A603	1	LS			Included Above
	Misc. Metals - Glazed alum doors, hydro pit hatch	1	LS			Included Above
	Erection	1	LS			Included Above
	Excludes Future Operable Wall Support Steel		None			
	Excludes Low Wall Supports		None			
	Excludes Countertop Supports		None			
	Excludes Television Support Frame Bracing		None			
<b>Subtotal:</b>	<b>Package 3 Clubhouse Buildout</b>	<b>05.10 Structural &amp; Misc. Steel</b>			<b>363,131</b>	
<b>Package 4.1 Team Shop Improvements</b>						
<b>05.10 Structural &amp; Misc. Steel</b>						
05 10 00	<b>Structural Steel Framing</b>		None		0	
05 30 00	<b>Metal Decking</b>		None			
05 50 00	<b>Metal Fabrications</b>	1	LS	5,000.00	5,000	
	HVAC New FC Support		None			Excluded, none anticipated
	Additional Misc. Metal					
<b>Subtotal:</b>	<b>Package 4.1 Team Shop Improvements</b>	<b>05.10 Structural &amp; Misc. Steel</b>			<b>5,000</b>	
<b>Package 4.2 Press Club Level</b>						
<b>05.10 Structural &amp; Misc. Steel</b>						
05 10 00	<b>Structural Steel Framing</b>					None Anticipated
05 30 00	<b>Metal Decking</b>					None Anticipated
05 50 00	<b>Metal Fabrications</b>	1	LS	108,653.00	108,653	
	Operable Wall Support Steel	1	LS		0	Included Above
	Glazed Garage Door Support P4-A716	1	LS		0	Included Above
	Erection	1	LS			Included Above
<b>Subtotal:</b>	<b>Package 4.2 Press Club Level</b>	<b>05.10 Structural &amp; Misc. Steel</b>			<b>108,653</b>	
<b>Package 4.3 City &amp; Ticket Offices</b>						
<b>05.10 Structural &amp; Misc. Steel</b>						
05 10 00	<b>Structural Steel Framing</b>	1	LS	35,237.00	35,237	
	Columns and Beams	1	LS			Included Above
05 30 00	<b>Metal Decking</b>					
	Roof Decking	1	LS			Included Above
	Sub Roof Decking		Excluded			Below existing patio structure
05 50 00	<b>Metal Fabrications</b>	1	LS			
	Erection					Included Above



Project: Scottsdale Stadium Multi-Use Event Center Improvements  
 Architect: DWL - Populous  
 Date: March 12, 2019

MASTER FORMAT CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	REMARKS
<b>Subtotal:</b>	<b>Package 4.3 City &amp; Ticket Offices</b>	<b>05.10 Structural &amp; Misc. Steel</b>			<b>35,237</b>	
<b>Package 4.4 Charros Lodge</b>						
<b>05.10 Structural &amp; Misc. Steel</b>						
05 10 00	<b>Structural Steel Framing</b>	1	LS	606,725.00	606,725	Included Above Excluded, per COS Direction
	New 2nd Floor Columns & Beams	1	LS			
	New Charros Lower Level Terrace Extension	1	LS			
	Tube Steel Canopy Framing	1	LS			
05 30 00	<b>Metal Decking</b>	1	LS			Included Above
	Floor Decking	1	LS			
05 50 00	<b>Metal Fabrications</b>	1	LS			Included Above Included Above Included Above Included Above
	Guardrail at Charros P4-A200	1	LS			
	Guardrail at Charros Mezzanine P4-A220/A501	1	LS			
	Handrail at CIP Stairs Charros P4-A200	1	LS			
	Charros stairs to Mezz P4-A200/A220	1	LS			
<b>Subtotal:</b>	<b>Package 4.4 Charros Lodge</b>	<b>05.10 Structural &amp; Misc. Steel</b>			<b>606,725</b>	
<b>Package 4.5 Right Field Bleachers</b>						
<b>05.10 Structural &amp; Misc. Steel</b>						
05 10 00	<b>Structural Steel Framing</b>		None			Excluded, future GMP Excluded, future GMP Excluded, future GMP Excluded, future GMP
05 50 00	<b>Metal Fabrications</b>		None			
	Aluminum Railing w/ Drink Rail P4-A201					
	Aluminum Stairs w/ Rail P4-A201					
	Modify Existing Bleachers P4-A201					
	Tree Grates					
<b>Subtotal:</b>	<b>Package 4.5 Right Field Bleachers</b>	<b>05.10 Structural &amp; Misc. Steel</b>			<b>0</b>	
<b>Package 4.6 Main Entry Plaza</b>						
<b>05.10 Structural &amp; Misc. Steel</b>						
05 10 00	<b>Structural Steel Framing</b>	1	LS	187,769.00	187,769	Included Above Included Above Included Above
	Modify Reuse Existing Entry Trusses P4-S224/S300	1	LS			
	New Columns & Additional Truss Steel	1	LS			
	Erection	1	LS			
05 30 00	<b>Metal Decking</b>		None			See 7.42 Metal Panels
	1 1/2" Perforated Metal Deck		None			
05 50 00	<b>Metal Fabrications</b>		None			
<b>Subtotal:</b>	<b>Package 4.6 Main Entry Plaza</b>	<b>05.10 Structural &amp; Misc. Steel</b>			<b>187,769</b>	
<b>TOTAL:</b>	<b>05.10 Structural &amp; Misc. Steel P1, P2, P3, P4</b>				<b>3,406,807</b>	
<b>07.10 Waterproofing P1 &amp; P2</b>						
<b>Package 1 Site Improvements</b>						
<b>07.10 Waterproofing</b>						
	Retaining Wall Waterproofing	1	LS	7,714.00	7,714	Included above
		1	LS			
<b>Subtotal:</b>	<b>Package 1 Site Improvements</b>	<b>07.10 Waterproofing</b>			<b>7,714</b>	



Project: Scottsdale Stadium Multi-Use Event Center Improvements  
 Architect: DWL - Populous  
 Date: March 12, 2019

MASTER FORMAT CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	REMARKS
<b>Package 2 Clubhouse Core &amp; Shell</b>						
<b>07.10 Waterproofing</b>						
07 10 00	Dampproofing and Waterproofing	1	LS	63,777.00	63,777	
	Cold Applied Waterproofing - Hydrotherapy Walls	1	LS			Included above
	Elevator Pit Waterproofing	1	LS			Included above
	Split Slab Waterproofing	1	LS			Included above
	Repair Existing Elevator & Tunnel Waterproofing	1	LS			Included above
<b>Subtotal:</b>	<b>Package 2 Clubhouse Core &amp; Shell</b>	<b>07.10 Waterproofing</b>			<b>63,777</b>	
<b>TOTAL:</b>	<b>07.10 Waterproofing P1 &amp; P2</b>				<b>71,491</b>	
<b>07.42 Metal Wall Panels P2, P4</b>						
<b>Package 2 Clubhouse Core &amp; Shell</b>						
<b>07.42 Metal Wall Panels</b>						
07 60 00	Flashing and Sheet Metal	1	LS	696,503.00	696,503	
	MTL-2 / Wall Type E4 - Pre-Finished Metal Panel	1	LS			Included above
	MTL-2 Coping Trim to Metal Panel	1	LS			Included above
	MTL-2 Fascia	1	LS			Included above
	Single Skin Aluminum Flashing Back of Wall Facia to Match MTL-2	1	LS			Included above
	MTL-3 Pre-Finished Metal Panel	1	LS			Included above
	MTL-6 Clear Anodized Aluminum		None			
	MTL-7 Perforated Metal	1	LS			Included above
	Metal Panel Soffits		None			
	Metal Roofing		None			
<b>Subtotal:</b>	<b>Package 2 Clubhouse Core &amp; Shell</b>	<b>07.42 Metal Wall Panels</b>			<b>696,503</b>	
<b>Package 4.3 City &amp; Ticket Offices</b>						
<b>07.42 Metal Wall Panels</b>						
07 60 00	Flashing and Sheet Metal	1	LS	88,382.00	88,382	
	Metal Roofing		None			
	MTL-2 Pre-Finished Metal Panel	1	LS			Included above
	Coping Trim to Metal Panel	1	LS			Included above
<b>Subtotal:</b>	<b>Package 4.3 City &amp; Ticket Offices</b>	<b>07.42 Metal Wall Panels</b>			<b>88,382</b>	
<b>Package 4.4 Charros Lodge</b>						
<b>07.42 Metal Wall Panels</b>						
						None
<b>Subtotal:</b>	<b>Package 4.4 Charros Lodge</b>	<b>07.42 Metal Wall Panels</b>			<b>0</b>	
<b>Package 4.6 Main Entry Plaza</b>						
<b>07.42 Metal Wall Panels</b>						
07 60 00	Flashing and Sheet Metal	1	LS	70,480.00	70,480	
	Perforated Metal Deck	1	LS			Included above
	Canopy - Louvers		NONE			
<b>Subtotal:</b>	<b>Package 4.6 Main Entry Plaza</b>	<b>07.42 Metal Wall Panels</b>			<b>70,480</b>	

# AECOM HUNT

Project: Scottsdale Stadium Multi-Use Event Center Improvements  
 Architect: DWL - Populous  
 Date: March 12, 2019

MASTER FORMAT CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	REMARKS
<b>TOTAL:</b>	<b>07.42 Metal Wall Panels P2, P4</b>				<b>855,365</b>	
	<b>07.52 Membrane Roofing P2, P4</b>					
	<b>Package 2 Clubhouse Core &amp; Shell</b>					
	<b>07.52 Membrane Roofing</b>					
07 50 00	Roofing	1	LS	415,115.00	415,115	
	R1 - TPO Roof Assembly	1	LS			Included above
07 70 00	Roof and Wall Specialties and Accessories	1	LS			Included above
	Roof Specialties					
<b>Subtotal:</b>	<b>Package 2 Clubhouse Core &amp; Shell</b>	<b>07.52 Membrane Roofing</b>			<b>415,115</b>	
	<b>Package 4.1 Team Shop Improvements</b>					
	<b>07.52 Membrane Roofing</b>					
07 50 00	Roofing	1	LS	5,000.00	5,000	
	Roof Penetration Repair Allowance					Allowance
	TPO Roofing					No new roof areas
	Repair/Replace Existing Roofing					Not Anticipated
<b>Subtotal:</b>	<b>Package 4.1 Team Shop Improvements</b>	<b>07.52 Membrane Roofing</b>			<b>5,000</b>	
	<b>Package 4.2 Press Club Level</b>					
	<b>07.52 Membrane Roofing</b>					
07 50 00	Roofing	1	LS	10,000.00	10,000	
	Roof Penetration Repair Allowance					Allowance
	TPO Roofing					No new roof areas
	Repair/Replace Existing Roofing					Not Anticipated
<b>Subtotal:</b>	<b>Package 4.2 Press Club Level</b>	<b>07.52 Membrane Roofing</b>			<b>10,000</b>	
	<b>Package 4.3 City &amp; Ticket Offices</b>					
	<b>07.52 Membrane Roofing</b>					
07 50 00	Roofing	1	LS	21,680.00	21,680	
	TPO Roofing	1	LS			Included above
<b>Subtotal:</b>	<b>Package 4.3 City &amp; Ticket Offices</b>	<b>07.52 Membrane Roofing</b>			<b>21,680</b>	
<b>TOTAL:</b>	<b>07.52 Membrane Roofing P2, P4</b>				<b>451,795</b>	
	<b>08.10 Doors, Frames &amp; Hardware P1, P2, P3, P4</b>					
	<b>Package 2 Clubhouse Core &amp; Shell</b>					
	<b>08.10 Doors, Frames &amp; Hardware</b>					
08 10 00	Doors and Frames	1	LS	69,939.00	69,939	
08 70 00	Hardware	1	LS			Included above
	Door Hardware	1	LS			Included above
	Access Control Hardware					Excluded
<b>Subtotal:</b>	<b>Package 2 Clubhouse Core &amp; Shell</b>	<b>08.10 Doors, Frames &amp; Hardware</b>			<b>69,939</b>	
	<b>Package 3 Clubhouse Buildout</b>					

# AECOM HUNT

Project: Scottsdale Stadium Multi-Use Event Center Improvements  
 Architect: DWL - Populous  
 Date: March 12, 2019

MASTER FORMAT CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	REMARKS
08.10 Doors, Frames & Hardware 08 10 00 08 70 00	Doors and Frames Hardware	1 1	LS LS	176,033.00	176,033	Allowance Included above
<b>Subtotal:</b>	<b>Package 3 Clubhouse Buildout</b>	<b>08.10 Doors, Frames &amp; Hardware</b>			<b>176,033</b>	
Package 4.2 Press Club Level 08.10 Doors, Frames & Hardware 08 10 00 08 70 00	Doors and Frames Hardware	1 1	LS LS	66,803.00	66,803	Allowance Included above
<b>Subtotal:</b>	<b>Package 4.2 Press Club Level</b>	<b>08.10 Doors, Frames &amp; Hardware</b>			<b>66,803</b>	
Package 4.3 City & Ticket Offices 08.10 Doors, Frames & Hardware 08 10 00 08 70 00	Doors and Frames Hardware	1 1	LS LS	26,430.00	26,430	Allowance Included above
<b>Subtotal:</b>	<b>Package 4.3 City &amp; Ticket Offices</b>	<b>08.10 Doors, Frames &amp; Hardware</b>			<b>26,430</b>	
<b>TOTAL:</b>	<b>08.10 Doors, Frames &amp; Hardware P1, P2, P3, P4</b>				<b>339,205</b>	
08.33 Overhead Coiling Doors P2 Package 2 Clubhouse Core & Shell 08.33 Overhead Coiling Doors 08 30 00	Specialty Doors & Frames Glass Sectional Doors Exterior Coiling Door	1	LS	7,783.00	7,783	See Glass
<b>Subtotal:</b>	<b>Package 2 Clubhouse Core &amp; Shell</b>	<b>08.33 Overhead Coiling Doors</b>			<b>7,783</b>	
Package 3 Clubhouse Buildout 08.33 Overhead Coiling Doors						None
<b>Subtotal:</b>	<b>Package 3 Clubhouse Buildout</b>	<b>08.33 Overhead Coiling Doors</b>			<b>0</b>	
Package 4.2 Press Club Level 08.33 Overhead Coiling Doors						None
<b>Subtotal:</b>	<b>Package 4.2 Press Club Level</b>	<b>08.33 Overhead Coiling Doors</b>			<b>0</b>	
<b>TOTAL:</b>	<b>08.33 Overhead Coiling Doors P2</b>				<b>7,783</b>	
08.40 Glazing Systems P2 Package 2 Clubhouse Core & Shell 08.40 Glazing Systems 08 40 00	Entrances, Storefront Storefront Doors, Including Hardware Stacking Sliding Glass Door	1 1 1	LS LS LS	634,400.00	634,400	Included above Included above





Project: Scottsdale Stadium Multi-Use Event Center Improvements  
 Architect: DWL - Populous  
 Date: March 12, 2019

MASTER FORMAT CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	REMARKS
08 70 00	Glass Sectional Doors	1	LS			Included above
	<b>Hardware</b>					
	Door Hardware	1	LS			Included above
08 50 00	Access Control Hardware					Excluded
	<b>Windows</b>					
	Skylights	1	LS			Included above
<b>Subtotal:</b>	<b>Package 2 Clubhouse Core &amp; Shell</b>	<b>08.40 Glazing Systems</b>			<b>634,400</b>	
<b>TOTAL:</b>	<b>08.40 Glazing Systems P2</b>				<b>634,400</b>	
<b>09.10 Framing &amp; Sheathing/Drywall P2, P3, P4</b>						
<b>Package 1 Site Improvements</b>						
	<b>09.10 Framing &amp; Sheathing/Drywall</b>					None
<b>Subtotal:</b>	<b>Package 1 Site Improvements</b>	<b>09.10 Framing &amp; Sheathing/Dry</b>			<b>0</b>	
<b>Package 2 Clubhouse Core &amp; Shell</b>						
	<b>09.10 Framing &amp; Sheathing/Drywall</b>	1	LS	422,000.00	422,000	
	Exterior Wall Framing & Sheathing	1	LS			Included above
<b>Subtotal:</b>	<b>Package 2 Clubhouse Core &amp; Shell</b>	<b>09.10 Framing &amp; Sheathing/Dry</b>			<b>422,000</b>	
<b>Package 3 Clubhouse Buildout</b>						
	<b>09.10 Framing &amp; Sheathing/Drywall</b>	1		720,220.00	720,220	Allowance
06 10 00	<b>Rough Carpentry</b>	1	LS			Included above
	Miscellaneous Rough Carpentry	1	LS			Included above
	Continuous Plywood Backing at Wall Surface					Not Anticipated
07 20 00	<b>Thermal Protection</b>					
	Insulation	1	LS			Included above
	Acoustic Deck Flute Insulation @ Multi-Purpose		Excluded			See Revised Metal Decking
07 80 00	<b>Fire and Smoke Protection</b>					
	Firestopping	1	LS			Included above
09 20 00	<b>Plaster and Gypsum Board</b>					
<b>Subtotal:</b>	<b>Package 3 Clubhouse Buildout</b>	<b>09.10 Framing &amp; Sheathing/Dry</b>			<b>720,220</b>	
<b>Package 4.1 Team Shop Improvements</b>						
	<b>09.10 Framing &amp; Sheathing/Drywall</b>	1	LS	8,950.00	8,950	Allowance
06 10 00	<b>Rough Carpentry</b>	1	LS			Included above
07 80 00	<b>Fire and Smoke Protection</b>					
	Fireproofing		None			
	Firestopping	1	LS			Included above
09 20 00	<b>Plaster and Gypsum Board</b>					
	Drywall Repairs	1	LS			Included above
<b>Subtotal:</b>	<b>Package 4.1 Team Shop Improvements</b>	<b>09.10 Framing &amp; Sheathing/Dry</b>			<b>8,950</b>	
<b>Package 4.2 Press Club Level</b>						
	<b>09.10 Framing &amp; Sheathing/Drywall</b>	1	LS	140,160.00	140,160	Allowance
06 10 00	<b>Rough Carpentry</b>	1	LS			Included above
07 20 00	<b>Thermal Protection</b>					
	Insulation	1	LS			Included above
07 80 00	<b>Fire and Smoke Protection</b>					

# AECOM HUNT

Project: Scottsdale Stadium Multi-Use Event Center Improvements  
 Architect: DWL - Populous  
 Date: March 12, 2019

MASTER FORMAT CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	REMARKS
09 20 00	Fireproofing Firestopping Plaster and Gypsum Board	1	None LS			Included above
<b>Subtotal:</b>	<b>Package 4.2 Press Club Level</b>		<b>09.10 Framing &amp; Sheathing/Dry</b>		<b>140,160</b>	
<b>Package 4.3 City &amp; Ticket Offices</b>						
09.10 Framing & Sheathing/Drywall						Allowance
06 10 00	Rough Carpentry	1	LS	135,000.00	135,000	Included above
07 20 00	Thermal Protection					
	Insulation	1	LS			Included above
07 80 00	Fire and Smoke Protection					
	Fireproofing	1	None			Included above
	Firestopping	1	LS			Included above
09 20 00	Plaster and Gypsum Board	1	LS			Included above
<b>Subtotal:</b>	<b>Package 4.3 City &amp; Ticket Offices</b>		<b>09.10 Framing &amp; Sheathing/Dry</b>		<b>135,000</b>	
<b>TOTAL:</b>	<b>09.10 Framing &amp; Sheathing/Drywall P2, P3, P4</b>				<b>1,426,330</b>	
<b>09.24 EIFS P2</b>						
<b>Package 2 Clubhouse Core &amp; Shell</b>						
09.24 EIFS						
07 24 00	Exterior Insulation and Finish Systems	1	LS	194,580.00	194,580	Included above
	EIFS-1 / Wall Type E3 (Drainable System)	1	LS			Included above
	Exterior Skin Inspection & Testing	1	LS			Included above
<b>Subtotal:</b>	<b>Package 2 Clubhouse Core &amp; Shell</b>		<b>09.24 EIFS</b>		<b>194,580</b>	
<b>Package 4.1 Team Shop Improvements</b>						
09.24 Cement Plastering / EIFS						None
<b>Subtotal:</b>	<b>Package 4.1 Team Shop Improvements</b>		<b>09.24 Cement Plastering / EIFS</b>		<b>0</b>	
<b>Package 4.2 Press Club Level</b>						
09.24 Cement Plastering / EIFS						None
<b>Subtotal:</b>	<b>Package 4.2 Press Club Level</b>		<b>09.24 Cement Plastering / EIFS</b>		<b>0</b>	
<b>Package 4.3 City &amp; Ticket Offices</b>						
09.24 Cement Plastering / EIFS						None
<b>Subtotal:</b>	<b>Package 4.3 City &amp; Ticket Offices</b>		<b>09.24 Cement Plastering / EIFS</b>		<b>0</b>	
<b>TOTAL:</b>	<b>09.24 EIFS P2</b>				<b>194,580</b>	
<b>10.22 Operable Partitions P3, P4</b>						



Project: Scottsdale Stadium Multi-Use Event Center Improvements  
 Architect: DWL - Populous  
 Date: March 12, 2019

MASTER FORMAT CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	REMARKS
<b>Package 3 Clubhouse Buildout</b>						
<b>10.22 Operable Partitions</b>						
	Folding Panel Door at Multipurpose & Food Delivery (1 EA)	1	LS	10,850.00	10,850	Allowance
<b>Subtotal:</b>	<b>Package 3 Clubhouse Buildout</b>	<b>10.22 Operable Partitions</b>			<b>10,850</b>	
<b>Package 4.2 Press Club Level</b>						
<b>10.22 Operable Partitions</b>						
10.20.00	Operable Partitions	1	LS	39,850.00	39,850	Allowance
	New Operable Partitions (2 ea)	1	LS			Included above
	Reskin Existing Operable Walls (2 ea)	1	LS			Included above
<b>Subtotal:</b>	<b>Package 4.2 Press Club Level</b>	<b>10.22 Operable Partitions</b>			<b>39,850</b>	
<b>TOTAL:</b>	<b>10.22 Operable Partitions P3, P4</b>				<b>50,700</b>	
<b>11.40 Food Service P3 &amp; P4</b>						
<b>Package 3 Clubhouse Buildout</b>						
<b>11.40 Food Service</b>						
	Kitchen Equipment (Per Food Service Drawings)	1	LS	489,379.00	489,379	Allowance
	Residential Appliance Allowance	1	LS	3,000.00	3,000	
<b>Subtotal:</b>	<b>Package 3 Clubhouse Buildout</b>	<b>11.40 Food Service</b>			<b>492,379</b>	
<b>Package 4.2 Press Club Level</b>						
<b>11.40 Food Service</b>						
	Residential Appliance Allowance	1	LS	1,500.00	1,500	Allowance
<b>Subtotal:</b>	<b>Package 4.2 Press Club Level</b>	<b>11.40 Food Service</b>			<b>1,500</b>	
<b>Package 4.3 City &amp; Ticket Offices</b>						
<b>11.40 Food Service</b>						
			None			
<b>Subtotal:</b>	<b>Package 4.3 City &amp; Ticket Offices</b>	<b>11.40 Food Service</b>			<b>0</b>	
<b>Package 4.4 Charros Lodge</b>						
<b>11.40 Food Service</b>						
			None			
<b>Subtotal:</b>	<b>Package 4.4 Charros Lodge</b>	<b>11.40 Food Service</b>			<b>0</b>	
<b>TOTAL:</b>	<b>11.40 Food Service P3 &amp; P4</b>				<b>493,879</b>	
<b>14.42 Wheelchair Lift P4</b>						
<b>Package 4.4 Charros Lodge</b>						
<b>14.42 Wheelchair Lift</b>						
14.40.00	Wheelchair Lifts	1	LS	54,280.00	54,280	Floor mount (no installation pit)
	Wheelchair Lift					



Project: Scottsdale Stadium Multi-Use Event Center Improvements  
 Architect: DWL - Populous  
 Date: March 12, 2019

MASTER FORMAT CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	REMARKS
<b>Subtotal:</b>	<b>Package 4.4 Charros Lodge</b>	<b>14.42</b>	<b>Wheelchair Lift</b>		<b>54,280</b>	
<b>TOTAL:</b>	<b>14.42 Wheelchair Lift P4</b>				<b>54,280</b>	
<b>14.10 Elevator P2, P3</b>						
<b>Package 3 Clubhouse Buildout</b>						
<b>14.10 Elevator</b>						
14 24 00	<b>Elevators</b>					
	Modernize Existing Elevator (Finishes, EQ, Code, Etc.)	1	None			Excluded
	Recertify Existing Elevator - Allowance	1	ALLOW	12,000.00	12,000	Allowance
	Passenger Elevator, 4,500# Hydraulic, Standard Cab Finishes	1	LS	151,550.00	151,550	
	Construction Operator for Material Hoisting	1	LS			Included above
<b>Subtotal:</b>	<b>Package 3 Clubhouse Buildout</b>	<b>14.10</b>	<b>Elevator</b>		<b>163,550</b>	
<b>Package 4.2 Press Club Level</b>						
<b>14.10 Elevator</b>						
	Recertify Existing Elevator - Allowance		None			Excluded
<b>Subtotal:</b>	<b>Package 4.2 Press Club Level</b>	<b>14.10</b>	<b>Elevator</b>		<b>0</b>	
<b>Package 4.4 Charros Lodge</b>						
<b>14.10 Elevator</b>						
	Recertify Existing Elevator - Allowance		None			Excluded
<b>Subtotal:</b>	<b>Package 4.4 Charros Lodge</b>	<b>14.10</b>	<b>Elevator</b>		<b>0</b>	
<b>TOTAL:</b>	<b>14.10 Elevator P2, P3</b>				<b>163,550</b>	
<b>21.00 Fire Protection P1, P2, P3, P4</b>						
<b>Package 1 Site Improvements</b>						
<b>21.00 Fire Protection</b>						
	Reconnect Main from Demo Building to Team Shop	1	LS	5,200.00	5,200	Included above
<b>Subtotal:</b>	<b>Package 1 Site Improvements</b>	<b>21.00</b>	<b>Fire Protection</b>		<b>5,200</b>	
<b>Package 2 Clubhouse Core &amp; Shell</b>						
<b>21.00 Fire Protection</b>						
	Fire Sprinklers	1	LS	150,900.00	150,900	Included above
	Fire Riser	1	LS			Included above
	Fire Pump	1	None			
<b>Subtotal:</b>	<b>Package 2 Clubhouse Core &amp; Shell</b>	<b>21.00</b>	<b>Fire Protection</b>		<b>150,900</b>	
<b>Package 3 Clubhouse Buildout</b>						
<b>21.00 Fire Protection</b>						
21 00 00	<b>Fire Suppression</b>	1	LS	24,600.00	24,600	Included above
	Fire Sprinklers - TI Portion	1	LS			
21 13 17	<b>Double Interlock Pre-Action Sprinkler System</b>		None			





Project: Scottsdale Stadium Multi-Use Event Center Improvements  
 Architect: DWL - Populous  
 Date: March 12, 2019

MASTER FORMAT CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	REMARKS
	Kitchen Plumbing Rough In	1	LS			Included Above
	Laundry Plumbing Rough In	1	LS			Included Above
	Roof Drain & Overflow	1	LS			Included Above
	Additional Plumbing Requirements	1	LS			Included Above
	Grease Interceptor	1	LS			Included Above
	Balance of P3, P4 Scope		Excluded			Future GMP
<b>Subtotal:</b>	<b>Package 2 Clubhouse Core &amp; Shell</b>	<b>22.00 Plumbing</b>			<b>313,558</b>	
<b>TOTAL:</b>	<b>22.00 Plumbing P1 &amp; P2</b>				<b>329,948</b>	
<b>23.00 HVAC P1 &amp; P2</b>						
<b>Package 1 Site Improvements</b>						
<b>23.00 HVAC</b>						None
<b>Subtotal:</b>	<b>Package 1 Site Improvements</b>	<b>23.00 HVAC</b>			<b>0</b>	
<b>Package 2 Clubhouse Core &amp; Shell</b>						
<b>23.00 HVAC</b>						
23 00 00	H V A C	1	LS	988,101.00	988,101	Included above
25 00 00	Integrated Automation	1	LS			Included above
	Chiller Serving Clubhouse and Stadium	1	LS			Included above
	Air Handlers	1	LS			Included above
	Hydrotherapy AHU	1	LS			Included above
	BIM Coordination	1	LS			Included above
	HVAC & Main Distribution	1	LS			Included above
	Balance of P3, P4 Scope		Excluded			Future GMP
<b>Subtotal:</b>	<b>Package 2 Clubhouse Core &amp; Shell</b>	<b>23.00 HVAC</b>			<b>988,101</b>	
<b>TOTAL:</b>	<b>23.00 HVAC P1 &amp; P2</b>				<b>988,101</b>	
<b>26.00 Electrical &amp; Technology P1 &amp; P2</b>						
<b>Package 1 Site Improvements</b>						
<b>26.00 Electrical</b>						
33 70 00	Electrical Utilities	1	LS	654,371.00	654,371	
	Cut Cap, Make Safe and Marking for Demo	1	LS			Included above
	Cut Cap, Make Safe and Marking for Salvage	1	LS			Included above
	Salvage & Relocate Existing Service Entrance and panels	1	LS			Included above
	Salvage Existing Generator	1	LS			Included above
	APS new electrical service per APS engineered	1	LS			Included above
	APS conduit inspection in Osborn between pull boxes	1	LS			Included above
	APS Traffic Rated Feeder Pull Box	1	LS			Included above
	Feeder Cable by APS	1	LS			Included above
	Pathway Allowance to Broadcast Truck Station - Underground	1	LS			Included above
	Site Light Poles (no concrete bases)	1	LS			Included above
	Site Light Bollards	1	LS			Included above
	Site Power Pedistals	1	LS			Included above
	Communications Utilities	1	LS			Included above
	Utility Adjustment, Rerouting, Realignment	1	LS			Included above



Project: Scottsdale Stadium Multi-Use Event Center Improvements  
 Architect: DWL - Populous  
 Date: March 12, 2019

MASTER FORMAT CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	REMARKS
	Heat Trace on SS line from Grease interceptor	1	LS			Included above
	LOW VOLTAGE / IT UNDERGROUND INFRASTRUCTURE	1	LS			Included above
	Main Pathway Conduit Infrastructure	1	LS			Included above
	Excavation and backfill	1	LS			Included above
	Pull Boxes	1	LS			Included above
	Pedestals	1	LS			Included above
<b>Subtotal:</b>	<b>Package 1 Site Improvements</b>	<b>26.00</b>	<b>Electrical</b>		<b>654,371</b>	
<b>Package 2 Clubhouse Core &amp; Shell</b>						
	<b>26.00 Electrical</b>					
26 00 00	<b>Electrical</b>	1	LS	396,511.00	396,511	
	Building Electrical	1	LS			Included above
	Multi-Purpose Room Floor Boxes (Alt. 5)	1	LS			Included above
	Multi-Purpose Room Company Switches	1	LS			Included above
	Multi-Purpose Room Duct Bank	1	LS			Included above
	Ductbanks - elec and telecom	1	LS			Included above
	Central Plant Electrical	1	LS			Included above
	Clubhouse Generator	1	LS			Included above
	Clubhouse Generator Manual Transfer Connection	1	LS			Included above
	Temporary Power Provisions during Relocation	1	LS			Included above
	Temporary Power - Teamshop/Jobsite Office	1	LS			Included above
	Temporary Power - Construction	1	LS			Included above
	Temporary Lighting	1	LS			Included above
	Detail Final Connections to Equipment	1	LS			Included above
	Long Lead Equipment	1	LS			Included above
	Schedule Adherence	1	LS			Included above
	BIM Coordination	1	LS			Included above
	3rd Party Testing	1	LS			Included above
	Balance of P3, P4 Scope		Excluded			Future GMP
<b>Subtotal:</b>	<b>Package 2 Clubhouse Core &amp; Shell</b>	<b>26.00</b>	<b>Electrical</b>		<b>396,511</b>	
<b>TOTAL:</b>	<b>26.00 Electrical &amp; Technology P1. &amp; P2</b>				<b>1,050,882</b>	
<b>31.10 Earthwork &amp; Asphalt P1</b>						
<b>Package 1 Site Improvements</b>						
	<b>31.10 Earthwork &amp; Asphalt</b>					
31 10 00	<b>Site Clearing</b>	1	LS	245,174.00	245,174	Included above
31 20 00	<b>Earthmoving</b>					Included above
	Grading - Cuts to Fills					Included above
	Import Fill					Included above
	Place Fill					Included above
	SWPP Initial Installation					Included above
<b>Subtotal:</b>	<b>Package 1 Site Improvements</b>	<b>31.10</b>	<b>Earthwork &amp; Asphalt</b>		<b>245,174</b>	
<b>Package 2 Clubhouse Core &amp; Shell</b>						
	<b>31.10 Earthwork &amp; Asphalt</b>					
31 10 00	<b>Site Clearing</b>	1	LS	101,930.00	101,930	Included above
31 20 00	<b>Earthmoving</b>					Included above
	Grading - Cuts to Fills					Included above
	Import Fill					Included above
	Place Fill					Included above
	Backfill Retaining Walls					Included above



Project: Scottsdale Stadium Multi-Use Event Center Improvements  
 Architect: DWL - Populous  
 Date: March 12, 2019

MASTER FORMAT CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	REMARKS
31 40 00 31 60 00	Excavate Hydrotherapy Basement Shoring and Underpinning Special Foundations & Load Bearing Elements Helical Piers					Included above None Anticipated None Anticipated None Anticipated
<b>Subtotal:</b>	<b>Package 2 Clubhouse Core &amp; Shell</b>	<b>31.10</b>	<b>Earthwork &amp; Asphalt</b>		<b>101,930</b>	
Package 4.3 31.10	City & Ticket Offices Earthwork & Asphalt					w/Package 1 Site Improvements 31.10
<b>Subtotal:</b>	<b>Package 4.3 City &amp; Ticket Offices</b>	<b>31.10</b>	<b>Earthwork &amp; Asphalt</b>		<b>0</b>	
Package 4.5 31.10	Right Field Bleachers Earthwork & Asphalt					w/Package 1 Site Improvements 31.10
31 10 00 31 20 00	Site Clearing Earthmoving				0	
<b>Subtotal:</b>	<b>Package 4.5 Right Field Bleachers</b>	<b>31.10</b>	<b>Earthwork &amp; Asphalt</b>		<b>0</b>	
Package 4.6 31.10	Main Entry Plaza Earthwork & Asphalt					w/Package 1 Site Improvements 31.10
31 10 00 31 20 00	Site Clearing Earthmoving Grading - Cuts to Fills Asphalt Paving Parking Lot Striping & Signage					Included above Included above Included above
<b>Subtotal:</b>	<b>Package 4.6 Main Entry Plaza</b>	<b>31.10</b>	<b>Earthwork &amp; Asphalt</b>		<b>0</b>	
<b>TOTAL:</b>	<b>31.10 Earthwork &amp; Asphalt P1</b>				<b>347,104</b>	
32.00	Landscaping / Irrigation P1					
Package 1 32.00	Site Improvements Landscaping / Irrigation	1	LS	339,255.00	339,255	
32 80 00 32 90 00	Irrigation Planting Landscape Area Tree Salvage and Relocation Landscape Repairs (Due to Utilities, Construction Activities)					Included above Excluded in ALL PHASES Included above
<b>Subtotal:</b>	<b>Package 1 Site Improvements</b>	<b>32.00</b>	<b>Landscaping / Irrigation</b>		<b>339,255</b>	
Package 2 32.00	Clubhouse Core & Shell Landscaping / Irrigation					w/Package 1
<b>Subtotal:</b>	<b>Package 2 Clubhouse Core &amp; Shell</b>	<b>32.00</b>	<b>Landscaping / Irrigation</b>		<b>0</b>	
Package 4.5 32.00	Right Field Bleachers Landscaping / Irrigation					w/Package 1





Project: Scottsdale Stadium Multi-Use Event Center Improvements  
 Architect: DWL - Populous  
 Date: March 12, 2019

MASTER FORMAT CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	REMARKS
<b>Subtotal:</b>	<b>Package 4.5 Right Field Bleachers</b>	<b>32.00</b>	<b>Landscaping / Irrigation:</b>		<b>0</b>	
	<b>Package 4.6 Main Entry Plaza</b>					
	32.00 Landscaping / Irrigation					w/Package 1
	32 80 00 Irrigation					
	32 90 00 Planting					
<b>Subtotal:</b>	<b>Package 4.6 Main Entry Plaza</b>	<b>32.00</b>	<b>Landscaping / Irrigation:</b>		<b>0</b>	
<b>TOTAL:</b>	<b>32.00 Landscaping / Irrigation P1</b>				<b>339,255</b>	
	<b>32.12 Site Concrete P1, P2, P4</b>					
	<b>Package 1 Site Improvements</b>					
	32.12 Site Concrete					
	32 10 00 Bases, Ballasts and Paving	1	LS	742,435.00	742,435	
	6" Concourse Concrete Plaza	1	LS			Included above
	Curbs	1	LS			Included above
	Retaining Wall Footings	1	LS			Included above
	CIP Retaining Wall	1	LS			Included above
	CIP Stairs	1	LS			Included above
	Trash Enclosure Footings	1	LS			Included above
	Trash Enclosure Slab	1	LS			Included above
	Footings for ramp wall next to Trash Enclosure	1	LS			Included above
	Supply & Install 10ea Additional Bollards for SW Gas Meter Protection	1	LS	7,500.00	7,500	Allowance
<b>Subtotal:</b>	<b>Package 1 Site Improvements</b>	<b>32.12</b>	<b>Site Concrete</b>		<b>749,935</b>	
	<b>Package 4.1 Team Shop Improvements</b>					
	32.12 Site Concrete					w/Package 1
<b>Subtotal:</b>	<b>Package 4.1 Team Shop Improvements</b>	<b>32.12</b>	<b>Site Concrete</b>		<b>0</b>	
	<b>Package 4.3 City &amp; Ticket Offices</b>					
	32.12 Site Concrete					w/Package 1
<b>Subtotal:</b>	<b>Package 4.3 City &amp; Ticket Offices</b>	<b>32.12</b>	<b>Site Concrete</b>		<b>0</b>	
	<b>Package 4.5 Right Field Bleachers</b>					
	32.12 Site Concrete					w/Package 1
<b>Subtotal:</b>	<b>Package 4.5 Right Field Bleachers</b>	<b>32.12</b>	<b>Site Concrete</b>		<b>0</b>	
	<b>Package 4.6 Main Entry Plaza</b>					
	32.12 Site Concrete					w/Package 1
<b>Subtotal:</b>	<b>Package 4.6 Main Entry Plaza</b>	<b>32.12</b>	<b>Site Concrete</b>		<b>0</b>	
<b>TOTAL:</b>	<b>32.12 Site Concrete P1, P2, P4</b>				<b>749,935</b>	



Project: Scottsdale Stadium Multi-Use Event Center Improvements  
 Architect: DWL - Populous  
 Date: March 12, 2019

MASTER FORMAT CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	REMARKS
<b>33.00 Site Utilities P1</b>						
<b>Package 1 Site Improvements</b>						
<b>33.00 Site Utilities</b>						
33 10 00	Water Utilities	1	LS	514,877.00	514,877	Included above
33 30 00	Sanitary Sewer System	1	LS			Included above
33 40 00	Storm Drain System	1	LS			Included above
33 50 00	Fuel Distribution Utilities	1	LS			Extend Private Gas Service
	Gasline Trenching & Backfill	1	LS			Included above
	Gasline Conduit & Shading	1	LS			Included above
<b>Subtotal:</b>	<b>Package 1 Site Improvements</b>	<b>33.00 Site Utilities</b>			<b>514,877</b>	
<b>TOTAL:</b>	<b>33.00 Site-Utilities P1</b>				<b>514,877</b>	
<b>DBM Cost of Work (Labor, Materials, Equipment, Warranty)</b>						
<b>DBM Cost of Work</b>						
<b>Package 1 Site Improvements</b>						
<b>DBM Cost of Work</b>						
DIVISION	1 - GENERAL REQUIREMENTS					
	Final Cleaning - Building	30,365	SF	0.75	22,774	
	Final Cleaning - Hardscape	75,000	SF	0.25	18,750	
	Temporary Protection	30,365	SF	0.50	15,183	
	Storage of Owner FF&E, Move Out or Move In		None			Excluded
	Construction Surveying	200	HR	300.00	60,000	
<b>Subtotal:</b>	<b>Package 1 Site Improvements</b>	<b>DBM Cost of Work</b>			<b>116,706</b>	
<b>Package 2 Clubhouse Core &amp; Shell</b>						
<b>DBM Cost of Work</b>						
DIVISION	1 - GENERAL REQUIREMENTS					Pending Final Start Date / Contract
	Weather Protection	1	LS	10,000.00	10,000	
	Roof of Existing Clubhouse Stair & Elevator Shaft	1	LS			Included above
	Floor Area on West/South/East Sides of Existing Clubhouse Elevator	1	LS			Included above
	Scaffold Stair					Excluded
	Pedestrian Walkway Cover					Excluded
<b>Subtotal:</b>	<b>Package 2 Clubhouse Core &amp; Shell</b>	<b>DBM Cost of Work</b>			<b>10,000</b>	
<b>Package 3 Clubhouse Buildout</b>						
<b>DBM Cost of Work</b>						
DIVISION	1 - GENERAL REQUIREMENTS					
	Final Cleaning	43,001	SF	0.75	32,251	
<b>Subtotal:</b>	<b>Package 3 Clubhouse Buildout</b>	<b>DBM Cost of Work</b>			<b>32,251</b>	
<b>Package 4.1 Team Shop Improvements</b>						
<b>DBM Cost of Work</b>						
DIVISION	1 - GENERAL REQUIREMENTS					
	Final Cleaning	2,700	SF	0.75	2,025	
<b>Subtotal:</b>	<b>Package 4.1 Team Shop Improvements</b>	<b>DBM Cost of Work</b>			<b>2,025</b>	

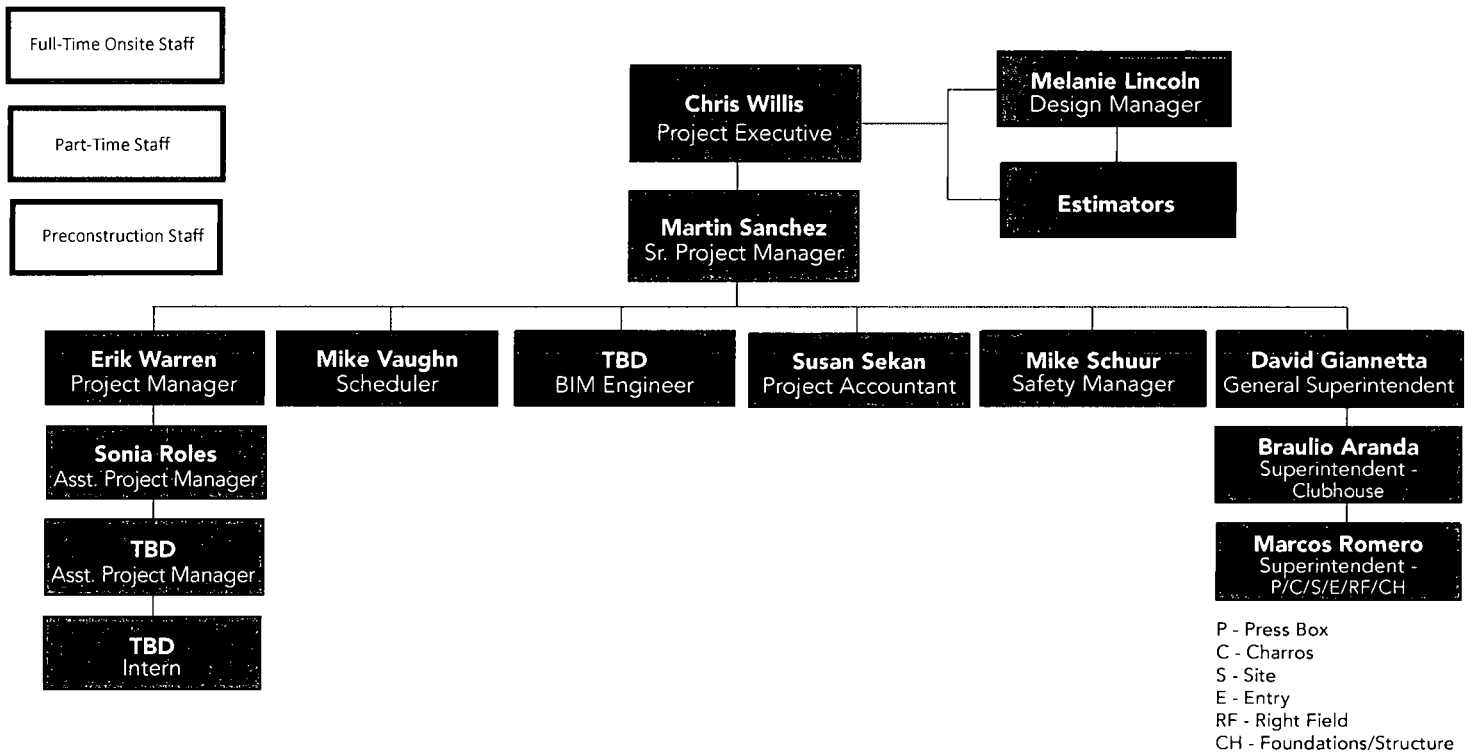


Project: Scottsdale Stadium Multi-Use Event Center Improvements  
 Architect: DWL - Populous  
 Date: March 12, 2019

MASTER FORMAT CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	REMARKS
	<b>Package 4.2 Press Club Level</b> DBM Cost of Work DIVISION 1 - GENERAL REQUIREMENTS Final Cleaning	8,800	SF	0.75	6,600	
<b>Subtotal:</b>	<b>Package 4.2 Press Club Level</b>				<b>6,600</b>	
	<b>Package 4.3 City &amp; Ticket Offices</b> DBM Cost of Work DIVISION 1 - GENERAL REQUIREMENTS Final Cleaning	2,544	SF	0.75	1,908	
<b>Subtotal:</b>	<b>Package 4.3 City &amp; Ticket Offices</b>				<b>1,908</b>	
	<b>Package 4.4 Charros Lodge</b> DBM Cost of Work DIVISION 1 - GENERAL REQUIREMENTS Final Cleaning	13,850	SF	0.25	3,463	
<b>Subtotal:</b>	<b>Package 4.4 Charros Lodge</b>				<b>3,463</b>	
	<b>Package 4.5 Right Field Bleachers</b> DBM Cost of Work DIVISION 1 - GENERAL REQUIREMENTS Final Cleaning	11,030	SF	0.25	2,758	
<b>Subtotal:</b>	<b>Package 4.5 Right Field Bleachers</b>				<b>2,758</b>	
	<b>Package 4.6 Main Entry Plaza</b> DBM Cost of Work DIVISION 1 - GENERAL REQUIREMENTS Final Cleaning	38,399	SF	0.25	9,600	
<b>Subtotal:</b>	<b>Package 4.6 Main Entry Plaza</b>				<b>9,600</b>	
<b>TOTAL:</b>	<b>DBM Cost of Work</b>				<b>185,310</b>	



### Scottsdale Multi-Use Building and Renovation





January 24, 2019  
Revised: February 5, 2019  
Revised: February 25, 2019

Chris M. Willis, LEED® BD+C  
Project Executive  
Hunt Construction Group An AECOM Company  
7720 North 16th Street, Suite 100  
Phoenix, Arizona 85020

RE: Scottsdale Stadium Multi-use Event Center Improvements  
Architectural and Engineering Services  
Scope and Fee Proposal – **Construction Administration/Observation**  
Phase 1 & 2

Dear Chris:

We are very pleased for this opportunity to submit an Architectural and Engineering Services scope and fee proposal for the Scottsdale Stadium Multi-use Event Center Improvements. The scope of this project is to provide Architectural and Engineering Construction Phase Services (Construction Administration) for Phase 1 & 2 improvements at Scottsdale Stadium. This scope includes the following services as outlined in our contract.

1. The Design Team shall review and approve or take other appropriate action upon submittals such as shop drawings, product data and samples forwarded to the Consultant by the Design/Builder, for conformance with the design concept of the Work and with the information given in the Construction Documents. We will expeditiously review such submittals and apply the Design Teams' review comments or approval stamp prior to returning the submittal(s). The Design Teams' approval of a specific item shall not indicate review of an assembly of which the item is a component.
2. Upon request from the Design/Builder, the Design Team shall visit the site at intervals appropriate to the stage of construction to become generally familiar with the progress and quality of the Work and to note in general if the Work is proceeding in accordance with Construction Documents and to ascertain the amount of completion for Certificate of Pay Applications. *Note that due to budget issues in most cases consultants will be making visits once per month.*
- ~~3. Upon request from the Design/Builder, the Design Team will conduct the Substantial Completion inspection and assist in preparation of the punch list.~~
4. ~~Upon request from the Design/Builder, the Design Team will conduct final inspection and assist Design/Builder in final acceptance of Project.~~
5. Upon receipt of the marked up as-built drawings from the Design/Builder the Design Team will prepare record drawings reflecting the changes indicated. These will be in digital format PDF and DWG (Autocad).

PRINCIPALS  
Steve Rao, President  
Mark Deo, E-rec VP  
Peter Pascu, E-rec VP  
Dwight Todd, E-rec VP  
Sandra Kukla, E-rec VP  
Adam Sprenger, E-rec VP  
Michael Braun, E-rec VP  
Michael Haake, Chairman

ASSOCIATES  
Philip Ralston  
Kiyomi Kurooka  
Nithya Rachel Jabbaraj  
Mark Fulks  
Melissa Walter  
Jenia Lynn  
Sean Warfield  
Aihavan Rajasundaram  
Mary Ann Modzelowski



6. The Design Team shall provide written or graphic interpretations of the Construction Documents necessary for the proper execution or progress of the Work with reasonable promptness upon request of the Design/Builder, and we will, upon request of the Design/Builder, provide written opinions, within a reasonable time, on all matters relating to the execution of the Work or the interpretation of the Construction Documents.
7. The Design Team shall provide *limited* on-site technical representation for preconstruction conferences, mockup reviews, specified inspections and/or approvals and as necessary to promptly resolve technical questions and coordination issues so as not to interfere with or delay the orderly progression of construction activities.
8. We have provided an alternate for 2 days per week on site representation by a Senior Field Manager to assist in the day to day coordination of the project. Our belief is that this will reduce the amount of office time required for the project. Consequently, the base fee hours *have been* reduced.
9. *Arc Flash analysis will be provided as requested by the City of Scottsdale.*

**Consultants include:**

- Architectural (DWL/Populous)
- Civil (Dibble)
- Landscape Architecture (LSD)
- Structural (AV Schwan)
- Mechanical, Plumbing, Electrical, Fire Protection (LSW)
- IT, AV, Security/CCTV/DAS (LSW)
- Broadcast Sound System (Parsons)
- Food Service (Ricca)
- Geotechnical (Speedie)

**EXCLUSIONS**

In order to provide clarity and to prevent any misunderstandings, we want to identify items that are excluded from this proposal. If for any reason Hunt Construction requires these services, we can provide them for additional compensation.

1. Services from engineers or consultants not identified in this proposal and beyond this project's scope will not be provided
2. Testing or investigations requiring demolition of existing construction or other types of forensic investigation are not included in this proposal.
- ~~3. *Arc Flash Analysis*~~
4. All special inspections (structural, electrical, fireproofing, etc. as required by Building Code).
5. *All MEP Commissioning is excluded.*
- 6.

**COMPENSATION**

We propose to provide the previously mentioned design services as a Time and Materials, Not-to-Exceed fee as follows:



Services	Phase 1
Base Construction Admin	\$ 570,963
On-site representation 2 days	\$ 101,520
Addnl on site to 3 days	\$ 45,120
Arc Flash Analysis	\$ 28,520
**Reimbursables (printing)	\$ 5,000
**Estimated Travel	\$12,500
<b>Totals</b>	<b>\$763,623</b>

\*\*All Reimbursables including travel and accommodations shall be according to City of Scottsdale reimbursement policy R2-195.2. Pre-approved by the Contract Administrator. Receipts & narrative shall be provided.32

We are very grateful for this opportunity and look forward to working with you and the Hunt/AECOM team. If you have any questions or require further explanation regarding any item, please do not hesitate to contact me or Adam Sprenger.

Sincerely,

**DWL ARCHITECTS + PLANNERS, INC.**

A handwritten signature in black ink, appearing to read "Steve Rao", written over a horizontal line.

Steve Rao, AIA, LEED AP  
President

SR.vlr

Attachments

cc: Melanie Lincoln  
Adam Sprenger  
Anna Alexander



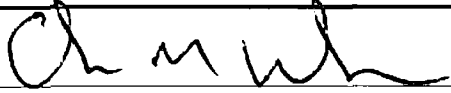
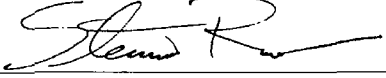
<b>DWL ARCHITECTS + PLANNERS, INC.</b>	<b>PHASE 1 &amp; 2 - Construction Administration</b>
<b>SCOTTSDALE STADIUM IMPROVEMENTS</b>	
Summary Phases 1 & 2	
<b>COMPENSATION ESTIMATE</b>	January 24, 2019 Rev: February 25, 2019
	<b>1821.00</b>

<b>Base CA Fee</b>		
Discipline	Firm / Company	Phase 1
Architecture/Design	DWL	\$ 307,982
Architecture/Design	Populous	\$ 104,000
MEP,FP,IT,Access Cntrl/DAS	LSW	\$ 75,680
Structural	AV-Schwan	\$ 22,705
Civil/ ALTA Survey	Dibble	\$ 31,530
Landscape Architecture	Logan Simpson	\$ 14,520
Geotechnical	Speedie	\$ 500
AV/Broadcast	Parsons	\$ 9,996
Food Service	Ricca	\$ 4,050
<b>TOTAL:</b>		<b>\$ 670,963</b>
<b>Additional Services Allowance</b>		
Allowance to increase to 3 days/wk on site representation		\$ 45,120
Arc Flash Hazard Analysis		\$ 28,520
2 days/week on-site representation		\$ 101,520
<b>TOTAL:</b>		<b>\$ 175,160</b>
<b>Subtotal Base and Add Service</b>		<b>\$ 746,123</b>
<b>Reimbursables</b>		
Printing, Courier, etc		\$ 5,000
Travel		\$ 12,500
<b>TOTAL Reimbursables</b>		<b>\$ 17,500</b>
<b>Grand Total</b>		<b>\$ 763,623</b>

optional  
 \$ 672,483 Base + 2 day on site

## PROJECT DOCUMENTS

The attached GMP 1 Project Document Log, dated 2/12/2019, lists all of the documents that were used in preparation of this GMP proposal. The documents themselves are also included for reference.

Plans Used for Preparation of GMP No. 1	
	2/25/2019
Design Build Manager (DBM)	Date
	2/25/2019
Design Consultant	Date
City of Scottsdale Project Manager	Date

100% CD AND PROGRESS SET

SHEET NO. TITLE ISSUE DATE ISSUED FOR

**GENERAL SHEETS**

**PACKAGE 1**

G003	AREA OF WORK	1/15/19	100% CONSTRUCTION DOCUMENTS
G008	PROJECT DATA AND GENERAL NOTES	1/15/19	100% CONSTRUCTION DOCUMENTS
G009	SYMBOLS AND ABBREVIATIONS	1/15/19	100% CONSTRUCTION DOCUMENTS
G010	CODE ANALYSIS -OVERALL SITE	1/15/19	100% CONSTRUCTION DOCUMENTS
G011	CODE ANALYSIS -STADIUM	1/15/19	100% CONSTRUCTION DOCUMENTS
G012	CODE PLANS -EXISTINGCLUBHOUSELEVEL	1/15/19	100% CONSTRUCTION DOCUMENTS
G013	CODE PLANS -STADIUMCONCOURSE	1/15/19	100% CONSTRUCTION DOCUMENTS
G014	CODE PLANS -STADIUM PRESS LEVEL	1/15/19	100% CONSTRUCTION DOCUMENTS
G020	CODE ANALYSIS -EVENT CENTER	1/15/19	100% CONSTRUCTION DOCUMENTS
G021	CODE PLANS -EVENT CENTER	1/15/19	100% CONSTRUCTION DOCUMENTS
G022	FIRE RATING DIAGRAM -EVENT CENTER FIRE SEPARATION	1/15/19	100% CONSTRUCTION DOCUMENTS
G023	FIRE RATING DIAGRAM -EVENT CENTER FIRST FLOOR	1/15/19	100% CONSTRUCTION DOCUMENTS
G024	FIRE RATING DIAGRAM -EVENT CENTER SECOND FLOOR	1/15/19	100% CONSTRUCTION DOCUMENTS
G025	FIRE RATING DIAGRAM -EVENT CENTER THIRD FLOOR	1/15/19	100% CONSTRUCTION DOCUMENTS
G050	FIRE RESISTIVE SYSTEMS NOTES	1/15/19	100% CONSTRUCTION DOCUMENTS
G051	FIRE RESISTIVE SYSTEMS	1/15/19	100% CONSTRUCTION DOCUMENTS
G052	FIRE RESISTIVE SYSTEMS	1/15/19	100% CONSTRUCTION DOCUMENTS
G053	FIRE RESISTIVE SYSTEMS	1/15/19	100% CONSTRUCTION DOCUMENTS
G054	FIRE RESISTIVE SYSTEMS	1/15/19	100% CONSTRUCTION DOCUMENTS
G110	WALL TYPES	2/6/19	ADDENDUM 01
G111	WALL TYPES	1/15/19	100% CONSTRUCTION DOCUMENTS
G112	WALL TYPES	1/15/19	100% CONSTRUCTION DOCUMENTS
G113	WALL TYPES	1/15/19	100% CONSTRUCTION DOCUMENTS
G114	WALL TYPES	1/15/19	100% CONSTRUCTION DOCUMENTS
G115	STOREFRONT TYPES	2/6/19	ADDENDUM 01
G116	WALL DETAILS	1/15/19	100% CONSTRUCTION DOCUMENTS
G120	FLOOR TYPES	1/15/19	100% CONSTRUCTION DOCUMENTS
G130	CEILING TYPES	1/15/19	100% CONSTRUCTION DOCUMENTS
G150	ROOF TYPES	1/15/19	100% CONSTRUCTION DOCUMENTS
G151	ROOF DETAILS	2/6/19	ADDENDUM 01
G152	ROOF DETAILS	2/6/19	ADDENDUM 01
G153	ROOF DETAILS	2/6/19	ADDENDUM 01
G170	DOOR DETAILS	1/15/19	100% CONSTRUCTION DOCUMENTS
G200	OVERALL SITE PLAN	1/15/19	100% CONSTRUCTION DOCUMENTS

**CIVIL**

**PACKAGE 1**

P1	COVER SHEET	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-G000	DRAWING INDEX	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-C1.1	COVER SHEET	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-C1.2	NOTES	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-C1.3	KEYMAP	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-C2.4	DEMOLITION PLAN	2/6/19	ADDENDUM 01
P1-C2.5	DEMOLITION PLAN	2/6/19	ADDENDUM 01
P1-C2.6	DEMOLITION PLAN	2/6/19	ADDENDUM 01
P1-C3.4	PAVING PLAN	2/6/19	ADDENDUM 01
P1-C3.5	PAVING PLAN	2/6/19	ADDENDUM 01
P1-C3.6	PAVING PLAN	2/6/19	ADDENDUM 01
P1-C4.4	GRADING & DRAINAGE PLAN	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-C4.5	GRADING & DRAINAGE PLAN	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-C4.6	GRADING & DRAINAGE PLAN	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-C4.10	STORM DRAIN PLAN	2/6/19	ADDENDUM 01

DOCUMENT LOG

100% CD AND PROGRESS SET

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR
P1-C4.11	STORM DRAIN PLAN	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-C4.12	STORM DRAIN PLAN	2/6/19	ADDENDUM 01
P1-C5.4	UTILITY PLAN	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-C5.5	UTILITY PLAN	2/6/19	ADDENDUM 01
P1-C5.6	UTILITY PLAN	2/6/19	ADDENDUM 01
P1-C6.1	DETAILS	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-C7.1	STORM WATER MANAGEMENT PLAN	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-C7.2	STORM WATER MANAGEMENT DETAILS	1/15/19	100% CONSTRUCTION DOCUMENTS

**LANDSCAPE**

**PACKAGE 1**

LC1.1	LANDSCAPE COVER	2/6/19	ADDENDUM 01
LP1.1	LANDSCAPE PROTECTIO AND REMOVAL	2/6/19	ADDENDUM 01
LP1.2	LANDSCAPE PROTECTIO AND REMOVAL	2/6/19	ADDENDUM 01
LH1.1	HARDSCAPE P AREA #1	2/6/19	ADDENDUM 01
LH1.2	HARDSCAPE P AREA #2	2/6/19	ADDENDUM 01
LH2.1	HARDSCAPE DETAILS	2/6/19	ADDENDUM 01
LH2.2	HARDSCAPE DETAILS	2/6/19	ADDENDUM 01
LL1.1	LANDSCAPE P	1/15/19	100% CONSTRUCTION DOCUMENTS
LL1.2	LANDSCAPE P	2/6/19	ADDENDUM 01
LL2.1	LANDSCAPE DETAILS	1/15/19	100% CONSTRUCTION DOCUMENTS
LI1.1	IRRIGATION PL AREA #1	2/6/19	ADDENDUM 01
LI1.2	IRRIGATION PL AREA #2	2/6/19	ADDENDUM 01
LI2-1	IRRIGATION DETAILS	1/15/19	100% CONSTRUCTION DOCUMENTS
LX1.1	HOME PLAT PLAZA BUILD-OUT ALTERNATE PLAN	1/15/19	100% CONSTRUCTION DOCUMENTS
LX1.2	HOME PLAT PLAZA BUILD-OUT ALTERNATE PLAN	2/6/19	ADDENDUM 01

**ARCHITECTURAL**

**PACKAGE 1**

P1-A010	OVERALL SITE DEMOLITION PLAN	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-A011	SITE DEMOLITION PLAN -HOME PLATE PLAZA	2/6/19	ADDENDUM 01
P1-A012	SITE DEMOLITION PLAN -PARKING LOT	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-A013	SITE DEMOLITION PLAN -RIGHT FIELD & CHARROS	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-A050	OVERALL SITE PLAN	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-A051	SITE PLAN -HOME PLATE PLAZA	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-A052	SITE PLAN -CLUBHOUSEPLAZA & PARKING	2/6/19	ADDENDUM 01
P1-A053	SITE PLAN - RIGHT FIELD & CHARROS	2/6/19	ADDENDUM 01
P1-A060	SITE DETAILS	2/6/19	ADDENDUM 01
P1-A061	SITE DETAILS	2/6/19	ADDENDUM 01
P1-A062	SITE DETAILS	2/6/19	ADDENDUM 01
P1-A063	SITE DETAILS	2/6/19	ADDENDUM 01
P1-A064	SITE DETAILS	2/6/19	ADDENDUM 01

**STRUCTURAL**

**PACKAGE 1**

P1-S200	PARTIAL (E) FLOOR FRAMING PLAN	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-S201	PARTIAL (E) ROOF FRAMING PLAN	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-S300	DETAILS	1/15/19	100% CONSTRUCTION DOCUMENTS

**MECHANICAL**

**PACKAGE 1**

P1-M001	MECHANICAL GENERAL SHEET	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-M101	MECH DEMO PLAN CONCOURSE AREAS A & B	1/15/19	100% CONSTRUCTION DOCUMENTS

DOCUMENT LOG

100% CD AND PROGRESS SET

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR
<b>PLUMBING</b>			
<b>PACKAGE 1</b>			
P1-P001	PLUMBING GENERAL SHEET	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-P101	PLUMBING DEMO PLAN CONCOURSE AREA A	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-P102	PLUMBING DEMO PLAN CONCOURSE AREA B	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-P103	PLUMBING DEMO PLAN CONCOURSE AREA F	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-P104	PLUMBING DEMO PLAN CONCOURSE AREA L	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-P105	PLUMBING DEMO PLAN CONCOURSE AREA M	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-P106	PLUMBING DEMO PLAN CONCOURSE AREA N	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-P107	PLUMBING DEMO PLAN CONCOURSE AREA O	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-P108	PLUMBING DEMO PLAN CONCOURSE AREA P	1/15/19	100% CONSTRUCTION DOCUMENTS
PT- P109	PLUMBING DEMO PLAN CONCOURSE MECHANICAL ROOM	1/15/19	100% CONSTRUCTION DOCUMENTS

<b>ELECTRICAL</b>			
<b>PACKAGE 1</b>			
P1-E001	ELECTRICALSYMBOLS	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-E002	FIXTURE SCHEDULE AND NOTES	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-E101	ELECTRICAL DEMOLITION SITE PLAN	2/6/19	ADDENDUM 01
P1-E102	ELECTRICAL SITE PLAN	2/6/19	ADDENDUM 01
P1-E201	ELEC DEMO PLAN CONCOURSE AREA A	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-E202	ELEC DEMO PLAN CONCOURSE AREA B	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-E203	ELEC DEMO PLAN CONCOURSE AREA E	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-E204	ELEC DEMO PLAN CONCOURSE AREA N	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-E205	ELEC DEMO PLAN CHARROS AREA F	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-E206	ELEC DEMO PLAN CONCOURSE ROOF AREA A	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-E207	ELEC DEMO PLAN CONCOURSE ROOF AREA B	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-E401	ELEC POWER PLAN CONCOURSE AREA N	2/6/19	ADDENDUM 01
P1-E501	ELECTRICAL ENLARGED POWER PLANS	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-E502	ELECTRICAL ENLARGED POWER PLANS	2/6/19	ADDENDUM 01
P1-E601	ELECTRICALDETAILS	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-E801	ELECTRICALFEEDERSCHEDULE	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-E811	ELECTRICAL DEMOLITION ONE-LINE DIAGRAMS	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-E812	ELECTRICAL DEMOLITION ONE-LINE DIAGRAMS	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-E813	ELECTRICAL DEMOLITION ONE-LINE DIAGRAMS	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-E814	ELECTRICAL DEMOLITION ONE-LINE DIAGRAMS	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-E821	ELECTRICAL ONE-LINE DIAGRAMS	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-E822	ELECTRICAL ONE-LINE DIAGRAMS	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-E831	ELECTRICAL ONE-LINE DIAGRAMS	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-E832	ELECTRICAL ONE-LINE DIAGRAMS	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-E841	ELECTRICAL ONE-LINE DIAGRAMS	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-E852	ELECTRICAL ONE-LINE DIAGRAMS	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-E900	ELECTRICAL CALCULATIONS	1/15/19	100% CONSTRUCTION DOCUMENTS

<b>TECHNOLOGY</b>			
<b>PACKAGE 1</b>			
P1-T101	TECHNOLOGY SITE PLAN	2/6/19	ADDENDUM 01
P1-T201	TECH DEMO PLAN CLUBHOUSE AREA A	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-T202	TECH DEMO PLAN CLUBHOUSE AREA B	1/15/19	100% CONSTRUCTION DOCUMENTS

<b>GENERAL SHEETS</b>			
<b>PACKAGE 2</b>			
P1	COVER SHEET	1/15/19	100% CONSTRUCTION DOCUMENTS

DOCUMENT LOG

100% CD AND PROGRESS SET

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR
P2-G000	DRAWING INDEX	1/15/19	100% CONSTRUCTION DOCUMENTS

**ARCHITECTURAL**

**PACKAGE 2**

P2-A050	OVERALL SITE PLAN	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-A051	P2 CLUBHOUSE OVERALL FIRST FLOOR PLAN	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-A052	P2 CLUBHOUSE OVERALL SECOND FLOOR PLAN	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-A053	P2 CLUBHOUSE OVERALL THIRD FLOOR PLAN	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-A200	CLUBHOUSE FIRST FLOOR PLAN AREA A	2/6/19	ADDENDUM 01
P2-A201	CLUBHOUSE FIRST FLOOR PLAN AREA B	2/6/19	ADDENDUM 01
P2-A202	CLUBHOUSE FIRST FLOOR PLAN AREA C	2/6/19	ADDENDUM 01
P2-A203	CLUBHOUSE FIRST FLOOR PLAN AREA D	2/6/19	ADDENDUM 01
P2-A204	CLUBHOUSE SECOND FLOOR PLAN AREA A	2/6/19	ADDENDUM 01
P2-A205	CLUBHOUSE SECOND FLOOR PLAN AREA B	2/6/19	ADDENDUM 01
P2-A206	CLUBHOUSE THIRD FLOOR PLAN AREA A	2/6/19	ADDENDUM 01
P2-A207	CLUBHOUSE THIRD FLOOR PLAN AREA B	2/6/19	ADDENDUM 01
P2-A220	CLUBHOUSE HIGH ROOF PLAN	2/6/19	ADDENDUM 01
P2-A221	CLUBHOUSE LOWER ROOF PLAN	2/6/19	ADDENDUM 01
P2-A222	CLUBHOUSE MULTIUSE ROOF PLAN	2/6/19	ADDENDUM 01
P2-A260	CLUBHOUSE BASEMENT	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-A400	CLUBHOUSE EXTERIOR ELEVATIONS	2/6/19	ADDENDUM 01
P2-A401	CLUBHOUSE EXTERIOR ELEVATIONS	2/6/19	ADDENDUM 01
P2-A402	CLUBHOUSE ENLARGED ELEVATIONS AND DETAILS	2/6/19	ADDENDUM 01
P2-A500	BUILDING SECTIONS	2/6/19	ADDENDUM 01
P2-A501	BUILDING SECTIONS	2/6/19	ADDENDUM 01
P2-A502	BUILDING SECTIONS	2/6/19	ADDENDUM 01
P2-A520	CLUBHOUSE WALL SECTIONS	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-A521	CLUBHOUSE WALL SECTIONS	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-A522	CLUBHOUSE WALL SECTIONS	2/6/19	ADDENDUM 01
P2-A523	CLUBHOUSE WALL SECTIONS MULTIUSE ROOM	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-A550	CLUBHOUSE WALL SECTION DETAILS	2/6/19	ADDENDUM 01
P2-A551	CLUBHOUSE WALL SECTION DETAILS	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-A552	CLUBHOUSE WALL SECTION DETAILS	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-A560	DETAILS	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-A600	STAIR 2 ENLARGED PLANS AND SECTIONS	2/6/19	ADDENDUM 01
P2-A601	STAIR 3 ENLARGED PLANS AND SECTIONS	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-A602	ELEVATOR DETAILS	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-A603	STAIR DETAILS	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-A604	STAIR DETAILS	2/6/19	ADDENDUM 01
P2-A700	DOOR SCHEDULE	2/6/19	ADDENDUM 01

**STRUCTURAL**

**PACKAGE 2**

P2-S100	GENERAL STRUCTURAL NOTES	2/6/19	ADDENDUM 01
P2-S101	GENERAL STRUCTURAL NOTES (CONT)	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-S102	TABLES	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-S103	TYPICAL DETAILS - CONCRETE	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-S104	TYPICAL DETAILS - CONCRETE	2/6/19	ADDENDUM 01
P2-S105	TYPICAL DETAILS - CMU	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-S106	TYPICAL DETAILS - METAL STUDS	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-S107	TYPICAL DETAILS - STEEL	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-S108	TYPICAL DETAILS - STEEL	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-S109	TYPICAL DETAILS STEEL	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-S110	SCHEDULES	2/6/19	ADDENDUM 01

DOCUMENT LOG

100% CD AND PROGRESS SET

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR
P2-S150	CLUBHOUSE - BASEMENT LEVEL FOUNDATION PLAN - AREA A	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-S200	CLUBHOUSE - FOUNDATIONPLAN -AREA A	2/6/19	ADDENDUM 01
P2-S201	CLUBHOUSE - FOUNDATIONPLAN -AREA B	2/6/19	ADDENDUM 01
P2-S202	CLUBHOUSE - FOUNDATIONPLAN -AREA C	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-S203	CLUBHOUSE - FOUNDATIONPLAN -AREA D	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-S220	CLUBHOUSE - 2nd FLOOR/LOW ROOF FRAMING PLAN - AREA A	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-S221	CLUBHOUSE - 2nd FLOOR/LOW ROOF FRAMING PLAN - AREA E	2/6/19	ADDENDUM 01
P2-S222	CLUBHOUSE - 3rd FLOOR FRAMING PLAN - AREA A & B	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-S223	CLUBHOUSE - HIGH ROOF FRAMING PLAN - AREA A & B	2/6/19	ADDENDUM 01
P2-S224	CLUBHOUSE - LOW ROOF FRAMING PLAN - AREA C & D	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-S225	CLUBHOUSE - HIGH ROOF FRAMING PLAN - AREA C & D	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-S300	ENLARGED FOUNDATION & FRAMING PLANS	2/6/19	ADDENDUM 01
P2-S301	FOUNDATIONDETAILS	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-S302	FOUNDATIONDETAILS	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-S400	FOUNDATIONDETAILS	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-S401	FOUNDATIONDETAILS	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-S500	FLOORFRAMINGDETAILS	2/6/19	ADDENDUM 01
P2-S501	FLOORFRAMINGDETAILS	2/6/19	ADDENDUM 01
P2-S600	ROOFFRAMINGDETAILS	2/6/19	ADDENDUM 01
P2-S601	ROOFFRAMINGDETAILS	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-S602	ROOFFRAMINGDETAILS	1/15/19	100% CONSTRUCTION DOCUMENTS

**MECHANICAL**

PACKAGE 2

P2-M001	MECHANICAL GENERAL SHEET	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-M201	MECH HVAC PLAN CLUBHOUSE FIRST FLOOR A	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-M202	MECH HVAC PLAN CLUBHOUSE FIRST FLOOR AREA B	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-M203	MECH HVAC PLAN CLUBHOUSE FIRST FLOOR AREA C	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-M204	MECH HVAC PLAN CLUBHOUSE FIRST FLOOR AREA D	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-M205	MECH HVAC PLAN CLUBHOUSE SECOND FLOOR AREA A & B	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-M206	MECH HVAC PLAN CLUBHOUSE THIRD FLOOR AREA A & B	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-M401	MECHANICAL DIAGRAMS	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-M701	MECHANICAL SCHEDULES	1/15/19	100% CONSTRUCTION DOCUMENTS

**PLUMBING**

PACKAGE 2

P2-P001	PLUMBING GENERAL SHEET	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-P201	PLUMBING DRAINAGE PLAN CLUBHOUSE C&S AREA A	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-P202	PLUMBING DRAINAGE PLAN CLUBHOUSE C&S AREA B	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-P203	PLUMBING DRAINAGE PLAN CLUBHOUSE C&S AREA C	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-P204	PLUMBING DRAINAGE PLAN CLUBHOUSE C&S AREA D	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-P205	PLUMBING WATER PLAN CLUBHOUSE C&S AREA A	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-P206	PLUMBING WATER PLAN CLUBHOUSE C&S AREA B	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-P207	PLUMBING WATER PLAN CLUBHOUSE C&S AREA D	1/15/19	100% CONSTRUCTION DOCUMENTS

**ELECTRICAL**

PACKAGE 2

P2-E001	ELECTRICAL SYMBOLS	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-E002	FIXTURE SCHEDULE AND NOTES	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-E101	ELECTRICAL PARTIAL SITE PLAN	2/6/19	ADDENDUM 01
P2-E601	ELECTRICAL DETAILS	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-E801	ELECTRICAL FEEDER SCHEDULE	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-E83A	ELECTRICAL ONE-LINE DIAGRAMS	1/15/19	100% CONSTRUCTION DOCUMENTS

DOCUMENT LOG

100% CD AND PROGRESS SET

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR
P2-E832	ELECTRICALONE-LINEDIAGRAMS	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-E852	ELECTRICALONE-LINEDIAGRAMS	1/15/19	100% CONSTRUCTION DOCUMENTS

**TECHNOLOGY**

**PACKAGE 2**

P2-T001	TECH GENERAL SHEET	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-T301	TECH C&S PLAN CLUBHOUSE FIRST FLOOR AREA A	2/6/19	ADDENDUM 01
P2-T302	TECH C&S PLAN CLUBHOUSE FIRST FLOOR AREA B	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-T303	TECH C&S PLANCLUBHOUSE FIRST FLOOR AREA C	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-T304	TECH C&S PLANCLUBHOUSE FIRST FLOOR AREA D	1/15/19	100% CONSTRUCTION DOCUMENTS

**GENERAL SHEETS**

**PACKAGE 3**

	COVER SHEET	1/15/19	PROGRESS SET
P3-G000	DRAWING INDEX	1/15/19	PROGRESS SET
P3-G001	DRAWING INDEX	1/15/19	PROGRESS SET

**ARCHITECTURAL**

**PACKAGE 3**

P3-A050	OVERALL SITE PLAN	1/15/19	PROGRESS SET
P3-A051	P3 CLUBHOUSE OVERALL FIRST FLOOR PLAN	1/15/19	PROGRESS SET
P3-A052	P3 OVERALL SECOND FLOOR PLAN	1/15/19	PROGRESS SET
P3-A053	P3 CLUBHOUSE THIRD FLOOR OVERALL PLAN	1/15/19	PROGRESS SET
P3-A200	CLUBHOUSE FIRST FLOOR PLAN AREA A	1/15/19	PROGRESS SET
P3-A200D	CLUBHOUSE FIRST FLOOR DIMENSION PLAN AREA A	1/15/19	PROGRESS SET
P3-A201	CLUBHOUSE FIRST FLOOR PLAN AREA B	1/15/19	PROGRESS SET
P3-A201D	CLUBHOUSE FIRST FLOOR DIMENSION PLAN AREA B	1/15/19	PROGRESS SET
P3-A202	CLUBHOUSE FIRST FLOOR PLAN AREA C	1/15/19	PROGRESS SET
P3-A202D	CLUBHOUSE FIRST FLOOR DIMENSION PLAN AREA C	1/15/19	PROGRESS SET
P3-A203	CLUBHOUSE FIRST FLOOR PLAN AREA D	1/15/19	PROGRESS SET
P3-A203D	CLUBHOUSE FIRST FLOOR DIMENSION PLAN AREA D	1/15/19	PROGRESS SET
P3-A204	CLUBHOUSE SECOND FLOOR PLAN AREA A	1/15/19	PROGRESS SET
P3-A204D	CLUBHOUSE SECOND FLOOR DIMENSION PLAN AREA A	1/15/19	PROGRESS SET
P3-A205	CLUBHOUSE SECOND FLOOR PLAN AREA B	1/15/19	PROGRESS SET
P3-A205D	CLUBHOUSE SECOND FLOOR DIMENSION PLAN AREA B	1/15/19	PROGRESS SET
P3-A206	CLUBHOUSE THIRD FLOOR PLAN AREA A	1/15/19	PROGRESS SET
P3-A206D	CLUBHOUSE THIRD FLOOR DIMENSION PLAN AREA A	1/15/19	PROGRESS SET
P3-A207	CLUBHOUSE THIRD FLOOR PLAN AREA B	1/15/19	PROGRESS SET
P3-A207D	CLUBHOUSE THIRD FLOOR DIMENSION PLAN AREA B	1/15/19	PROGRESS SET
P3-A260	HYDROTHERAPY PIT	1/15/19	PROGRESS SET
P3-A300	CLUBHOUSE FIRST FLOOR RCP AREA A	1/15/19	PROGRESS SET
P3-A301	CLUBHOUSE FIRST FLOOR RCP AREA B	1/15/19	PROGRESS SET
P3-A302	CLUBHOUSE FIRST FLOOR RCP AREA C	1/15/19	PROGRESS SET
P3-A303	CLUBHOUSE FIRST FLOOR RCP AREA D	1/15/19	PROGRESS SET
P3-A304	CLUBHOUSE SECOND FLOOR RCP AREA A	1/15/19	PROGRESS SET
P3-A305	CLUBHOUSE SECOND FLOOR RCP AREA B	1/15/19	PROGRESS SET
P3-A306	CLUBHOUSE THIRD FLOOR RCP AREA A	1/15/19	PROGRESS SET
P3-A307	CLUBHOUSE THIRD FLOOR RCP AREA B	1/15/19	PROGRESS SET
P3-A500	BUILDING SECTIONS	1/15/19	PROGRESS SET
P3-A501	BUILDING SECTIONS	1/15/19	PROGRESS SET
P3-A650	RESTROOM MOUNTING DIMENSIONS	1/15/19	PROGRESS SET
P3-A651	TOILET STALL TYPES	1/15/19	PROGRESS SET
P3-A652	ENLARGED RESTROOM PLANS -FIRST FLOOR	1/15/19	PROGRESS SET



100% CD AND PROGRESS SET

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR
P3-A653	ENLARGED RESTROOM PLANS -FIRST FLOOR	1/15/19	PROGRESS SET

**ARCHITECTURAL CONT**

**PACKAGE 3**

P3-A655	ENLARGED RR PLANS -SECOND AND THIRD FLOOR	1/15/19	PROGRESS SET
P3-A660	RESTROOM ELEVATIONS	1/15/19	PROGRESS SET
P3-A661	RESTROOM ELEVATIONS	1/15/19	PROGRESS SET
P3-A700	DOOR SCHEDULE	1/15/19	PROGRESS SET
P3-A715	EXTERIOR OPENING DETAILS	1/15/19	PROGRESS SET
P3-A800	CLUBHOUSE GENERAL NOTES AND MATERIAL SCHEDULE	1/15/19	PROGRESS SET
P3-A801.1	CLUBHOUSE FIRST FLOOR FINISH PLAN OVERALL	1/15/19	PROGRESS SET
P3-A801.2	CLUBHOUSE FIRST FLOOR FINISH PLAN OVERALL - ALTERNATE	1/15/19	PROGRESS SET
P3-A802	CLUBHOUSE FIRST FLOOR FINISH PLAN AREA A	1/15/19	PROGRESS SET
P3-A803	CLUBHOUSE FIRST FLOOR FINISH PLAN AREA B	1/15/19	PROGRESS SET
P3-A804	CLUBHOUSE FIRST FLOOR FINISH PLAN AREA C	1/15/19	PROGRESS SET
P3-A805	CLUBHOUSE FIRST FLOOR FINISH PLAN AREA D	1/15/19	PROGRESS SET
P3-A806	CLUBHOUSE SECOND FLOOR FINISH PLAN	1/15/19	PROGRESS SET
P3-A807	CLUBHOUSE THIRD FLOOR FINISH PLAN	1/15/19	PROGRESS SET
P3-A808	INTERIOR ELEVATIONS	1/15/19	PROGRESS SET
P3-A809	INTERIOR ELEVATIONS	1/15/19	PROGRESS SET
P3-A810	INTERIOR ELEVATIONS	1/15/19	PROGRESS SET
P3-A811	INTERIOR ELEVATIONS	1/15/19	PROGRESS SET
P3-A812	INTERIOR ELEVATIONS	1/15/19	PROGRESS SET
P3-A813	INTERIOR ELEVATIONS	1/15/19	PROGRESS SET
P3-A814	MILLWORK ELEVATIONS	1/15/19	PROGRESS SET
P3-A860	LOCKER DETAILS	1/15/19	PROGRESS SET
P3-A861	LOCKER DETAILS	1/15/19	PROGRESS SET
P3-A862	MILLWORK	1/15/19	PROGRESS SET
P3-A863	MILLWORK	1/15/19	PROGRESS SET
P3-A864	ENLARGED PLANS AND DETAILS	1/15/19	PROGRESS SET
P3-A865	DETAILS	1/15/19	PROGRESS SET

**MECHANICAL**

**PACKAGE 3**

P3-M001	MECHANICAL GENERAL SHEET	1/15/19	PROGRESS SET
P3-M200	MECH PLAN CLUBHOUSE BASEMENT	1/15/19	PROGRESS SET
P3-M201	MECH HVAC PLAN CLUBHOUSE FIRST FLOOR AREA A	1/15/19	PROGRESS SET
P3-M202	MECH HVAC PLAN CLUBHOUSE FIRST FLOOR AREA B	1/15/19	PROGRESS SET
P3-M203	MECH HVAC PLAN CLUBHOUSE FIRST FLOOR AREA C	1/15/19	PROGRESS SET
P3-M204	MECH HVAC PLAN CLUBHOUSE FIRST FLOOR AREA D	1/15/19	PROGRESS SET
P3-M205	MECH HVAC PLAN CLUBHOUSE SECOND FLOOR AREAS A & B	1/15/19	PROGRESS SET
P3-M206	MECH HVAC PLAN CLUBHOUSE THIRD FLOOR	1/15/19	PROGRESS SET
P3-M301	MECH PIPING PLAN CLUBHOUSE FIRST FLOOR AREA A	1/15/19	PROGRESS SET
P3-M302	MECH PIPING PLAN CLUBHOUSE FIRST FLOOR AREA B	1/15/19	PROGRESS SET
P3-M303	MECH PIPING PLAN CLUBHOUSE FIRST FLOOR AREA C	1/15/19	PROGRESS SET
P3-M304	MECH PIPING PLAN CLUBHOUSE FIRST FLOOR AREA D	1/15/19	PROGRESS SET
P3-M305	MECH PIPING PLAN CLUBHOUSE SECOND FLOOR AREA A	1/15/19	PROGRESS SET
P3-M306	MECH PIPING PLAN CLUBHOUSE SECOND FLOOR AREA B	1/15/19	PROGRESS SET
P3-M307	MECH PIPING PLAN CLUBHOUSE THIRD FLOOR	1/15/19	PROGRESS SET
P3-M401	MECHANICAL DIAGRAMS	1/15/19	PROGRESS SET
P3-M402	MECHANICAL DIAGRAMS	1/15/19	PROGRESS SET
P3-M501	MECHANICAL CONTROLS	1/15/19	PROGRESS SET
P3-M502	MECHANICAL CONTROLS	1/15/19	PROGRESS SET
P3-M503	MECHANICAL CONTROLS	1/15/19	PROGRESS SET

100% CD AND PROGRESS SET

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR
P3-M601	MECHANICAL DETAILS	1/15/19	PROGRESS SET
P3-M602	MECHANICAL DETAILS	1/15/19	PROGRESS SET
P3-M603	MECHANICAL DETAILS	1/15/19	PROGRESS SET
P3-M604	MECHANICAL DETAILS	1/15/19	PROGRESS SET
P3-M701	MECHANICAL SCHEDULES	1/15/19	PROGRESS SET
P3-M702	MECHANICAL SCHEDULES	1/15/19	PROGRESS SET

**PLUMBING**

**PACKAGE 3**

P3-P001	PLUMBING GENERAL SHEET	1/15/19	PROGRESS SET
P3-P201	PLUMBING DRAINAGE PLAN CLUBHOUSE FIRST FLOOR AREA A	1/15/19	PROGRESS SET
P3-P202	PLUMBING DRAINAGE PLAN CLUBHOUSE FIRST FLOOR AREA B	1/15/19	PROGRESS SET
P3-P203	PLUMBING DRAINAGE PLAN CLUBHOUSE FIRST FLOOR AREA C	1/15/19	PROGRESS SET
P3-P204	PLUMBING DRAINAGE PLAN CLUBHOUSE FIRST FLOOR AREA D	1/15/19	PROGRESS SET
P3-P211	PLUMBING DRAINAGE PLAN CLUBHOUSE ROOF AREA A	1/15/19	PROGRESS SET
P3-P212	PLUMBING DRAINAGE PLAN CLUBHOUSE ROOF AREA B	1/15/19	PROGRESS SET
P3-P213	PLUMBING DRAINAGE PLAN CLUBHOUSE ROOF AREA C	1/15/19	PROGRESS SET
P3-P214	PLUMBING DRAINAGE PLAN CLUBHOUSE ROOF AREA D	1/15/19	PROGRESS SET
P3-P301	PLUMBING WATER PLAN CLUBHOUSE FIRST FLOOR AREA A	1/15/19	PROGRESS SET
P3-P302	PLUMBING WATER PLAN CLUBHOUSE FIRST FLOOR AREA B	1/15/19	PROGRESS SET
P3-P303	PLUMBING WATER PLAN CLUBHOUSE FIRST FLOOR AREA C	1/15/19	PROGRESS SET
P3-P304	PLUMBING WATER PLAN CLUBHOUSE FIRST FLOOR AREA D	1/15/19	PROGRESS SET
P3-P601	PLUMBING SCHEDULES	1/15/19	PROGRESS SET

**ELECTRICAL**

**PACKAGE 3**

P3-E001	ELECTRICAL SYMBOLS	1/15/19	PROGRESS SET
P3-E002	FIXTURE SCHEDULE AND NOTES	1/15/19	PROGRESS SET
P3-E301	ELEC LTG PLAN CLUBHOUSE FIRST FLOOR AREA A	1/15/19	PROGRESS SET
P3-E302	ELEC LTG PLAN CLUBHOUSE FIRST FLOOR AREA B	1/15/19	PROGRESS SET
P3-E303	ELEC LTG PLAN CLUBHOUSE FIRST FLOOR AREA C	1/15/19	PROGRESS SET
P3-E304	ELEC LTG PLAN CLUBHOUSE FIRST FLOOR AREA D	1/15/19	PROGRESS SET
P3-E305	ELEC LTG PLAN CLUBHOUSE SECOND FLOOR AREA A	1/15/19	PROGRESS SET
P3-E306	ELEC LTG PLAN CLUBHOUSE SECOND FLOOR AREA B	1/15/19	PROGRESS SET
P3-E307	ELEC LTG PLAN CLUBHOUSE SECOND FLOOR AREA C	1/15/19	PROGRESS SET
P3-E308	ELEC LTG PLAN CLUBHOUSE SECOND FLOOR AREA D	1/15/19	PROGRESS SET
P3-E309	ELEC LTG PLAN CLUBHOUSE THIRD FLOOR AREA A	1/15/19	PROGRESS SET
P3-E310	ELEC LTG PLAN CLUBHOUSE THIRD FLOOR AREA B	1/15/19	PROGRESS SET
P3-E401	ELEC PWR PLAN CLUBHOUSE FIRST FLOOR AREA A	1/15/19	PROGRESS SET
P3-E402	ELEC PWR PLAN CLUBHOUSE FIRST FLOOR AREA B	1/15/19	PROGRESS SET
P3-E403	ELEC PWR PLAN CLUBHOUSE FIRST FLOOR AREA C	1/15/19	PROGRESS SET
P3-E404	ELEC PWR PLAN CLUBHOUSE FIRST FLOOR AREA D	1/15/19	PROGRESS SET
P3-E405	ELEC PWR PLAN CLUBHOUSE SECOND FLOOR AREA A	1/15/19	PROGRESS SET
P3-E406	ELEC PWR PLAN CLUBHOUSE SECOND FLOOR AREA B	1/15/19	PROGRESS SET
P3-E407	ELEC PWR PLAN CLUBHOUSE SECOND FLOOR AREA C	1/15/19	PROGRESS SET
P3-E408	ELEC PWR PLAN CLUBHOUSE SECOND FLOOR AREA D	1/15/19	PROGRESS SET
P3-E409	ELECTRICAL PWR PLAN CLUBHOUSE THIRD FLOOR AREA A	1/15/19	PROGRESS SET
P3-E410	ELEC PWR PLAN CLUBHOUSE THIRD FLOOR AREA B	1/15/19	PROGRESS SET
P3-E501	ELECTRICAL ENLARGED POWER PLANS	1/15/19	PROGRESS SET
P3-E502	ELECTRICAL ENLARGED POWER PLANS	1/15/19	PROGRESS SET
P3-E503	ELECTRICAL ENLARGED POWER PLANS	1/15/19	PROGRESS SET
P3-E601	ELECTRICAL DETAILS	1/15/19	PROGRESS SET
P3-E602	ELECTRICAL DETAILS	1/15/19	PROGRESS SET
P3-E603	ELECTRICAL DETAILS	1/15/19	PROGRESS SET

100% CD AND PROGRESS SET

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR
P3-E604	ELECTRICAL DETAILS	1/15/19	PROGRESS SET
P3-E801	ELECTRICAL FEEDER SCHEDULE	1/15/19	PROGRESS SET
P3-E831	ELECTRICAL ONE-LINE DIAGRAMS	1/15/19	PROGRESS SET
P3-E832	ELECTRICAL ONE-LINE DIAGRAMS	1/15/19	PROGRESS SET
P3-E852	ELECTRICAL ONE-LINE DIAGRAMS	1/15/19	PROGRESS SET

**FIRE SUPPRESSION**

PACKAGE 3			
P3-FS001	FIRE SUPPRESSION GENERAL SHEET	1/15/19	PROGRESS SET
P3-FS201	FIRE SUPPRESSION PLAN CLUBHOUSE FIRST FLOOR AREA A	1/15/19	PROGRESS SET
P3-FS202	FIRE SUPPRESSION PLAN CLUBHOUSE FIRST FLOOR AREA B	1/15/19	PROGRESS SET
P3-FS203	FIRE SUPPRESSION PLAN CLUBHOUSE FIRST FLOOR AREA C	1/15/19	PROGRESS SET
P3-FS204	FIRE SUPPRESSION PLAN CLUBHOUSE FIRST FLOOR AREA D	1/15/19	PROGRESS SET
P3-FS205	FIRE SUPPRESSION PLAN CLUBHOUSE SECOND FLOOR AREA A	1/15/19	PROGRESS SET
P3-FS206	FIRE SUPPRESSION PLAN CLUBHOUSE SECOND FLOOR AREA B	1/15/19	PROGRESS SET
P3-FS207	FIRE SUPPRESSION PLAN CLUBHOUSE THIRD FLOOR AREA A	1/15/19	PROGRESS SET

**TECHNOLOGY**

PACKAGE 3			
P3-T001	TECH GENERAL SHEET	1/15/19	PROGRESS SET
P3-T301	TECH CLUBHOUSE INTERIOR FIRST FLOOR AREA A	1/15/19	PROGRESS SET
P3-T302	TECH CLUBHOUSE INTERIOR FIRST FLOOR AREA B	1/15/19	PROGRESS SET
P3-T303	TECH CLUBHOUSE INTERIOR FIRST FLOOR AREA C	1/15/19	PROGRESS SET
P3-T304	TECH CLUBHOUSE INTERIOR FIRST FLOOR AREA D	1/15/19	PROGRESS SET
P3-T305	TECH CLUBHOUSE INTERIOR SECOND FLOOR AREA A	1/15/19	PROGRESS SET
P3-T306	TECH CLUBHOUSE INTERIOR SECOND FLOOR AREA B	1/15/19	PROGRESS SET
P3-T307	TECH CLUBHOUSE INTERIOR SECOND FLOOR AREA C	1/15/19	PROGRESS SET
P3-T308	TECH CLUBHOUSE INTERIOR SECOND FLOOR AREA D	1/15/19	PROGRESS SET
P3-T309	TECH CLUBHOUSE INTERIOR THIRD FLOOR AREA A	1/15/19	PROGRESS SET
P3-T310	TECH CLUBHOUSE INTERIOR THIRD FLOOR AREA B	1/15/19	PROGRESS SET
P3-T311	TECH CLUBHOUSE INTERIOR THIRD FLOOR AREA C	1/15/19	PROGRESS SET
P3-T312	TECH CLUBHOUSE INTERIOR THIRD FLOOR AREA D	1/15/19	PROGRESS SET
P3-T313	TECH CLUBHOUSE RCP FIRST FLOOR AREA A	1/15/19	PROGRESS SET
P3-T314	TECH CLUBHOUSE RCP FIRST FLOOR AREA B	1/15/19	PROGRESS SET
P3-T315	TECH CLUBHOUSE RCP FIRST FLOOR AREA C	1/15/19	PROGRESS SET
P3-T316	TECH CLUBHOUSE RCP FIRST FLOOR AREA D	1/15/19	PROGRESS SET
P3-T317	TECH CLUBHOUSE RCP SECOND FLOOR AREA A	1/15/19	PROGRESS SET
P3-T318	TECH CLUBHOUSE RCP SECOND FLOOR AREA B	1/15/19	PROGRESS SET
P3-T401	IDF 156 PLAN AND DETAILS	1/15/19	PROGRESS SET
P3-T501	TECH SYSTEMS DETAILS	1/15/19	PROGRESS SET
P3-T502	TECH SYSTEMS DETAILS	1/15/19	PROGRESS SET
P3-T503	TECH SYSTEMS DETAILS	1/15/19	PROGRESS SET

**FOOD SERVICE**

PACKAGE 3			
QF000-1	INDEX SHEET	1/15/19	PROGRESS SET
QF100-1	FOODSERVICE KEY PLAN	1/15/19	PROGRESS SET
QF400-1	FOODSERVICE EQUIPMENT PLAN	1/15/19	PROGRESS SET
QF400-2	FOODSERVICE UTILITY SCHEDULE	1/15/19	PROGRESS SET
QF400-2A	FOODSERVICE UTILITY SCHEDULE	1/15/19	PROGRESS SET
QF400-3	FOODSERVICE BUILDING CONDITIONS & VENTILATION PLAN	1/15/19	PROGRESS SET
QF400-4	FOODSERVICE PLUMBING PLAN	1/15/19	PROGRESS SET
QF400-5	FOODSERVICE ELECTRICAL PLAN	1/15/19	PROGRESS SET

DOCUMENT LOG

100% CD AND PROGRESS SET

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR
QF500-1	FOODSERVICE ELEVATION KEY PLAN	1/15/19	PROGRESS SET
QF500-2	FOODSERVICE ELEVATIONS	1/15/19	PROGRESS SET
QF500-3	FOODSERVICE ELEVATIONS	1/15/19	PROGRESS SET
QF501-1	FOODSERVICE DETAILS	1/15/19	PROGRESS SET
QF501-2	FOODSERVICE DETAILS	1/15/19	PROGRESS SET
QF501-3	FOODSERVICE DETAILS	1/15/19	PROGRESS SET
QF501-4	FOODSERVICE DETAILS	1/15/19	PROGRESS SET
QF501-5	FOODSERVICE DETAILS	1/15/19	PROGRESS SET
QF700-1	FOODSERVICE REFRIGERATION SYSTEM DETAILS	1/15/19	PROGRESS SET
QF701-1	FOODSERVICE WALK-IN REFRIGERATOR DETAILS	1/15/19	PROGRESS SET
QF702-1	FOODSERVICE EXHAUST HOODS MAKE-UP AIR PLANNING GUIDE	1/15/19	PROGRESS SET
QF702-2	FOODSERVICE EXHAUST HOOD DETAIL	1/15/19	PROGRESS SET
QF702-3	FOODSERVICE EXHAUST HOOD DETAIL	1/15/19	PROGRESS SET

**GENERAL SHEETS**

**PACKAGE 4**

	COVER SHEET	1/15/19	PROGRESS SET
P4-G000	DRAWING INDEX	1/15/19	PROGRESS SET
P4-G001	DRAWING INDEX	1/15/19	PROGRESS SET

**ARCHITECTURAL**

**PACKAGE 4**

P4-A014	CONCOURSE LEVEL DEMOLITION PLAN AREA O	1/15/19	PROGRESS SET
P4-A016	CONCOURSE LEVEL DEMOLITION PLAN AREA P	1/15/19	PROGRESS SET
P4-A017	PRESS LEVEL DEMOLITION PLAN AREA O	1/15/19	PROGRESS SET
P4-A018	PRESS LEVEL DEMOLITION PLAN AREA M	1/15/19	PROGRESS SET
P4-A019	PRESS LEVEL DEMOLITION PLAN AREA P	1/15/19	PROGRESS SET
P4-A032	CONCOURSE LEVEL DEMOLITION RCP AREA O	1/15/19	PROGRESS SET
P4-A034	CONCOURSE LEVEL DEMOLITION RCP AREA P	1/15/19	PROGRESS SET
P4-A035	PRESS LEVEL DEMOLITION RCP AREA N	1/15/19	PROGRESS SET
P4-A036	PRESS LEVEL DEMOLITION RCP AREA O	1/15/19	PROGRESS SET
P4-A037	PRESS LEVEL DEMOLITION RCP AREA M	1/15/19	PROGRESS SET
P4-A038	PRESS LEVEL DEMOLITION RCP AREA P	1/15/19	PROGRESS SET
P4-A040	CITY OFFICES DEMOLITION ELEVATIONS	1/15/19	PROGRESS SET
P4-A050	OVERALL SITE PLAN	1/15/19	PROGRESS SET
P4-A200	CHARROS LEVEL FLOOR PLAN AREA F	1/15/19	PROGRESS SET
P4-A201	RIGHT FIELD BLEACHERS FLOOR PLAN AREA E	1/15/19	PROGRESS SET
P4-A202	CONCOURSE LEVEL FLOOR PLAN AREA N	1/15/19	PROGRESS SET
P4-A203	CONCOURSE LEVEL FLOOR PLAN AREA O	1/15/19	PROGRESS SET
P4-A204	CONCOURSE LEVEL FLOOR PLAN AREA M	1/15/19	PROGRESS SET
P4-A205	CONCOURSE LEVEL FLOOR PLAN AREA P	1/15/19	PROGRESS SET
P4-A206	PRESS LEVEL FLOOR PLAN AREA N	1/15/19	PROGRESS SET
P4-A207	PRESS LEVEL FLOOR PLAN AREA O	1/15/19	PROGRESS SET
P4-A208	PRESS LEVEL FLOOR PLAN AREA M	1/15/19	PROGRESS SET
P4-A209	PRESS LEVEL FLOOR PLAN AREA P	1/15/19	PROGRESS SET
P4-A220	CHARROS ROOF PLAN AREA F	1/15/19	PROGRESS SET
P4-A221	ENTRY PLAZA ROOF PLAN AREA N	1/15/19	PROGRESS SET
P4-A222	TICKETING ROOF PLAN AREA O	1/15/19	PROGRESS SET
P4-A223	TICKETING ROOF PLAN AREA M	1/15/19	PROGRESS SET
P4-A224	RIGHT FIELD BLEACHERS ROOF PLAN AREA P	1/15/19	PROGRESS SET
P4-A300	CHARROS RCP AREA F	1/15/19	PROGRESS SET
P4-A301	CONCOURSE LEVEL RCP AREA N	1/15/19	PROGRESS SET
P4-A302	CONCOURSE LEVEL RCP AREA O	1/15/19	PROGRESS SET
P4-A303	CONCOURSE LEVEL RCP AREA M	1/15/19	PROGRESS SET

DOCUMENT LOG

100% CD AND PROGRESS SET

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR
P4-A304	CONCOURSE LEVEL RCP AREA P	1/15/19	PROGRESS SET
P4-A305	PRESS LEVEL RCP AREA N	1/15/19	PROGRESS SET
P4-A306	PRESS LEVEL RCP AREA O	1/15/19	PROGRESS SET
P4-A307	PRESS LEVEL RCP AREA M	1/15/19	PROGRESS SET
P4-A308	PRESS LEVEL RCP AREA P	1/15/19	PROGRESS SET
P4-A400	CITY OFFICES ELEVATIONS	1/15/19	PROGRESS SET
P4-A501	CHARROS	1/15/19	PROGRESS SET
P4-A502	ENTRY CANOPY	1/15/19	PROGRESS SET
P4-A503	TICKETING & CITY OFFICES / TEAM STORE SECTIONS	1/15/19	PROGRESS SET
P4-A504	RIGHT FIELD BLEACHERS	1/15/19	PROGRESS SET
P4-A510	STADIUM BUILDING SECTIONS	1/15/19	PROGRESS SET
P4-A520	WALL SECTIONS	1/15/19	PROGRESS SET
P4-A651	TOILET STALL TYPES	1/15/19	PROGRESS SET
P4-A700	DOOR SCHEDULE	1/15/19	PROGRESS SET
P4-A716	EXTERIOR OPENING DETAILS	1/15/19	PROGRESS SET
P4-A800	PRESS LEVEL FINISH PLAN AREA M	1/15/19	PROGRESS SET
P4-A801	PRESS LEVEL FINISH PLAN AREA O, P	1/15/19	PROGRESS SET
P4-A803	TICKETING & CITY OFFICES FINISH PLAN	1/15/19	PROGRESS SET

**STRUCTURAL**

**PACKAGE 4**

P4-S100	GENERALSTRUCTURALNOTES	2/6/19	ADDENDUM 01 PROGRESS SET
P4-S101	GENERAL STRUCTURAL NOTES (CONT)	1/15/19	PROGRESS SET
P4-S102	TABLES	1/15/19	PROGRESS SET
P4-S103	TYPICAL DETAILS - CONCRETE	1/15/19	PROGRESS SET
P4-S104	TYPICAL DETAILS - CONCRETE	1/15/19	PROGRESS SET
P4-S105	TYPICAL DETAILS -CMU	1/15/19	PROGRESS SET
P4-S106	TYPICAL DETAILS - METAL STUDS	1/15/19	PROGRESS SET
P4-S107	TYPICAL DETAILS - STEEL	1/15/19	PROGRESS SET
P4-S108	TYPICAL DETAILS - STEEL	1/15/19	PROGRESS SET
P4-S109	TYPICALDETAILSSTEEL	1/15/19	PROGRESS SET
P4-S110	SCHEDULES	1/15/19	PROGRESS SET
P4-S201	CHARROS -(E) FOUNDATION PLAN -AREA F	1/15/19	PROGRESS SET
P4-S202	ENTRY PLAZA -FOUNDATIONPLAN -AREA N	1/15/19	PROGRESS SET
P4-S203	TICKETING -FOUNDATIONPLAN -AREA O	1/15/19	PROGRESS SET
P4-S204	PRESS LEVEL -(E) FLOOR FRAMING PLAN -AREA M	1/15/19	PROGRESS SET
P4-S221	CHARROS -(E) FLOOR FRAMING PLAN -AREA F	2/6/19	ADDENDUM 01 PROGRESS SET
P4-S222	CHARROS -(N) 2nd FLOOR/ ROOF FRAMING PLAN -AREA F	2/6/19	ADDENDUM 01 PROGRESS SET
P4-S223	CHARROS -(N) HIGH ROOF FRAMING PLAN -AREA F	2/6/19	ADDENDUM 01 PROGRESS SET
P4-S224	ENTRY PLAZA -ROOF FRAMING PLAN -AREA N	1/15/19	PROGRESS SET
P4-S225	TICKETING -ROOF FRAMING PLAN -AREA O	1/15/19	PROGRESS SET
P4-S226	(E) ROOF FRAMING PLAN -AREA M	2/6/19	ADDENDUM 01 PROGRESS SET
P4-S300	ENTRY CANOPY SECTIIONS	1/15/19	PROGRESS SET
P4-S400	FOUNDATIONDETAILS	1/15/19	PROGRESS SET
P4-S500	FRAMINGDETAILS	1/15/19	PROGRESS SET
P4-S501	FRAMINGDETAILS	1/15/19	PROGRESS SET

**MECHANICAL**

**PACKAGE 4**

P4-M001	MECHANICAL GENERAL SHEET	1/15/19	PROGRESS SET
P4-M101	MECH DEMO PLAN CONCOURSE AREA F	1/15/19	PROGRESS SET
P4-M102	MECH DEMO PLAN PRESS AREA M	1/15/19	PROGRESS SET
P4-M103	MECH DEMO PLAN PRESS AREA O	1/15/19	PROGRESS SET
P4-M104	MECH DEMO PLAN PRESS AREA P	1/15/19	PROGRESS SET

100% CD AND PROGRESS SET

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR
P4-M105	MECH DEMO PLAN ROOF AREA M	1/15/19	PROGRESS SET
P4-M106	MECH DEMO PLAN ROOF AREA O	1/15/19	PROGRESS SET
P4-M201	MECH HVAC PLAN CONCOURSE AREA O	1/15/19	PROGRESS SET
P4-M202	MECH HVAC PLAN CONCOURSE AREA P	1/15/19	PROGRESS SET
P4-M203	MECH HVAC PLAN PRESS AREA M	1/15/19	PROGRESS SET
P4-M204	MECH HVAC PLAN PRESS AREA O & P	1/15/19	PROGRESS SET
P4-M205	MECH HVAC PLAN ROOF AREA O	1/15/19	PROGRESS SET
P4-M301	MECH PIPING PLAN CONCOURSE AREA O	1/15/19	PROGRESS SET
P4-M302	MECH PIPING PLAN CONCOURSE AREA P	1/15/19	PROGRESS SET
P4-M303	MECH PIPING PLAN PRESS AREA M	1/15/19	PROGRESS SET
P4-M304	MECH PIPING PLAN PRESS AREA O & P	1/15/19	PROGRESS SET
P4-M306	MECH PIPING PLAN ROOF AREA O	1/15/19	PROGRESS SET
P4-M701	MECHANICAL SCHEDULES	1/15/19	PROGRESS SET

**PLUMBING**

**PACKAGE 4**

P4-P001	PLUMBING GENERAL SHEET	1/15/19	PROGRESS SET
P4-P201	PLUMBING DRAINAGE PLAN CHARROS	1/15/19	PROGRESS SET
P4-P202	PLUMBING DRAINAGE PLAN PRESS AREA L	1/15/19	PROGRESS SET
P4-P203	PLUMBING DRAINAGE PLAN PRESS AREA M	1/15/19	PROGRESS SET
P4-P204	PLUMBING DRAINAGE PLAN PRESS AREA N	1/15/19	PROGRESS SET
P4-P205	PLUMBING DRAINAGE PLAN PRESS AREA O	1/15/19	PROGRESS SET
P4-P206	PLUMBING DRAINAGE PLAN PRESS AREA P	1/15/19	PROGRESS SET
P4-P215	PLUMBING WATER PLAN CONCOURSE AREA P	1/15/19	PROGRESS SET

**ELECTRICAL**

**PACKAGE 4**

P4-E001	ELECTRICAL SYMBOLS	1/15/19	PROGRESS SET
P4-E002	FIXTURE SCHEDULE AND NOTES	1/15/19	PROGRESS SET
P4-E201	ELEC DEMO PLAN EXST HOME CLUBHOUSE AREA P	1/15/19	PROGRESS SET
P4-E202	ELEC DEMO PLAN CONCOURSE AREA L	1/15/19	PROGRESS SET
P4-E203	ELEC DEMO PLAN CONCOURSE AREA O	1/15/19	PROGRESS SET
P4-E204	ELEC DEMO PLAN CONCOURSE AREA P	1/15/19	PROGRESS SET
P4-E205	ELEC DEMO POWER PLAN PRESS AREA M	1/15/19	PROGRESS SET
P4-E206	ELEC DEMO PLAN PRESS AREA N	1/15/19	PROGRESS SET
P4-E207	ELEC DEMO PLAN PRESS AREA O	1/15/19	PROGRESS SET
P4-E208	ELEC DEMO PLAN PRESS AREA P	1/15/19	PROGRESS SET
P4-E209	ELEC DEMO PLAN PRESS ROOF AREA M	1/15/19	PROGRESS SET
P4-E210	ELEC DEMO PLAN PRESS ROOF AREA O	1/15/19	PROGRESS SET
P4-E301	ELEC LTG PLAN FIELD AREA F	1/15/19	PROGRESS SET
P4-E302	ELEC LTG PLAN CHARROS AREA F	1/15/19	PROGRESS SET
P4-E303	ELEC LTG PLAN CONCOURSE AREA E	1/15/19	PROGRESS SET
P4-E304	ELEC LTG PLAN CONCOURSE AREA M	1/15/19	PROGRESS SET
P4-E305	ELEC LTG PLAN CONCOURSE AREA N	1/15/19	PROGRESS SET
P4-E306	ELEC LTG PLAN CONCOURSE AREA O	1/15/19	PROGRESS SET
P4-E307	ELEC LTG PLAN CONCOURSE AREA P	1/15/19	PROGRESS SET
P4-E308	ELEC LTG PLAN PRESS AREA M	1/15/19	PROGRESS SET
P4-E309	ELEC LTG PLAN PRESS AREA N	1/15/19	PROGRESS SET
P4-E310	ELEC LTG PLAN PRESS AREA O	1/15/19	PROGRESS SET
P4-E311	ELEC LTG PLAN PRESS AREA P	1/15/19	PROGRESS SET
P4-E401	ELEC POWER PLAN EXST HOME CLUBHOUSE AREA P	1/15/19	PROGRESS SET
P4-E402	ELEC POWER PLAN FIELD AREA F	1/15/19	PROGRESS SET
P4-E403	ELEC POWER PLAN CHARROS AREA F	1/15/19	PROGRESS SET
P4-E404	ELEC POWER PLAN CONCOURSE AREA E	1/15/19	PROGRESS SET

DOCUMENT LOG

100% CD AND PROGRESS SET

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR
P4-E405	ELEC POWER PLAN CONCOURSE AREA L	1/15/19	PROGRESS SET
P4-E406	ELEC POWER PLAN CONCOURSE AREA M	1/15/19	PROGRESS SET
P4-E407	ELEC POWER PLAN CONCOURSE AREA N	1/15/19	PROGRESS SET
P4-E408	ELEC POWER PLAN CONCOURSE AREA O	1/15/19	PROGRESS SET
P4-E409	ELEC POWER PLAN CONCOURSE AREA P	1/15/19	PROGRESS SET
P4-E410	ELEC POWER PLAN PRESS AREA M	1/15/19	PROGRESS SET
P4-E411	ELEC POWER PLAN PRESS AREA N	1/15/19	PROGRESS SET
P4-E412	ELEC POWER PLAN PRESS AREA O	1/15/19	PROGRESS SET
P4-E413	ELEC POWER PLAN PRESS AREA P	1/15/19	PROGRESS SET
P4-E414	ELEC PWR PLAN CHARROS ROOF AREA F	1/15/19	PROGRESS SET
P4-E415	ELEC PWR PLAN PRESS ROOF AREA M	1/15/19	PROGRESS SET
P4-E416	ELEC PWR PLAN PRESS ROOF AREA O	1/15/19	PROGRESS SET
P4-E501	ELECTRICAL ENLARGED POWER PLANS	1/15/19	PROGRESS SET
P4-E601	ELECTRICAL DETAILS	1/15/19	PROGRESS SET
P4-E602	ELECTRICAL DETAILS	1/15/19	PROGRESS SET
P4-E603	ELECTRICAL DETAILS	1/15/19	PROGRESS SET
P4-E801	ELECTRICAL FEEDER SCHEDULE	1/15/19	PROGRESS SET
P4-E811	ELECTRICAL DEMOLITION ONE-LINE DIAGRAMS	1/15/19	PROGRESS SET
P4-E812	ELECTRICAL DEMOLITION ONE-LINE DIAGRAMS	1/15/19	PROGRESS SET
P4-E813	ELECTRICAL DEMOLITION ONE-LINE DIAGRAMS	1/15/19	PROGRESS SET
P4-E815	ELECTRICAL DEMOLITION ONE-LINE DIAGRAMS	1/15/19	PROGRESS SET
P4-E816	ELECTRICAL DEMOLITION ONE-LINE DIAGRAMS	1/15/19	PROGRESS SET
P4-E821	ELECTRICAL ONE-LINE DIAGRAMS	1/15/19	PROGRESS SET
P4-E822	ELECTRICAL ONE-LINE DIAGRAMS	1/15/19	PROGRESS SET
P4-E823	ELECTRICAL ONE-LINE DIAGRAMS	1/15/19	PROGRESS SET
P4-E831	ELECTRICAL ONE-LINE DIAGRAMS	1/15/19	PROGRESS SET
P4-E832	ELECTRICAL ONE-LINE DIAGRAMS	1/15/19	PROGRESS SET
P4-E851	ELECTRICAL ONE-LINE DIAGRAMS	1/15/19	PROGRESS SET
P4-E852	ELECTRICAL ONE-LINE DIAGRAMS	1/15/19	PROGRESS SET

**FIRE SUPPRESSION**

PACKAGE 4			
P4-FS001	FIRE SUPPRESSION GENERAL SHEET	1/15/19	PROGRESS SET
P4-FS201	FIRE SUPPRESSION PLAN CONCOURSE LEVEL AREA P	1/15/19	PROGRESS SET
P4-FS202	FIRE SUPPRESSION PLAN CONCOURSE LEVEL AREA O	1/15/19	PROGRESS SET
P4-FS203	FIRE SUPPRESSION PLAN PRESS LEVEL AREA M	1/15/19	PROGRESS SET
P4-FS204	FIRE SUPPRESSION PLAN PRESS LEVEL AREA O	1/15/19	PROGRESS SET
P4-FS205	FIRE SUPPRESSION PLAN CHARROS AREA F	1/15/19	PROGRESS SET
P4-FS206	FIRE SUPPRESSION PLAN CHARROS FIELD LEVEL AREA F	1/15/19	PROGRESS SET

**TECHNOLOGY**

PACKAGE 4			
P4-T001	TECH GENERAL SHEET	1/15/19	PROGRESS SET
P4-T201	TECH INTERIOR DEMO CONCOURSE AREA P	1/15/19	PROGRESS SET
P4-T202	TECH DEMO PRESS AREA M	1/15/19	PROGRESS SET
P4-T203	TECH DEMO PRESS AREA O	1/15/19	PROGRESS SET
P4-T301	TECH CONCOURSE INTERIOR AREA M	1/15/19	PROGRESS SET
P4-T302	TECH CONCOURSE INTERIOR AREA M2	1/15/19	PROGRESS SET
P4-T303	TECH CITY OFFICES AREA O	1/15/19	PROGRESS SET
P4-T304	TECH TICKET OFFICES AREA P	1/15/19	PROGRESS SET
P4-T305	TECH PRESS AREA M	1/15/19	PROGRESS SET
P4-T306	TECH PRESS AREA O	1/15/19	PROGRESS SET
P4-T307	TECH ENTRY CANOPY AREA P	1/15/19	PROGRESS SET
P4-T308	TECH CHARROS AREA F	1/15/19	PROGRESS SET

DOCUMENT LOG

100% CD AND PROGRESS SET

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR
P4-T309	TECH RIGHT FIELD BLEACHERS AREA E	1/15/19	PROGRESS SET
P4-T310	TECH RCP CITY OFFICES AREA O	1/15/19	PROGRESS SET
P4-T311	TECH RCP TICKET OFFICES AREA P	1/15/19	PROGRESS SET
P4-T312	TECH RCP PRESS AREA M	1/15/19	PROGRESS SET
P4-T313	TECH RCP PRESS AREA O	1/15/19	PROGRESS SET
P4-T401	MDF 205 PLAN AND DETAILS	1/15/19	PROGRESS SET
P4-T601	CITY OF SCOTTSDALE NETWORK RISER DIAGRAM	1/15/19	PROGRESS SET
P4-T602	TECH GIANTS RISER	1/15/19	PROGRESS SET



SPECIFICATIONS LOG

100% CD AND PROGRESS SET

SECTION	TITLE	ISSUE DATE	ISSUED FOR
<b>GENERAL SHEETS</b>			
00 00 00	COVER	1/15/19	100%CD / CD progress set
<b>DIVISION 00 - PROCUREMENT AND CONTRACTING REQUIREMENTS</b>			
00 00 30	TABLE OF CONTENTS	1/15/19	100%CD / CD progress set
00 01 05	PROJECT PRINCIPLES	1/15/19	100%CD / CD progress set
00 10 00	CITY OF SCOTTSDALE BUILDING SUPPLEMENTAL INSTRUCTIONS	1/15/19	100%CD / CD progress set
00 20 10	SUBCONTRACTOR BIDDING	1/15/19	100%CD / CD progress set
00 26 00	PRIOR APPROVALS	1/15/19	100%CD / CD progress set
00 31 32	GEOTECHNICAL DATA	1/15/19	100%CD / CD progress set
00 72 00	AIA A201 GENERAL CONDITIONS	1/15/19	100%CD / CD progress set
<b>DIVISION 01 - GENERAL REQUIREMENTS</b>			
01 10 00	SUMMARY	1/15/19	100%CD / CD progress set
01 11 16	OWNER FURNISHED ITEMS AND WORK	1/15/19	100%CD / CD progress set
01 22 00	UNIT PRICES	1/15/19	100%CD / CD progress set
01 25 00	SUBSTITUTION PROCEDURES	1/15/19	100%CD / CD progress set
01 25 00	SUBSTITUTION REQUEST FORM	1/15/19	100%CD / CD progress set
01 26 00	CONTRACT MODIFICATION PROCEDURES	1/15/19	100%CD / CD progress set
01 29 00	PAYMENT PROVISIONS	1/15/19	100%CD / CD progress set
01 31 00	PROJECT MANAGEMENT AND COORDINATION	1/15/19	100%CD / CD progress set
01 32 00	CONSTRUCTION PROGRESS DOCUMENTATION	1/15/19	100%CD / CD progress set
01 33 00	SUBMITTAL PROCEDURES	1/15/19	100%CD / CD progress set
01 34 00	COMPUTER MODEL DISCLOSURE AGREEMENT	1/15/19	100%CD / CD progress set
01 35 16	ALTERATION PROJECT PROCEDURES	1/15/19	100%CD / CD progress set
01 40 00	QUALITY REQUIREMENTS	1/15/19	100%CD / CD progress set
01 42 00	REFERENCES	1/15/19	100%CD / CD progress set
01 43 39	MOCKUPS	1/15/19	100%CD / CD progress set
01 50 00	TEMPORARY FACILITIES AND CONTROLS	1/15/19	100%CD / CD progress set
01 56 39	TEMPORARY TREE & PLANT PROTECTION	1/15/19	100%CD / CD progress set
01 60 00	PRODUCT REQUIREMENTS	1/15/19	100%CD / CD progress set
01 73 00	EXECUTION	1/15/19	100%CD / CD progress set
01 77 00	CLOSEOUT PROCEDURES	1/15/19	100%CD / CD progress set
01 78 23	OPERATION AND MAINTENANCE DATA	1/15/19	100%CD / CD progress set
01 78 39	PROJECT RECORD DOCUMENTS	1/15/19	100%CD / CD progress set
01 79 00	DEMONSTRATION AND TRAINING COS	1/15/19	100%CD / CD progress set
01 81 13	SUSTAINABLE DESIGN REQUIREMENTS	1/15/19	100%CD / CD progress set
01 81 13	SUSTAINABLE DESIGN REQUIREMENTS-2	1/15/19	100%CD / CD progress set
<b>DIVISION 02 - EXISTING CONDITIONS</b>			
02 41 19	SELECTIVE DEMOLITION	1/15/19	100%CD / CD progress set
<b>DIVISION 03 - CONCRETE</b>			
03 11 16	BOARD FORM CONCRETE FORMING	1/15/19	100%CD / CD progress set
03 30 00	CAST-IN-PLACE CONCRETE	1/15/19	100%CD / CD progress set
03 35 43	POLISHED CONCRETE FINISHING 2	1/15/19	100%CD / CD progress set
03 39 00	CONCRETE SEALING	1/15/19	100%CD / CD progress set
03 53 00	CONCRETE TOPPING	1/15/19	100%CD / CD progress set
<b>DIVISION 04 - MASONRY</b>			
04 20 00	UNIT MASONRY	1/15/19	100%CD / CD progress set
04 72 00	CAST STONE MASONRY	1/15/19	100%CD / CD progress set
<b>DIVISION 05 - METALS</b>			
05 12 00	STRUCTURAL STEEL FRAMING	1/15/19	100%CD / CD progress set
05 12 13	ARCHITECTURALLY EXPOSED STRUCTURAL STEEL FRAMING	1/15/19	100%CD / CD progress set
05 21 00	STEEL JOIST FRAMING	1/15/19	100%CD / CD progress set
05 31 00	STEEL DECKING	1/15/19	100%CD / CD progress set
05 31 23	ACOUSTICAL ROOF DECKING	1/15/19	100%CD / CD progress set

SPECIFICATIONS LOG

100% CD AND PROGRESS SET

SECTION	TITLE	ISSUE DATE	ISSUED FOR
05 40 00	COLD-FORMED METAL FRAMING	1/15/19	100%CD / CD progress set
05 50 00	METAL FABRICATIONS	1/15/19	100%CD / CD progress set
05 51 13	METAL PAN STAIRS	1/15/19	100%CD / CD progress set
05 52 13	PIPE AND TUBE RAILINGS	1/15/19	100%CD / CD progress set
05 52 16	ALUMINUM COMPONENT RAILING SYSTEM	1/15/19	100%CD / CD progress set
05 58 17	METAL SCREEN WALL PANELS	1/15/19	100%CD / CD progress set
05 73 00	DECORATIVE METAL RAILINGS	1/15/19	100%CD / CD progress set

**DIVISION 06 - WOOD, PLASTICS AND COMPOSITES**

06 10 53	MISCELLANEOUS ROUGH CARPENTRY	1/15/19	100%CD / CD progress set
06 16 00	SHEATHING	1/15/19	100%CD / CD progress set
06 40 00	ARCHITECTURAL WOODWORK	1/15/19	100%CD / CD progress set
06 41 16	PLASTIC-LAMINATE-FACED ARCHITECTURAL CABINETS	1/15/19	100%CD / CD progress set

**DIVISION 07 - THERMAL AND MOISTURE PROTECTION**

07 11 13	BITUMINOUS DAMPPROOFING	1/15/19	100%CD / CD progress set
07 13 26	SELF-ADHERING SHEET WATERPROOFING	1/15/19	100%CD / CD progress set
07 14 13	HOT FLUID-APPLIED WATERPROOFING	1/15/19	100%CD / CD progress set
07 19 00	WATER REPELLENTS	1/15/19	100%CD / CD progress set
07 21 00	THERMAL INSULATION	1/15/19	100%CD / CD progress set
07 24 13	POLYMER-BASED EXTERIOR INSULATION AND FINISH SYSTEM (EIFS)	1/15/19	100%CD / CD progress set
07 25 00	WEATHER BARRIERS	1/15/19	100%CD / CD progress set
07 27 26	FLUID-APPLIED MEMBRANE AIR BARRIERS	1/15/19	100%CD / CD progress set
07 42 13	METAL COMPOSITE MATERIAL WALL PANELS	1/15/19	100%CD / CD progress set
07 42 14	FORMED METAL WALL PANELS	1/15/19	100%CD / CD progress set
07 54 23	THERMOPLASTIC POLYOLEFIN (TPO) ROOFING	1/15/19	100%CD / CD progress set
07 62 00	SHEET METAL FLASHING AND TRIM	1/15/19	100%CD / CD progress set
07 72 00	ROOF ACCESSORIES	1/15/19	100%CD / CD progress set
07 81 00	APPLIED FIREPROOFING	1/15/19	100%CD / CD progress set
07 84 13	PENETRATION FIRESTOPPING	1/15/19	100%CD / CD progress set
07 92 00	JOINT SEALANTS	1/15/19	100%CD / CD progress set

**DIVISION 08 - OPENINGS**

08 11 13	HOLLOW METAL DOORS AND FRAMES	1/15/19	100%CD / CD progress set
08 14 16	FLUSH WOOD DOORS	1/15/19	100%CD / CD progress set
08 31 13	ACCESS DOORS AND FRAMES ss	1/15/19	100%CD / CD progress set
08 32 13	ALUMINUM FRAMED SLIDING GLASS DOORS	1/15/19	100%CD / CD progress set
08 33 13	COILING COUNTER DOORS	1/15/19	100%CD / CD progress set
08 33 23	OVERHEAD COILING DOORS	1/15/19	100%CD / CD progress set
08 36 13	SECTIONAL DOORS	1/15/19	100%CD / CD progress set
08 41 13	ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS	1/15/19	100%CD / CD progress set
08 71 00	DOOR HARDWARE 2019-01-11	1/15/19	100%CD / CD progress set
08 80 00	GLAZING	1/15/19	100%CD / CD progress set
08 83 00	MIRRORS	1/15/19	100%CD / CD progress set
08 90 00	LOUVERS AND VENTS		

**DIVISION 09 - FINISHES**

09 22 16	NON-STRUCTURAL METAL FRAMING	1/15/19	100%CD / CD progress set
09 29 16	GYPSON BOARD	1/15/19	100%CD / CD progress set
09 30 13	CERAMIC TILING	1/15/19	100%CD / CD progress set
09 51 13	ACOUSTICAL PANEL CEILINGS	1/15/19	100%CD / CD progress set
09 54 23	LINEAR METAL CEILINGS	1/15/19	100%CD / CD progress set
09 65 13	RESILIENT BASE AND ACCESSORIES	1/15/19	100%CD / CD progress set
09 65 19	RESILIENT TILE FLOORING	1/15/19	100%CD / CD progress set
09 65 66	RESILIENT ATHLETIC FLOORING	1/15/19	100%CD / CD progress set
09 67 26	ACRYLIC FLAKE FLOOR COATINGS	1/15/19	100%CD / CD progress set
09 68 13	TILE CARPETING	1/15/19	100%CD / CD progress set
09 68 23	SYNTHETIC TURF	1/15/19	100%CD / CD progress set
09 77 20	FIBERGLASS REINFORCED WALL PANELS (FRP)	1/15/19	100%CD / CD progress set

SPECIFICATIONS LOG

100% CD AND PROGRESS SET

SECTION	TITLE	ISSUE DATE	ISSUED FOR
09 91 00	PAINTING	1/15/19	100%CD / CD progress set
09 96 46	INTUMESCENT PAINTING	1/15/19	100%CD / CD progress set
09 96 53	ELECTROSTATIC SPRAY COATINGS	1/15/19	100%CD / CD progress set
09 97 13	SPECIAL STRUCTURAL STEEL COATINGS	1/15/19	100%CD / CD progress set
<b>DIVISION 10 - SPECIALTIES</b>			
10 14 00	SIGNAGE	1/15/19	100%CD / CD progress set
10 21 13	TOILET COMPARTMENTS	1/15/19	100%CD / CD progress set
10 22 26	OPERABLE PANEL PARTITIONS	1/15/19	100%CD / CD progress set
10 26 00	WALL AND DOOR PROTECTION	1/15/19	100%CD / CD progress set
10 28 00	TOILET AND BATH ACCESSORIES	1/15/19	100%CD / CD progress set
10 44 13	FIRE EXTINGUISHER CABINETS	1/15/19	100%CD / CD progress set
10 51 13	METAL LOCKERS	1/15/19	100%CD / CD progress set
10 56 26	MOBILE STORAGE SHELVING	1/15/19	100%CD / CD progress set
<b>DIVISION 11 - EQUIPMENT</b>			
11 23 00	COMMERCIAL LAUNDRY EQUIPMENT	1/15/19	100%CD / CD progress set
11 24 29	FACILITY FALL PROTECTION		
11 40 00	FOOD SERVICE EQUIPMENT		
<b>DIVISION 12 - FURNISHINGS</b>			
12 24 13	ROLLER WINDOW SHADES	1/15/19	100%CD / CD progress set
12 36 23	PLASTIC-LAMINATE-CLAD COUNTERTOPS	1/15/19	100%CD / CD progress set
12 36 61	SOLID SURFACING COUNTERTOPS	1/15/19	100%CD / CD progress set
12 36 63	QUARTZ AGGLOMERATE COUNTERTOPS	1/15/19	100%CD / CD progress set
12 48 13	ENTRANCE FLOOR MATS AND FRAMES	1/15/19	100%CD / CD progress set
12 63 13	STADIUM BENCH SEATING	1/15/19	100%CD / CD progress set
<b>DIVISION 13 - SPECIAL CONSTRUCTION</b>			
13 17 13	HOT POOL	1/15/19	100%CD / CD progress set
13 17 16	COLD POOL (Revised)	1/15/19	100%CD / CD progress set
13 17 23	AQUATIC THERAPY POOL (Revised)	1/15/19	100%CD / CD progress set
13 24 16	SAUNAS	1/15/19	100%CD / CD progress set
13 24 26	STEAM ROOMS	1/15/19	100%CD / CD progress set
<b>DIVISION 14 - CONVEYING EQUIPMENT</b>			
14 24 00	HYDRAULIC ELEVATORS	1/15/19	100%CD / CD progress set
14 42 00	WHEELCHAIR LIFTS	1/15/19	100%CD / CD progress set
<b>DIVISION 21 - FIRE SUPPRESSION</b>			
21 00 00	DIVISION 21 INDEX	1/15/19	100%CD / CD progress set
21 05 00	GENERAL PROVISIONS	1/15/19	100%CD / CD progress set
21 05 01	DEMONSTRATION & TRAINING	1/15/19	100%CD / CD progress set
21 05 17	SLEEVES & SLEEVE SEALS FOR FIRE SUPPRESSION PIPING	1/15/19	100%CD / CD progress set
21 05 53	IDENTIFICATION FOR FIRE SUPPRESSION PIPING & EQUIPMEN	1/15/19	100%CD / CD progress set
21 13 13	WET PIPE SPRINKLER SYSTEMS	1/15/19	100%CD / CD progress set
<b>DIVISION 22 - PLUMBING</b>			
22 00 00	DIVISION 22 INDEX	1/15/19	100%CD / CD progress set
22 05 00	GENERAL PROVISIONS	1/15/19	100%CD / CD progress set
22 05 01	DEMONSTRATION & TRAINING	1/15/19	100%CD / CD progress set
22 05 13	COMMON MOTOR REQUIREMENTS FOR PLUMBING EQUIPMENT	1/15/19	100%CD / CD progress set
22 05 16	EXPANSION FITTINGS FOR PLUMBING PIPING	1/15/19	100%CD / CD progress set
22 05 17	SLEEVES & SLEEVE SEALS FOR PLUMBING PIPING	1/15/19	100%CD / CD progress set
22 05 18	ESCUTCHEONS FOR PLUMBING PIPING	1/15/19	100%CD / CD progress set
22 05 19	METERS AND GAGES FOR PLUMBING PIPING	1/15/19	100%CD / CD progress set
22 05 23	GENERAL DUTY VALVES FOR PLUMBING PIPING	1/15/19	100%CD / CD progress set
22 05 29	HANGERS & SUPPORTS FOR PLUMBING PIPING & EQUIPMENT	1/15/19	100%CD / CD progress set
22 05 33	HEAT TRACING FOR PLUMBING PIPING	1/15/19	100%CD / CD progress set

SPECIFICATIONS LOG

100% CD AND PROGRESS SET

SECTION	TITLE	ISSUE DATE	ISSUED FOR
22 05 48	VIBRATION CONTROLS FOR PLUMBING PIPING & EQUIPMENT	1/15/19	100%CD / CD progress set
22 05 53	IDENTIFICATION FOR PLUMBING PIPING & EQUIPMENT	1/15/19	100%CD / CD progress set
22 07 16	PLUMBING EQUIPMENT INSULATION	1/15/19	100%CD / CD progress set
22 07 19	PLUMBING PIPING INSULATION	1/15/19	100%CD / CD progress set
22 08 00	COMMISSIONING OF PLUMBING	1/15/19	100%CD / CD progress set
22 11 16	DOMESTIC WATER PIPING (COPPER ONLY)	1/15/19	100%CD / CD progress set
22 11 19	DOMESTIC WATER PIPING SPECIALTIES	1/15/19	100%CD / CD progress set
22 11 23	DOMESTIC HOT WATER RECIRCULATING PUMPS	1/15/19	100%CD / CD progress set
22 13 16	SANITARY WASTE & VENT PIPING (ALL MATERIALS)	1/15/19	100%CD / CD progress set
22 13 19	SANITARY WASTE PIPING SPECIALTIES	1/15/19	100%CD / CD progress set
22 13 23	SANITARY WASTE INTERCEPTORS	1/15/19	100%CD / CD progress set
22 13 29	SANITARY SEWAGE PUMPS	1/15/19	100%CD / CD progress set
22 14 13	STORM DRAINAGE PIPING (ALL MATERIALS)	1/15/19	100%CD / CD progress set
22 14 23	STORM DRAINAGE PIPING SPECIALTIES	1/15/19	100%CD / CD progress set
22 14 29	SUMP PUMPS	1/15/19	100%CD / CD progress set
22 16 23	FACILITY NATURAL GAS PIPING	1/15/19	100%CD / CD progress set
22 31 00	DOMESTIC WATER SOFTENERS	1/15/19	100%CD / CD progress set
22 32 00	DOMESTIC WATER FILTRATION EQUIPMENT	1/15/19	100%CD / CD progress set
22 33 00	ELECTRIC, DOMESTIC WATER HEATERS	1/15/19	100%CD / CD progress set
22 34 00	FUEL FIRED DOMESTIC WATER HEATERS	1/15/19	100%CD / CD progress set
22 35 44	DOMESTIC HOT WATER STORAGE TANKS	1/15/19	100%CD / CD progress set
22 40 00	PLUMBING FIXTURES	1/15/19	100%CD / CD progress set
22 45 00	EMERGENCY PLUMBING FIXTURES	1/15/19	100%CD / CD progress set
22 47 00	DRINKING FOUNTAINS & WATER COOLERS	1/15/19	100%CD / CD progress set
22 11 19	DOMESTIC WATER PIPING SPECIALTIES	1/15/19	100%CD / CD progress set
22 40 00	PLUMBING FIXTURES	1/15/19	100%CD / CD progress set

**DIVISION 23 HEATING, VENTILATING & AIR CONDITIONING**

23 00 00	DIVISION 23 INDEX	1/15/19	100%CD / CD progress set
23 05 01	DEMONSTRATION & TRAINING	1/15/19	100%CD / CD progress set
23 07 13	DUCT INSULATION	1/15/19	100%CD / CD progress set
23 08 00	COMMISSIONING OF HVAC	1/15/19	100%CD / CD progress set
23 09 00	BLDG AUTOMATION SYSTEM FOR HVAC	1/15/19	100%CD / CD progress set
23 21 13	HYDRONIC PIPING	1/15/19	100%CD / CD progress set
23 23 00	REFRIGERANT PIPING	1/15/19	100%CD / CD progress set
23 25 00	HVAC WATER TREATMENT	1/15/19	100%CD / CD progress set
23 31 13	METAL DUCTS	1/15/19	100%CD / CD progress set
23 33 00	AIR DUCT ACCESSORIES	1/15/19	100%CD / CD progress set
23 34 23	HVAC POWER VENTILATORS	1/15/19	100%CD / CD progress set
23 36 00	AIR TERMINAL UNITS	1/15/19	100%CD / CD progress set
23 37 13	DIFFUSERS, LOUVERS, REGISTERS & GRILLES	1/15/19	100%CD / CD progress set
23 41 00	PARTICULATE AIR FILTRATION	1/15/19	100%CD / CD progress set
23 51 23	FUEL-FIRED APPLIANCE VENTS	1/15/19	100%CD / CD progress set
23 52 33.13	COPPER FIN TUBE BOILERS	1/15/19	100%CD / CD progress set
23 53 13	BOILER FEEDWATER PUMPS	1/15/19	100%CD / CD progress set
23 64 26	ROTARY-SCREW WATER CHILLERS	1/15/19	100%CD / CD progress set
23 73 14	OUTDOOR AIR HANDLING UNITS	1/15/19	100%CD / CD progress set
23 81 26	SPLIT-SYSTEM AIR CONDITIONERS	1/15/19	100%CD / CD progress set
23 82 16.14	ELECTRIC RESISTANCE AIR COILS	1/15/19	100%CD / CD progress set
23 84 16	MECHANICAL DEHUMIDIFICATION UNITS-CEK	1/15/19	100%CD / CD progress set

**DIVISION 26 ELECTRICAL**

26 05 00	GENERAL PROVISIONS	1/15/19	100%CD / CD progress set
26 09 13	POWER SYSTEM METERING	1/15/19	100%CD / CD progress set
26 22 13	LOW VOLTAGE DISTRIBUTION TRANSFORMERS	1/15/19	100%CD / CD progress set
26 24 12	SERVICE ENTRANCE SWITCHBOARDS	1/15/19	100%CD / CD progress set
26 27 26	WIRING DEVICES	1/15/19	100%CD / CD progress set
26 28 13	OVERCURRENT PROTECTION	1/15/19	100%CD / CD progress set
26 28 16	ENCLOSED SWITCHES & CIRCUIT BREAKERS	1/15/19	100%CD / CD progress set
26 32 13	DIESEL ENGINE DRIVEN GENERATOR SETS	1/15/19	100%CD / CD progress set

SPECIFICATIONS LOG

100% CD AND PROGRESS SET

SECTION	TITLE	ISSUE DATE	ISSUED FOR
26 32 15	WEATHERPROOF SOUND ATTENUATED ENCLOSURE	1/15/19	100%CD / CD progress set
26 36 23	AUTOMATIC TRANSFER SWITCHES	1/15/19	100%CD / CD progress set
26 41 13	LIGHTNING PROTECTION SYSTEM	1/15/19	100%CD / CD progress set
26 43 13	SURGE PROTECTIVE DEVICES	1/15/19	100%CD / CD progress set
26 51 00	INTERIOR LIGHTING FIXTURES & LAMPS	1/15/19	100%CD / CD progress set
26 56 00	EXTERIOR LIGHTING FIXTURES & LAMPS	1/15/19	100%CD / CD progress set

**DIVISION 27 COMMUNICATIONS**

27 05 00	GENERAL PROVISIONS	1/15/19	100%CD / CD progress set
27 05 26	GROUNDING & BONDING FOR COMMUNICATIONS SYSTEMS	1/15/19	100%CD / CD progress set
27 05 28	PATHWAYS FOR COMMUNICATIONS SYSTEMS	1/15/19	100%CD / CD progress set
27 05 36	CABLE TRAY FOR COMMUNICATIONS SYSTEMS	1/15/19	100%CD / CD progress set
27 05 44	SLEEVES & SLEEVE SEALS FOR COMMUNICATIONS PATHWAYS & CABLING	1/15/19	100%CD / CD progress set
27 11 00	COMMUNICATIONS EQUIPMENT ROOM FITTINGS	1/15/19	100%CD / CD progress set
27 13 00	COMMUNICATIONS BACKBONE CABLING	1/15/19	100%CD / CD progress set
27 15 00	COMMUNICATIONS HORIZONTAL CABLING	1/15/19	100%CD / CD progress set

**DIVISION 31 EARTHWORK**

31 00 00	EARTHWORK	1/15/19	100%CD / CD progress set
31 10 00	SITE CLEARING	1/15/19	100%CD / CD progress set
31 31 16	TERMITE CONTROL	1/15/19	100%CD / CD progress set

**DIVISION 32 EXTERIOR IMPROVEMENTS**

32 12 16	ASPHALT PAVING	1/15/19	100%CD / CD progress set
32 13 13	CONCRETE PAVING	1/15/19	100%CD / CD progress set
32 13 73	CONCRETE PAVING JOINT SEALANTS	1/15/19	100%CD / CD progress set
32 17 23	PAVEMENT MARKINGS	1/15/19	100%CD / CD progress set
32 80 00	IRRIGATION SYSTEMS PH1	1/15/19	100%CD / CD progress set
32 90 00	PLANTINGS PH1	1/15/19	100%CD / CD progress set
32 92 00	TURF SOD PH1	1/15/19	100%CD / CD progress set

CD PROGRESS SET

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR	DISCIPLINE
<b>2005 AS-BUILTS</b>				
1	COVER	7/28/05	AS-BUILTS	GENERAL
2	GENERAL INFORMATION	7/22/05	AS-BUILTS	GENERAL
3	STADIUM GRID GEOMETRY PLAN	7/22/05	AS-BUILTS	GENERAL
4	RFI'S	9/8/05	AS-BUILTS	GENERAL
5	INDEX GRADING, DRAINAGE, ONSITE UTILITIES, HORIZONTAL CONTROL	7/28/05	AS-BUILTS	CIVIL
6	INDEX GRADING, DRAINAGE, ONSITE UTILITIES, HORIZONTAL CONTROL	7/28/05	AS-BUILTS	CIVIL
7	RFI'S	7/21/05	AS-BUILTS	CIVIL
8	OSBORN ENTRANCE	7/28/05	AS-BUILTS	CIVIL
9	CIVIL - DETAIL SHEET	7/28/05	AS-BUILTS	CIVIL
10	PARKING, SEWER & WATER	7/28/05	AS-BUILTS	CIVIL
11	OVERALL DRAINAGE PLAN	7/28/05	AS-BUILTS	SITE DEVELOPMENT
12	STANDARD NOTES & SPECIFICATIONS	7/28/05	AS-BUILTS	SITE DEVELOPMENT
13	STANDARD NOTES & SPECIFICATIONS	7/28/05	AS-BUILTS	SITE DEVELOPMENT
14	RFI'S	8/31/05	AS-BUILTS	SITE DEVELOPMENT
15	DRAINAGE PLAN	7/28/05	AS-BUILTS	SITE DEVELOPMENT
16	DRAINAGE PLAN	7/28/05	AS-BUILTS	SITE DEVELOPMENT
17	DRAINAGE PLAN	7/28/05	AS-BUILTS	SITE DEVELOPMENT
18	DRAINAGE PLAN	7/28/05	AS-BUILTS	SITE DEVELOPMENT
19	DRAINAGE CHANNEL CROSS SECTIONS	7/28/05	AS-BUILTS	SITE DEVELOPMENT
20	SITE PLAN	7/28/05	AS-BUILTS	SITE DEVELOPMENT
21	SITE PLAN	7/28/05	AS-BUILTS	SITE DEVELOPMENT
22	UTILITY PLAN	7/28/05	AS-BUILTS	SITE DEVELOPMENT
23	CROSS SECTIONS	7/28/05	AS-BUILTS	SITE DEVELOPMENT
24	PAVING AND GRADING DETAILS	7/28/05	AS-BUILTS	SITE DEVELOPMENT
25	PAVING AND GRADING DETAILS	7/28/05	AS-BUILTS	SITE DEVELOPMENT
26	UTILITY DETAILS	7/28/05	AS-BUILTS	SITE DEVELOPMENT
27	PUMP STATION DETAILS	7/28/05	AS-BUILTS	SITE DEVELOPMENT
28	RFI'S	8/15/05	AS-BUILTS	SITE DEVELOPMENT
29	EROSION AND SEDIMENTATION CONTROL PLAN	7/28/05	AS-BUILTS	SITE DEVELOPMENT
30	STADIUM SITE DRAINAGE PLAN	7/28/05	AS-BUILTS	SITE DEVELOPMENT
31	FIELD LAYOUT PLAN	7/28/05	AS-BUILTS	PLAYING FIELDS
32	FIELD GRADING PLAN	7/28/05	AS-BUILTS	PLAYING FIELDS
33	FIELD UNDERDRAIN COLLECTION PLAN	7/28/05	AS-BUILTS	PLAYING FIELDS
34	PLAYING FIELD IRRIGATION LAYOUT PLAN	7/28/05	AS-BUILTS	PLAYING FIELDS
35	PLAYING FIELD IRRIGATION DETAILS	7/28/05	AS-BUILTS	PLAYING FIELDS
36	OVERALL FIELD LAYOUT PLAN	7/28/05	AS-BUILTS	PLAYING FIELDS
37	OVERALL FIELD GRADING PLAN	7/28/05	AS-BUILTS	PLAYING FIELDS
38	OVERALL FIELD UNDERDRAIN COLLECTION PLAN	7/28/05	AS-BUILTS	PLAYING FIELDS
39	FIELD LAYOUT PLAN	7/28/05	AS-BUILTS	PLAYING FIELDS
40	FIELD GRADING PLAN	7/28/05	AS-BUILTS	PLAYING FIELDS
41	FIELD UNDERDRAIN COLLECTION PLAN	7/28/05	AS-BUILTS	PLAYING FIELDS
42	PLAYING FIELD IRRIGATION LAYOUT PLAN	7/28/05	AS-BUILTS	PLAYING FIELDS
43	FIELD LAYOUT PLAN	7/28/05	AS-BUILTS	PLAYING FIELDS
44	FIELD GRADING PLAN	7/28/05	AS-BUILTS	PLAYING FIELDS
45	FIELD UNDERDRAIN COLLECTION PLAN	7/28/05	AS-BUILTS	PLAYING FIELDS
46	PLAYING FIELD IRRIGATION LAYOUT PLAN	7/28/05	AS-BUILTS	PLAYING FIELDS
47	PLAYING FIELD DETAILS	7/28/05	AS-BUILTS	PLAYING FIELDS
48	PLAYING FIELD DETAILS	7/28/05	AS-BUILTS	PLAYING FIELDS
49	PLAYING FIELD IRRIGATION DETAILS	7/28/05	AS-BUILTS	PLAYING FIELDS
50	SCOTTSDALE STADIUM COVER NOTES	7/22/05	AS-BUILTS	LANDSCAPE ARCHITECTURE
51	SCOTTSDALE STADIUM LANDSCAPE PLAN	7/22/05	AS-BUILTS	LANDSCAPE ARCHITECTURE
52	SCOTTSDALE STADIUM LANDSCAPE PLAN	7/22/05	AS-BUILTS	LANDSCAPE ARCHITECTURE
53	SCOTTSDALE STADIUM LANDSCAPE PLAN	7/22/05	AS-BUILTS	LANDSCAPE ARCHITECTURE
54	SCOTTSDALE STADIUM LANDSCAPE PLAN	7/22/05	AS-BUILTS	LANDSCAPE ARCHITECTURE
55	SCOTTSDALE STADIUM IRRIGATION PLAN	7/22/05	AS-BUILTS	LANDSCAPE ARCHITECTURE
56	SCOTTSDALE STADIUM IRRIGATION PLAN	7/22/05	AS-BUILTS	LANDSCAPE ARCHITECTURE
57	SCOTTSDALE STADIUM IRRIGATION PLAN	7/22/05	AS-BUILTS	LANDSCAPE ARCHITECTURE
58	SCOTTSDALE STADIUM HARDSCAPE PLAN	7/22/05	AS-BUILTS	LANDSCAPE ARCHITECTURE
59	SCOTTSDALE STADIUM HARDSCAPE PLAN	7/22/05	AS-BUILTS	LANDSCAPE ARCHITECTURE
60	SPRING TRAINING LANDSCAPE DETAILS	7/22/05	AS-BUILTS	LANDSCAPE ARCHITECTURE
61	SPRING TRAINING IRRIGATION DETAILS	7/22/05	AS-BUILTS	LANDSCAPE ARCHITECTURE
62	SPRING TRAINING IRRIGATION DETAILS	7/22/05	AS-BUILTS	LANDSCAPE ARCHITECTURE
63	SCOTTSDALE STADIUM EXISTING LANDSCAPE INVENTORY	6/30/05	AS-BUILTS	LANDSCAPE ARCHITECTURE
64	CLUB SAR - PH1 COVER NOTES	7/22/05	AS-BUILTS	LANDSCAPE ARCHITECTURE
65	CLUB SAR - PH1 LANDSCAPE PLAN	7/22/05	AS-BUILTS	LANDSCAPE ARCHITECTURE
66	CLUB SAR BALLFIELD TEMPORARY MAINLINE ROUTING	7/22/05	AS-BUILTS	LANDSCAPE ARCHITECTURE
67	CLUB SAR - PH1 IRRIGATION PLAN	7/22/05	AS-BUILTS	LANDSCAPE ARCHITECTURE
68	CLUB SAR - PH1 IRRIGATION PLAN	7/22/05	AS-BUILTS	LANDSCAPE ARCHITECTURE
69	CLUB SAR - PH1 IRRIGATION PLAN	7/22/05	AS-BUILTS	LANDSCAPE ARCHITECTURE
70	CLUB SAR - PH1 IRRIGATION PLAN	7/22/05	AS-BUILTS	LANDSCAPE ARCHITECTURE

CD PROGRESS SET

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR	DISCIPLINE
71	CLUB SAR - PH1 IRRIGATION PLAN	7/22/05	AS-BUILTS	LANDSCAPE ARCHITECTURE
72	GENERAL STRUTURAL NOTES	7/22/05	AS-BUILTS	STRUCTURAL
73	TYPICAL SECTIONS AND DETAILS	7/22/05	AS-BUILTS	STRUCTURAL
74	TYPICAL CAST-IN-PLACE CONCRETE DETAILS	7/22/05	AS-BUILTS	STRUCTURAL
75	TYPICAL CAST-IN-PLACE CONCRETE DETAILS	7/22/05	AS-BUILTS	STRUCTURAL
76	TYPICAL STEEL CONNECTION DETAILS	7/22/05	AS-BUILTS	STRUCTURAL
77	LOWER LEVEL FOUNDATION PLAN	7/22/05	AS-BUILTS	STRUCTURAL
78	PARTIAL CONCOURSE LEVEL PLAN	7/22/05	AS-BUILTS	STRUCTURAL
79	PARTIAL CONCOURSE LEVEL PLAN	7/22/05	AS-BUILTS	STRUCTURAL
80	RFI'S	6/23/05	AS-BUILTS	STRUCTURAL
81	PARTIAL CONCOURSE LEVEL PLAN	7/22/05	AS-BUILTS	STRUCTURAL
82	PARTIAL CONCOURSE LEVEL PLAN	7/22/05	AS-BUILTS	STRUCTURAL
83	PARTIAL PRESS LEVEL PLAN	7/22/05	AS-BUILTS	STRUCTURAL
84	PARTIAL PRESS LEVEL PLAN	7/22/05	AS-BUILTS	STRUCTURAL
85	PARTIAL CONCOURSE LEVEL PLAN	7/22/05	AS-BUILTS	STRUCTURAL
86	PARTIAL CONCOURSE LEVEL PLAN	7/22/05	AS-BUILTS	STRUCTURAL
87	PARTIAL CONCOURSE LEVEL PLAN	7/22/05	AS-BUILTS	STRUCTURAL
88	BRACE FRAME ELEVATION, SECTIONS AND DETAILS	7/22/05	AS-BUILTS	STRUCTURAL
89	FOUNDATION SECTIONS AND DETAILS	7/22/05	AS-BUILTS	STRUCTURAL
90	RFI'S	8/10/05	AS-BUILTS	STRUCTURAL
91	FOUNDATION SECTIONS AND DETAILS	7/22/05	AS-BUILTS	STRUCTURAL
92	FLOOR FRAMING SECTIONS AND DETAILS	7/22/05	AS-BUILTS	STRUCTURAL
93	FLOOR FRAMING SECTIONS AND DETAILS	7/22/05	AS-BUILTS	STRUCTURAL
94	ROOF FRAMING SECTIONS AND DETAILS	7/22/05	AS-BUILTS	STRUCTURAL
95	ROOF FRAMING SECTIONS AND DETAILS	7/22/05	AS-BUILTS	STRUCTURAL
96	ROOF FRAMING SECTIONS AND DETAILS	7/22/05	AS-BUILTS	ARCHITECTURAL
97	TOILET ACCESSORIES & MOUNTING HEIGHTS	7/22/05	AS-BUILTS	ARCHITECTURAL
98	CLUBHOUSE LEVEL REFERENCE PLAN	7/22/05	AS-BUILTS	ARCHITECTURAL
99	CONCOURSE LEVEL REFERENCE PLAN	7/22/05	AS-BUILTS	ARCHITECTURAL
100	DECK LEVEL REFERENCE PLAN	7/22/05	AS-BUILTS	ARCHITECTURAL
101	RFI'S	8/31/05	AS-BUILTS	ARCHITECTURAL
102	INDIAN SCHOOL PARK REFERENCE PLAN	7/22/05	AS-BUILTS	ARCHITECTURAL
103	ENLARGED CLUBHOUSE LEVEL FLOOR PLAN	7/22/05	AS-BUILTS	ARCHITECTURAL
104	ENLARGED CONCOURSE LEVEL FLOOR PLAN	7/22/05	AS-BUILTS	ARCHITECTURAL
105	ENLARGED CONCOURSE LEVEL FLOOR PLAN	7/22/05	AS-BUILTS	ARCHITECTURAL
106	ENLARGED CONCOURSE LEVEL FLOOR PLAN	7/22/05	AS-BUILTS	ARCHITECTURAL
107	ENLARGED CONCOURSE LEVEL FLOOR PLAN	7/22/05	AS-BUILTS	ARCHITECTURAL
108	ENLARGED DECK LEVEL FLOOR PLAN	7/22/05	AS-BUILTS	ARCHITECTURAL
109	RFI'S	9/6/05	AS-BUILTS	ARCHITECTURAL
110	ENLARGED DECK LEVEL FLOOR PLAN	7/22/05	AS-BUILTS	ARCHITECTURAL
111	STADIUM ROOF PLANS	7/22/05	AS-BUILTS	ARCHITECTURAL
112	RFI'S	8/16/05	AS-BUILTS	ARCHITECTURAL
113	ENLARGED PRACTICE FIELD PLAN & DETAILS	7/22/05	AS-BUILTS	ARCHITECTURAL
114	RFI'S	8/18/05	AS-BUILTS	ARCHITECTURAL
115	STADIUM ENLARGED PLANS	7/22/05	AS-BUILTS	ARCHITECTURAL
116	REFLECTED CEILING PLANS	7/22/05	AS-BUILTS	ARCHITECTURAL
117	STADIUM EXTERIOR ELEVATIONS	7/22/05	AS-BUILTS	ARCHITECTURAL
118	RFI'S	8/10/05	AS-BUILTS	ARCHITECTURAL
119	STADIUM EXTERIOR ELEVATIONS	7/22/05	AS-BUILTS	ARCHITECTURAL
120	STADIUM ENLARGED EXTERIOR ELEVATIONS	7/22/05	AS-BUILTS	ARCHITECTURAL
121	STADIUM ENLARGED EXTERIOR ELEVATIONS	7/22/05	AS-BUILTS	ARCHITECTURAL
122	STADIUM ENLARGED EXTERIOR ELEVATIONS	7/22/05	AS-BUILTS	ARCHITECTURAL
123	STADIUM BUILDING SECTIONS	7/22/05	AS-BUILTS	ARCHITECTURAL
124	RFI'S	10/10/05	AS-BUILTS	ARCHITECTURAL
125	STADIUM BUILDING & WALL SECTIONS	7/22/05	AS-BUILTS	ARCHITECTURAL
126	RFI'S	8/11/05	AS-BUILTS	ARCHITECTURAL
127	STADIUM WALL SECTIONS & DETAILS	7/22/05	AS-BUILTS	ARCHITECTURAL
128	STADIUM STAIR PLANS & SECTIONS	7/22/05	AS-BUILTS	ARCHITECTURAL
129	STADIUM ENLARGED PLANS & SECTIONS	7/22/05	AS-BUILTS	ARCHITECTURAL
130	RFI'S	8/22/05	AS-BUILTS	ARCHITECTURAL
131	STADIUM ENLARGED PLANS & SECTIONS	8/22/05	AS-BUILTS	ARCHITECTURAL
132	RFI'S	9/22/05	AS-BUILTS	ARCHITECTURAL
133	DOOR & WINDOW TYPES AND DETAILS	7/22/05	AS-BUILTS	ARCHITECTURAL
134	RAIL TYPES & DETAILS	7/22/05	AS-BUILTS	ARCHITECTURAL
135	CASEWORK SCHEDULE	8/17/05	AS-BUILTS	ARCHITECTURAL
136	RAIL TYPES & DETAILS	7/22/05	AS-BUILTS	ARCHITECTURAL
137	DETAILS	7/22/05	AS-BUILTS	ARCHITECTURAL
138	STADIUM DETAILS	7/22/05	AS-BUILTS	ARCHITECTURAL
139	RFI'S	7/28/05	AS-BUILTS	ARCHITECTURAL
140	STADIUM SITE FENCING PLAN	6/9/05	AS-BUILTS	ARCHITECTURAL
141	FENCING DETAILS	7/22/05	AS-BUILTS	ARCHITECTURAL

CD PROGRESS SET

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR	DISCIPLINE
142	CLUB SAR SITE FENCING PLAN	7/22/05	AS-BUILTS	ARCHITECTURAL
143	CLUB SAR ENLARGED SITE FENCING PLAN	7/22/05	AS-BUILTS	ARCHITECTURAL
144	BATTING CAGE: PLAN, SECTION & DETAILS	7/22/05	AS-BUILTS	ARCHITECTURAL
145	CLUBHOUSE LEVEL LIFE SAFETY PLAN	7/22/05	AS-BUILTS	LIFE SAFETY
146	CONCOURSE LEVEL LIFE SAFETY PLAN	7/22/05	AS-BUILTS	LIFE SAFETY
147	CONCOURSE LEVEL LIFE SAFETY PLAN	7/22/05	AS-BUILTS	LIFE SAFETY
148	CONCOURSE LEVEL LIFE SAFETY PLAN	7/22/05	AS-BUILTS	LIFE SAFETY
149	CONCOURSE LEVEL LIFE SAFETY PLAN	7/22/05	AS-BUILTS	LIFE SAFETY
150	DECK LEVEL LIFE SAFETY PLAN	7/22/05	AS-BUILTS	LIFE SAFETY
151	DECK LEVEL LIFE SAFETY PLAN	7/22/05	AS-BUILTS	LIFE SAFETY
MEPO-1	MECHANICAL - ELECTRICAL - PLUMBING SCHEDULES	7/22/05	AS-BUILTS	MEP
M0-1	MECHANICAL LEGEND AND NOTES	7/22/05	AS-BUILTS	MEP
M1-1	CLUBHOUSE LEVEL MECHANICAL REFERENCE PLAN	7/22/05	AS-BUILTS	MEP
M1-2	CONCOURSE LEVEL MECHANICAL REFERENCE PLAN	7/22/05	AS-BUILTS	MEP
M1-3	PRESS LEVEL MECHANICAL REFERENCE PLAN	7/22/05	AS-BUILTS	MEP
MD1-0	CLUBHOUSE LEVEL MECHANICAL DEMOLITION PLAN	7/22/05	AS-BUILTS	MEP
M2-1.1	ENLARGED CLUBHOUSE LEVEL MECHANICAL PLAN	7/22/05	AS-BUILTS	MEP
M2-2.1	ENLARGED CONCOURSE LEVEL MECHANICAL PLAN	7/22/05	AS-BUILTS	MEP
M2-2.2	ENLARGED CONCOURSE LEVEL MECHANICAL PLAN	7/22/05	AS-BUILTS	MEP
M2-2.3	ENLARGED CONCOURSE LEVEL MECHANICAL PLAN	7/22/05	AS-BUILTS	MEP
M2-3.2	ENLARGED PRESS LEVEL MECHANICAL PLAN	7/22/05	AS-BUILTS	MEP
M8-1-01	MECHANICAL DETAILS	7/22/05	AS-BUILTS	MEP
M8-1-02	MECHANICAL DETAILS	7/22/05	AS-BUILTS	MEP
EPO-1	ELECTRICAL LEGEND AND NOTES	7/22/05	AS-BUILTS	MEP
EPO-2	ELECTRICAL ONE-LINE DIAGRAM	7/22/05	AS-BUILTS	MEP
EP1-1	CLUBHOUSE LEVEL POWER REFERENCE PLAN	7/22/05	AS-BUILTS	MEP
EP1-2	CONCOURSE LEVEL POWER REFERENCE PLAN	7/22/05	AS-BUILTS	MEP
EP1-3	PRESS LEVEL POWER REFERENCE PLAN	7/22/05	AS-BUILTS	MEP
EP1-4A	CLUB SAR POWER REFERENCE PLAN	7/22/05	AS-BUILTS	MEP
EPD1-1	CLUBHOUSE LEVEL POWER DEMOLITION PLAN	7/22/05	AS-BUILTS	MEP
EPD1-2	CONCOURSE LEVEL POWER DEMO REFERENCE PLAN	7/22/05	AS-BUILTS	MEP
EPD1-3	PRESS LEVEL POWER DEMO REFERENCE PLAN	7/22/05	AS-BUILTS	MEP
EP2-1.1	ENLARGED CLUBHOUSE LEVEL POWER PLAN	7/22/05	AS-BUILTS	MEP
EP2-2.1	ENLARGED CONCOURSE LEVEL POWER PLAN - AREA 1	7/22/05	AS-BUILTS	MEP
EP2-2.2	ENLARGED CONCOURSE LEVEL POWER PLAN - AREA 2	7/22/05	AS-BUILTS	MEP
EP2-2.3	ENLARGED CONCOURSE LEVEL POWER PLAN - AREA 3	7/22/05	AS-BUILTS	MEP
EP2-2.4	ENLARGED CONCOURSE LEVEL POWER PLAN - AREA 4	7/22/05	AS-BUILTS	MEP
EP2-3.1	ENLARGED PRESS LEVEL POWER PLAN - AREA 1	7/22/05	AS-BUILTS	MEP
EP2-3.2	ENLARGED PRESS LEVEL POWER PLAN - AREA 2	7/22/05	AS-BUILTS	MEP
EP8-1-01	ELECTRICAL DETAILS	7/22/05	AS-BUILTS	MEP
ELO-0	LIGHTING FIXTURE SCHEDULE	7/22/05	AS-BUILTS	MEP
EL1-1	CLUBHOUSE LEVEL LIGHTING REFERENCE PLAN	7/22/05	AS-BUILTS	MEP
EL1-2A	CONCOURSE LEVEL LIGHTING REFERENCE PLAN A	7/22/05	AS-BUILTS	MEP
EL1-2B	CONCOURSE LEVEL LIGHTING REFERENCE PLAN B	7/22/05	AS-BUILTS	MEP
EL1-3	PRESS LEVEL LIGHTING REFERENCE PLAN	7/22/05	AS-BUILTS	MEP
EL2-1.1	ENLARGED CLUBHOUSE LEVEL LIGHTING PLAN - AREA 1	7/22/05	AS-BUILTS	MEP
EL2-2.1	ENLARGED CONCOURSE LEVEL LIGHTING PLAN - AREA 1	7/22/05	AS-BUILTS	MEP
EL2-2.2	ENLARGED CONCOURSE LEVEL LIGHTING PLAN - AREA 2	7/22/05	AS-BUILTS	MEP
EL2-2.3	ENLARGED CONCOURSE LEVEL LIGHTING PLAN - AREA 3	7/22/05	AS-BUILTS	MEP
EL2-2.4	ENLARGED CONCOURSE LEVEL LIGHTING PLAN - AREA 4	7/22/05	AS-BUILTS	MEP
EL2-3.1	ENLARGED PRESS LEVEL LIGHTING PLAN - AREA 1	7/22/05	AS-BUILTS	MEP
EL2-3.2	ENLARGED PRESS LEVEL LIGHTING PLAN - AREA 2	7/22/05	AS-BUILTS	MEP
EL5-0	SPORTS LIGHTING PLAN	7/22/05	AS-BUILTS	MEP
EL5-1	SPORTS LIGHTING DETAILS	7/22/05	AS-BUILTS	MEP
EL5-2.1	CLUB SAR ENLARGED FIELD LIGHTING PLAN - AREA 1	7/22/05	AS-BUILTS	MEP
EL5-2.2	CLUB SAR ENLARGED FIELD LIGHTING PLAN - AREA 2	7/22/05	AS-BUILTS	MEP
PO-1	PLUMBING LEGEND AND NOTES	7/22/05	AS-BUILTS	MEP
PO-2	PLUMBING SCHEDULES	7/22/05	AS-BUILTS	MEP
P1-1	CLUBHOUSE LEVEL PLUMBING REFERENCE PLAN	7/22/05	AS-BUILTS	MEP
P1-2	CONCOURSE LEVEL PLUMBING REFERENCE PLAN	7/22/05	AS-BUILTS	MEP
P1-3	PRESS LEVEL PLUMBING REFERENCE PLAN	7/22/05	AS-BUILTS	MEP
PD1-0	CLUBHOUSE LEVEL PLUMBING DEMOLITION PLAN	7/22/05	AS-BUILTS	MEP
P2-1.1	ENLARGED CLUBHOUSE LEVEL PLUMBING PLAN - AREA 1	7/22/05	AS-BUILTS	MEP
P2-2.1	ENLARGED CONCOURSE LEVEL PLUMBING PLAN - AREA 1	7/22/05	AS-BUILTS	MEP
P2-2.2	ENLARGED CONCOURSE LEVEL PLUMBING PLAN - AREA 2	7/22/05	AS-BUILTS	MEP
P2-2.3	ENLARGED CONCOURSE LEVEL PLUMBING PLAN - AREA 3	7/22/05	AS-BUILTS	MEP
P2-2.4	ENLARGED CONCOURSE LEVEL PLUMBING PLAN - AREA 2	7/22/05	AS-BUILTS	MEP
P2-3.1	ENLARGED PRESS LEVEL PLUMBING PLAN - AREA 1	7/22/05	AS-BUILTS	MEP
P2-3.2	ENLARGED PRESS LEVEL PLUMBING PLAN - AREA 1	7/22/05	AS-BUILTS	MEP
P2-3.3	ENLARGED PRESS LEVEL PLUMBING PLAN - AREA 2	7/22/05	AS-BUILTS	MEP



CD PROGRESS SET

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR	DISCIPLINE
P2-3.4	ENLARGED PRESS LEVEL PLUMBING PLAN - AREA 2	7/22/05	AS-BUILTS	MEP
P3-1.1	ENLARGED CLUBHOUSE LEVEL (BELOW SLAB) PLUMBING PLAN - AREA 1	7/22/05	AS-BUILTS	MEP
P3-1.2	ENLARGED CLUBHOUSE LEVEL (ABOVE SLAB) PLUMBING PLAN - AREA 1	7/22/05	AS-BUILTS	MEP
P3-2.1	ENLARGED CONCOURSE LEVEL (BELOW SLAB) PLUMBING PLAN - AREA 2	7/22/05	AS-BUILTS	MEP
P3-2.2	ENLARGED CONCOURSE LEVEL (ABOVE SLAB) PLUMBING PLAN - AREA 2	7/22/05	AS-BUILTS	MEP
P8-1-01	PLUMBING DETAILS	7/22/05	AS-BUILTS	MEP
FP2-1.1	ENLARGED CLUBHOUSE LEVEL FIRE PROTECTION PLAN - AREA 1	7/22/05	AS-BUILTS	FIRE PROTECTION
FP2-2.1	ENLARGED CONCOURSE LEVEL FIRE PROTECTION PLAN - AREA 1	7/22/05	AS-BUILTS	FIRE PROTECTION
FP2-2.2	ENLARGED CONCOURSE LEVEL FIRE PROTECTION PLAN - AREA 2	7/22/05	AS-BUILTS	FIRE PROTECTION
FP2-2.3	ENLARGED CONCOURSE LEVEL FIRE PROTECTION PLAN - AREA 3	7/22/05	AS-BUILTS	FIRE PROTECTION
FP2-3.2	ENLARGED PRESS LEVEL FIRE PROTECTION PLAN - AREA 2	7/22/05	AS-BUILTS	FIRE PROTECTION
AV0-0	AUDIO VISUAL GENERAL NOTES AND LEGENDS	7/22/05	AS-BUILTS	AUDIO VISUAL
AV2-1.1	ENLARGED CLUBHOUSE LEVEL FLOOR PLAN	7/22/05	AS-BUILTS	AUDIO VISUAL
AV2-2.1	ENLARGED CONCOURSE LEVEL FLOOR PLAN	7/22/05	AS-BUILTS	AUDIO VISUAL
AV2-2.2	ENLARGED CONCOURSE LEVEL FLOOR PLAN	7/22/05	AS-BUILTS	AUDIO VISUAL
AV2-3.1	ENLARGED PRESS LEVEL FLOOR PLAN	7/22/05	AS-BUILTS	AUDIO VISUAL
AV2-3.2	ENLARGED DECK LEVEL FLOOR PLAN	7/22/05	AS-BUILTS	AUDIO VISUAL
AV5-1	FUNCTIONAL DIAGRAM	7/22/05	AS-BUILTS	AUDIO VISUAL

**CITY OF SCOTTSDALE PAVING IMPROVEMENT DISTRICT PROJECT NO. 1P6014**

9907 (1/22)	TITLE SHEET	3/23/64	AS-BUILTS	CIVIL
9908 (2/22)	INDEX - KEY MAP - SYMBOLS	3/23/64	AS-BUILTS	CIVIL
9909 (3/22)	TYPICAL CROSS SECTIONS	3/23/64	AS-BUILTS	CIVIL
9910 (4/22)	DETAILS	3/23/64	AS-BUILTS	CIVIL
9911 (5/22)	DETAILS - CROSS SECTIONS	3/23/64	AS-BUILTS	CIVIL
9912 (6/22)	PLAN & PROFILE - OSBORN ROAD	3/23/64	AS-BUILTS	CIVIL
9913 (7/22)	PLAN & PROFILE - OSBORN ROAD	3/23/64	AS-BUILTS	CIVIL
9914 (8/22)	PLAN & PROFILE - OSBORN ROAD & ALLEY B	3/23/64	AS-BUILTS	CIVIL
9915 (9/22)	PLAN & PROFILE - BALLPARK PLAZA	3/23/64	AS-BUILTS	CIVIL
9916 (10/22)	PLAN & PROFILE - BALLPARK PLAZA & ALLEY A	3/23/64	AS-BUILTS	CIVIL
9917 (11/22)	PLAN & PROFILE - HINTON AVENUE	3/23/64	AS-BUILTS	CIVIL
9918 (12/22)	PLAN & PROFILE - HINTON AVENUE & ALLEY C	3/23/64	AS-BUILTS	CIVIL
9919 (13/22)	PLAN & PROFILE - FOURTH STREET	3/23/64	AS-BUILTS	CIVIL
9920 (14/22)	PLAN & PROFILE - WELLS FARGO AVENUE	3/23/64	AS-BUILTS	CIVIL
9921 (15/22)	PLAN & PROFILE - BROWN AVENUE	3/23/64	AS-BUILTS	CIVIL
9922 (16/22)	PLAN & PROFILE - 74TH STREET	3/23/64	AS-BUILTS	CIVIL
9923 (17/22)	PLAN & PROFILE - 74TH STREET & EARLL DRIVE	3/23/64	AS-BUILTS	CIVIL
9924 (18/22)	PLAN & PROFILE - EARLL DRIVE & SCOTTSDALE RD	3/23/64	AS-BUILTS	CIVIL
9925 (19/22)	PLAN & PROFILE - SCOTTSDALE ROAD	3/23/64	AS-BUILTS	CIVIL
9926 (20/22)	PLAN & PROFILE LAT. 3.0 ARIZONA CANAL (OSBORN RD)	3/23/64	AS-BUILTS	CIVIL
9927 (21/22)	DETAILS LAT. 3.0 ARIZONA CANAL (OSBORN RD)	3/23/64	AS-BUILTS	CIVIL
9928 (22/22)	DETAILS LAT. 3.0 ARIZONA CANAL (OSBORN RD)	3/23/64	AS-BUILTS	CIVIL

**CITY OF SCOTTSDALE CIVIC CENTER PLAZA (INDIAN SCHOOL ROAD TO FOURTH STREET) PAVING PLANS**

1	COVER PAGE	5/1/85	AS-BUILTS	CIVIL
2	DESIGN SHEET	5/1/85	AS-BUILTS	CIVIL
3	TYPICAL SECTIONS	5/1/85	AS-BUILTS	CIVIL
4	DETAILS	5/1/85	AS-BUILTS	CIVIL
5	DETAILS	5/1/85	AS-BUILTS	CIVIL
6	PIPE PROFILES	5/1/85	AS-BUILTS	CIVIL
7	SIDE STREET PLAN AND PROFILE	5/1/85	AS-BUILTS	CIVIL
8	SIDE STREET PLAN AND PROFILE	5/1/85	AS-BUILTS	CIVIL
9	CIVIC CENTER PLAZA PLAN AND PROFILE	5/1/85	AS-BUILTS	CIVIL
10	CIVIC CENTER PLAZA PLAN AND PROFILE	5/1/85	AS-BUILTS	CIVIL
11	CIVIC CENTER PLAZA PLAN AND PROFILE	5/1/85	AS-BUILTS	CIVIL
12	CIVIC CENTER PLAZA PLAN AND PROFILE	5/1/85	AS-BUILTS	CIVIL
13	CIVIC CENTER PLAZA PLAN AND PROFILE	5/1/85	AS-BUILTS	CIVIL
14	CIVIC CENTER PLAZA PLAN AND PROFILE	5/1/85	AS-BUILTS	CIVIL
15	CIVIC CENTER PLAZA PLAN AND PROFILE	5/1/85	AS-BUILTS	CIVIL
16	CIVIC CENTER PLAZA PLAN AND PROFILE	5/1/85	AS-BUILTS	CIVIL

**SCOTTSDALE STADIUM PRACTICE FACILITIES IMPROVEMENTS**

G1	COVER SHEET	9/12/17	AS-BUILTS	CIVIL
C1	DEMOLITION PLAN	9/12/17	AS-BUILTS	CIVIL
C2	GRADING & DRAINAGE PLAN	9/12/17	AS-BUILTS	CIVIL
C3	DETAIL PLAN	9/12/17	AS-BUILTS	CIVIL

**DOWNTOWN WATER TRANSMISSION MAINS AND SEWER TRUNK LINES**

G-1	COVER SHEET	1/1/11	AS-BUILTS	CIVIL
G-2	KEY MAP AND SHEET INDEX	1/1/11	AS-BUILTS	CIVIL
G-3	LEGEND AND GENERAL NOTES	1/1/11	AS-BUILTS	CIVIL
G-4	SURVEY CONTROL	1/1/11	AS-BUILTS	CIVIL
G-5	PROFILE SUMMARY	1/1/11	AS-BUILTS	CIVIL
C-101	E 2ND STREET WATER LINE	1/1/11	AS-BUILTS	CIVIL

CD PROGRESS SET

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR	DISCIPLINE
C-102	E 2ND STREET WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-103	E 2ND STREET WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-104	E 2ND STREET WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-105	E 2ND STREET WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-106	E 2ND STREET WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-107	E 2ND STREET WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-108	E 1ST AVE WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-109	E 1ST AVE WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-110	E 4TH ST WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-111	E 4TH ST WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-112	E 6TH STREET WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-113	E 6TH STREET WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-114	E 6TH STREET WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-115	N BISHOP LN WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-116	E OSBORN RD WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-117	E OSBORN RD WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-118	E OSBORN RD WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-119	E OSBORN RD WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-120	E OSBORN RD WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-121	E OSBORN RD WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-122	E OSBORN RD WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-123	E OSBORN RD WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-124	N 69TH ST WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-125	N 69TH ST WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-126	N 69TH ST WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-127	N 69TH ST WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-128	N 69TH ST WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-129	N GOLDWATER BLVD WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-130	N GOLDWATER BLVD WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-131	N GOLDWATER BLVD WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-132	N GOLDWATER BLVD WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-133	N GOLDWATER BLVD WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-134	N GOLDWATER BLVD WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-135	N MARSHALL WY WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-136	N MARSHALL WY WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-137	N MARSHALL WY WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-138	N MARSHALL WY WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-139	N MARSHALL WY WATER LINE	1/1/11	AS-BUILTS	CIVIL
C-140	N SCOTTSDALE RD	1/1/11	AS-BUILTS	CIVIL
C-141	N SCOTTSDALE RD	1/1/11	AS-BUILTS	CIVIL
C-142	N SCOTTSDALE RD	1/1/11	AS-BUILTS	CIVIL
C-143	N SCOTTSDALE RD	1/1/11	AS-BUILTS	CIVIL
C-144	N SCOTTSDALE RD	1/1/11	AS-BUILTS	CIVIL
C-145	N SCOTTSDALE RD	1/1/11	AS-BUILTS	CIVIL
C-146	N SCOTTSDALE RD	1/1/11	AS-BUILTS	CIVIL
C-201	N BISHOP LN SEWER LINE	1/1/11	AS-BUILTS	CIVIL
C-202	N MARSHALL WY SEWER LINE	1/1/11	AS-BUILTS	CIVIL
C-203	N MARSHALL WY SEWER LINE	1/1/11	AS-BUILTS	CIVIL
C-204	N MARSHALL WY SEWER LINE	1/1/11	AS-BUILTS	CIVIL
C-205	N MARSHALL WY SEWER LINE	1/1/11	AS-BUILTS	CIVIL
C-301	TYPICAL DETAILS	1/1/11	AS-BUILTS	CIVIL
<b>DRAINAGE CORRECTIONS</b>				
P0	PLUMBING COVER SHEET	11/8/13	AS-BUILTS	PLUMBING
P1	ROOF/GUTTER PLUMBING PLAN - ROOF PLAN	11/8/13	AS-BUILTS	PLUMBING
P2	ROOF/GUTTER PLUMBING PLAN - PRESS LEVEL	11/8/13	AS-BUILTS	PLUMBING
P3	ROOF/GUTTER PLUMBING PLAN - CONCOURSE LEVEL	11/8/13	AS-BUILTS	PLUMBING
<b>DRINKWATER/SANITARY SEWER REPLACEMENT</b>				
G1	COVER SHEET	6/3/14	AS-BUILTS	DRAINAGE
G2	INDEX, LEGEND, NOTES, ABBREVIATIONS	6/3/14	AS-BUILTS	DRAINAGE
G3	DETAILS	6/3/14	AS-BUILTS	DRAINAGE
G4	SHEET KEY MAP AND QUANTITIES TABLE	6/3/14	AS-BUILTS	DRAINAGE
S1	DRINKWATER BLVD - PLAN & PROFILE	6/3/14	AS-BUILTS	DRAINAGE
S2	DRINKWATER BLVD - PLAN & PROFILE	6/3/14	AS-BUILTS	DRAINAGE
S3	DRINKWATER BLVD - PLAN & PROFILE	6/3/14	AS-BUILTS	DRAINAGE
S4	DRINKWATER BLVD - PLAN & PROFILE	6/3/14	AS-BUILTS	DRAINAGE
S5	DRINKWATER BLVD - PLAN & PROFILE	6/3/14	AS-BUILTS	DRAINAGE
S6	DRINKWATER BLVD - PLAN & PROFILE	6/3/14	AS-BUILTS	DRAINAGE
<b>EAST COUPLET STREET AND DRAINAGE IMPROVEMENTS</b>				
G1	EAST COUPLET STREET AND DRAINAGE IMPROVEMENTS	6/13/94	AS-BUILTS	CIVIL
G2	LEGEND, GENERAL NOTES	6/13/94	AS-BUILTS	CIVIL

CD PROGRESS SET

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR	DISCIPLINE
G3	KEYMAP	6/13/94	AS-BUILTS	CIVIL
G4	SUMMARY OF QUANTITIES	6/13/94	AS-BUILTS	CIVIL
G5	SUMMARY OF QUANTITIES	6/13/94	AS-BUILTS	CIVIL
G6	SUMMARY OF QUANTITIES	6/13/94	AS-BUILTS	CIVIL
G7	SUMMARY OF QUANTITIES	6/13/94	AS-BUILTS	CIVIL
G8	ALTERNATE PIPE CHART	6/13/94	AS-BUILTS	CIVIL
G9	TYPICAL SECTIONS	6/13/94	AS-BUILTS	CIVIL
G10	TYPICAL SECTIONS	6/13/94	AS-BUILTS	CIVIL
G11	MEDIAN GEOMETRICS	6/13/94	AS-BUILTS	CIVIL
G12	MEDIAN GEOMETRICS	6/13/94	AS-BUILTS	CIVIL
SE1	SUPERELEVATION DIAGRAMS	6/13/94	AS-BUILTS	CIVIL
SE2	SUPERELEVATION DIAGRAMS	6/13/94	AS-BUILTS	CIVIL
SE3	SUPERELEVATION DIAGRAMS	6/13/94	AS-BUILTS	CIVIL
RW1	SCREEN/RETAINING WALL PROFILES	6/13/94	AS-BUILTS	CIVIL
RW2	SCREEN/RETAINING WALL PROFILES	6/13/94	AS-BUILTS	CIVIL
D1	DEMOLITION PLANS	6/13/94	AS-BUILTS	CIVIL
D2	DEMOLITION PLANS	6/13/94	AS-BUILTS	CIVIL
D3	DEMOLITION PLANS	6/13/94	AS-BUILTS	CIVIL
D4	DEMOLITION PLANS	6/13/94	AS-BUILTS	CIVIL
P1	PAVING PLAN AND PROFILE	6/13/94	AS-BUILTS	CIVIL
P2	PAVING PLAN AND PROFILE	6/13/94	AS-BUILTS	CIVIL
P3	PAVING PLAN AND PROFILE	6/13/94	AS-BUILTS	CIVIL
P4	PAVING PLAN AND PROFILE	6/13/94	AS-BUILTS	CIVIL
P5	PAVING PLAN AND PROFILE	6/13/94	AS-BUILTS	CIVIL
P6	PAVING PLAN AND PROFILE	6/13/94	AS-BUILTS	CIVIL
P7	PAVING PLAN AND PROFILE	6/13/94	AS-BUILTS	CIVIL
P8	PAVING PLAN AND PROFILE	6/13/94	AS-BUILTS	CIVIL
P9	PAVING PLAN AND PROFILE	6/13/94	AS-BUILTS	CIVIL
P10	PAVING PLAN AND PROFILE	6/13/94	AS-BUILTS	CIVIL
P11	PAVING PLAN AND PROFILE	6/13/94	AS-BUILTS	CIVIL
P12	PAVING PLAN AND PROFILE	6/13/94	AS-BUILTS	CIVIL
CS1	ROADWAY CROSS SECTIONS	6/13/94	AS-BUILTS	CIVIL
CS2	ROADWAY CROSS SECTIONS	6/13/94	AS-BUILTS	CIVIL
CS3	ROADWAY CROSS SECTIONS	6/13/94	AS-BUILTS	CIVIL
CS4	ROADWAY CROSS SECTIONS	6/13/94	AS-BUILTS	CIVIL
CS5	ROADWAY CROSS SECTIONS	6/13/94	AS-BUILTS	CIVIL
CS6	ROADWAY CROSS SECTIONS	6/13/94	AS-BUILTS	CIVIL
PK1	PARKING LOT PLANS	6/13/94	AS-BUILTS	CIVIL
PK2	PARKING LOT PLANS	6/13/94	AS-BUILTS	CIVIL
SD1	STORM DRAIN PLAN & PROFILE	6/13/94	AS-BUILTS	CIVIL
SD2	STORM DRAIN PLAN & PROFILE	6/13/94	AS-BUILTS	CIVIL
SD3	STORM DRAIN PLAN & PROFILE	6/13/94	AS-BUILTS	CIVIL
SD4	STORM DRAIN PLAN & PROFILE	6/13/94	AS-BUILTS	CIVIL
SD5	STORM DRAIN PLAN & PROFILE	6/13/94	AS-BUILTS	CIVIL
SD6	STORM DRAIN PLAN & PROFILE	6/13/94	AS-BUILTS	CIVIL
SD7	STORM DRAIN PLAN & PROFILE	6/13/94	AS-BUILTS	CIVIL
SD8	STORM DRAIN PLAN & PROFILE	6/13/94	AS-BUILTS	CIVIL
SD9	STORM DRAIN PLAN & PROFILE	6/13/94	AS-BUILTS	CIVIL
SD10	STORM DRAIN PLAN & PROFILE	6/13/94	AS-BUILTS	CIVIL
SD11	STORM DRAIN PLAN & PROFILE	6/13/94	AS-BUILTS	CIVIL
SA1	SANITARY SEWER PLAN & PROFILE	6/13/94	AS-BUILTS	CIVIL
SA2	SANITARY SEWER PLAN & PROFILE	6/13/94	AS-BUILTS	CIVIL
CP1	CONNECTOR PIPE PROFILES	6/13/94	AS-BUILTS	CIVIL
CP2	CONNECTOR PIPE PROFILES	6/13/94	AS-BUILTS	CIVIL
CP3	CONNECTOR PIPE PROFILES	6/13/94	AS-BUILTS	CIVIL
CP4	CONNECTOR PIPE PROFILES	6/13/94	AS-BUILTS	CIVIL
CPS	CONNECTOR PIPE PROFILES	6/13/94	AS-BUILTS	CIVIL
CP6	CONNECTOR PIPE PROFILES	6/13/94	AS-BUILTS	CIVIL
S1	SIGNALIZATION PLANS	6/13/94	AS-BUILTS	CIVIL
S2	SIGNING & STRIPING PLANS	6/13/94	AS-BUILTS	CIVIL
LT1	LIGHTING PLANS	6/13/94	AS-BUILTS	ELECTRICAL
LT2	LIGHTING PLANS	6/13/94	AS-BUILTS	ELECTRICAL
LT3	LIGHTING PLANS	6/13/94	AS-BUILTS	ELECTRICAL
LT4	LIGHTING PLANS	6/13/94	AS-BUILTS	ELECTRICAL
LT5	LIGHTING PLANS	6/13/94	AS-BUILTS	ELECTRICAL
LT6	LIGHTING PLANS	6/13/94	AS-BUILTS	ELECTRICAL
LS1	LANDSCAPE & IRRIGATION PLANS	6/13/94	AS-BUILTS	LANDSCAPE
LS2	LANDSCAPE & IRRIGATION PLANS	6/13/94	AS-BUILTS	LANDSCAPE
LS3	LANDSCAPE & IRRIGATION PLANS	6/13/94	AS-BUILTS	LANDSCAPE
LS4	LANDSCAPE & IRRIGATION PLANS	6/13/94	AS-BUILTS	LANDSCAPE

CD PROGRESS SET

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR	DISCIPLINE
LS5	LANDSCAPE & IRRIGATION PLANS	6/13/94	AS-BUILTS	LANDSCAPE
LS6	LANDSCAPE & IRRIGATION PLANS	6/13/94	AS-BUILTS	LANDSCAPE
LS7	LANDSCAPE & IRRIGATION PLANS	6/13/94	AS-BUILTS	LANDSCAPE
LS8	LANDSCAPE & IRRIGATION PLANS	6/13/94	AS-BUILTS	LANDSCAPE
LS9	LANDSCAPE & IRRIGATION PLANS	6/13/94	AS-BUILTS	LANDSCAPE
LS10	LANDSCAPE & IRRIGATION PLANS	6/13/94	AS-BUILTS	LANDSCAPE
LS11	LANDSCAPE & IRRIGATION PLANS	6/13/94	AS-BUILTS	LANDSCAPE
LS12	LANDSCAPE & IRRIGATION PLANS	6/13/94	AS-BUILTS	LANDSCAPE
LS13	LANDSCAPE & IRRIGATION PLANS	6/13/94	AS-BUILTS	LANDSCAPE
LS14	LANDSCAPE & IRRIGATION PLANS	6/13/94	AS-BUILTS	LANDSCAPE
LS15	LANDSCAPE & IRRIGATION PLANS	6/13/94	AS-BUILTS	LANDSCAPE
LS16	LANDSCAPE & IRRIGATION PLANS	6/13/94	AS-BUILTS	LANDSCAPE
LS17	LANDSCAPE & IRRIGATION PLANS	6/13/94	AS-BUILTS	LANDSCAPE
LS18	LANDSCAPE & IRRIGATION PLANS	6/13/94	AS-BUILTS	LANDSCAPE
LS19	LANDSCAPE & IRRIGATION PLANS	6/13/94	AS-BUILTS	LANDSCAPE
LS20	LANDSCAPE & IRRIGATION PLANS	6/13/94	AS-BUILTS	LANDSCAPE
APS1	SRP/APS ELECTRICAL PLANS	6/13/94	AS-BUILTS	ELECTRICAL
APS2	SRP/APS ELECTRICAL PLANS	6/13/94	AS-BUILTS	ELECTRICAL
APS3	SRP/APS ELECTRICAL PLANS	6/13/94	AS-BUILTS	ELECTRICAL
APS4	SRP/APS ELECTRICAL PLANS	6/13/94	AS-BUILTS	ELECTRICAL
APSS	SRP/APS ELECTRICAL PLANS	6/13/94	AS-BUILTS	ELECTRICAL
APSG	SRP/APS ELECTRICAL PLANS	6/13/94	AS-BUILTS	ELECTRICAL
APS7	SRP/APS ELECTRICAL PLANS	6/13/94	AS-BUILTS	ELECTRICAL
APS8	SRP/APS ELECTRICAL PLANS	6/13/94	AS-BUILTS	ELECTRICAL
APS9	SRP/APS ELECTRICAL PLANS	6/13/94	AS-BUILTS	ELECTRICAL
APS10	SRP/APS ELECTRICAL PLANS	6/13/94	AS-BUILTS	ELECTRICAL
SRP1	SRP IRRIGATION PLANS	6/13/94	AS-BUILTS	IRRIGATION
SRP2	SRP IRRIGATION PLANS	6/13/94	AS-BUILTS	IRRIGATION
SRP3	SRP IRRIGATION PLANS	6/13/94	AS-BUILTS	IRRIGATION
<b>EXISTING DRAINAGE CONDITIONS</b>				
1	EXISTING DRAINAGE CONDITIONS	6/1/13	AS-BUILTS	DRAINAGE
<b>FOUND EXISTING UTILITIES</b>				
1	UTILITY AB	N.D.	AS-BUILTS	UTILITY
<b>GIANTS DRAINAGE AB</b>				
1	GIANTS DRAINAGE AB	12/6/17	AS-BUILTS	DRAINAGE
<b>GIANTS ELECTRIC AB</b>				
1	GIANTS ELECTRIC AB	12/6/17	AS-BUILTS	ELECTRICAL
<b>GIANTS IRRIGATION AB</b>				
1	GIANTS IRRIGATION AB	12/6/17	AS-BUILTS	IRRIGATION
<b>MULTI-USE SPORTS AND CULTURAL FACILITY</b>				
CO	GENERAL NOTES	2/14/92	AS-BUILTS	CIVIL
CI	INDEX	2/14/92	AS-BUILTS	CIVIL
C - 1	PARTIAL SITE SURVEY	2/14/92	AS-BUILTS	CIVIL
C - 2	PARTIAL SITE SURVEY	2/14/92	AS-BUILTS	CIVIL
C - 3	PARTIAL SITE SURVEY	2/14/92	AS-BUILTS	CIVIL
C - 4	PARTIAL SITE SURVEY	2/14/92	AS-BUILTS	CIVIL
C - 5	PARTIAL GRADING & DRAINAGE	2/14/92	AS-BUILTS	CIVIL
C - 6	PARTIAL GRADING & DRAINAGE	2/14/92	AS-BUILTS	CIVIL
C - 7	PARTIAL GRADING & DRAINAGE	2/14/92	AS-BUILTS	CIVIL
C - 8	PARTIAL GRADING & DRAINAGE	2/14/92	AS-BUILTS	CIVIL
C - 9	FIELD DRAINAGE	2/14/92	AS-BUILTS	CIVIL
C - 10	CIVIC CENTER PLAZA DETAILS	2/14/92	AS-BUILTS	CIVIL
C - 11	CIVIC CENTER PLAZA DETAILS	2/14/92	AS-BUILTS	CIVIL
C - 12	FIELD GRADING PLAN	2/14/92	AS-BUILTS	CIVIL
L1	LEGENDS/GENERAL INFORMATION	2/14/92	AS-BUILTS	LANDSCAPE
L2	PARTIAL LANDSCAPE PLAN	2/14/92	AS-BUILTS	LANDSCAPE
L3	PARTIAL LANDSCAPE PLAN	2/14/92	AS-BUILTS	LANDSCAPE
L4	PARTIAL LANDSCAPE PLAN	2/14/92	AS-BUILTS	LANDSCAPE
L5	PARTIAL LANDSCAPE PLAN	2/14/92	AS-BUILTS	LANDSCAPE
L6	PARTIAL LANDSCAPE PLAN	2/14/92	AS-BUILTS	LANDSCAPE
L7	LANDSCAPE DETAILS	2/14/92	AS-BUILTS	LANDSCAPE
L8	IRRIGATION PLAN	2/14/92	AS-BUILTS	LANDSCAPE
L9	IRRIGATION PLAN	2/14/92	AS-BUILTS	LANDSCAPE
L10	IRRIGATION PLAN	2/14/92	AS-BUILTS	LANDSCAPE
L11	IRRIGATION PLAN	2/14/92	AS-BUILTS	LANDSCAPE
L12	IRRIGATION PLAN	2/14/92	AS-BUILTS	LANDSCAPE
L13	IRRIGATION DETAILS	2/14/92	AS-BUILTS	LANDSCAPE
L14	HARDSCAPE PLAN	2/14/92	AS-BUILTS	LANDSCAPE
L15	HARDSCAPE PLAN	2/14/92	AS-BUILTS	LANDSCAPE
L16	HARDSCAPE PLAN	2/14/92	AS-BUILTS	LANDSCAPE
L17	HARDSCAPE PLAN	2/14/92	AS-BUILTS	LANDSCAPE

CD PROGRESS SET

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR	DISCIPLINE
L18	HARDSCAPE PLAN	2/14/92	AS-BUILTS	LANDSCAPE
L19	HARDSCAPE PLAN	2/14/92	AS-BUILTS	LANDSCAPE
L20	HARDSCAPE PLAN	2/14/92	AS-BUILTS	LANDSCAPE
L21	HARDSCAPE PLAN	2/14/92	AS-BUILTS	LANDSCAPE
L22	HARDSCAPE PLAN	2/14/92	AS-BUILTS	LANDSCAPE
L23	HARDSCAPE PLAN	2/14/92	AS-BUILTS	LANDSCAPE
L24	HARDSCAPE PLAN	2/14/92	AS-BUILTS	LANDSCAPE
L25	HARDSCAPE DETAILS	2/14/92	AS-BUILTS	LANDSCAPE
L26	HARDSCAPE DETAILS	2/14/92	AS-BUILTS	LANDSCAPE
L27	LANDSCAPE PLAN DEDUCT ALT #3	2/14/92	AS-BUILTS	LANDSCAPE
L28	IRRIGATION PLAN DEDUCT ALT #3	2/14/92	AS-BUILTS	LANDSCAPE
L29	HARDSCAPE PLAN DEDUCT ALT #3	2/14/92	AS-BUILTS	LANDSCAPE
A0.1	REFERENCE	2/14/92	AS-BUILTS	ARCHITECTURAL
A0.2	GRID GEOMETRY PLAN	2/14/92	AS-BUILTS	ARCHITECTURAL
A1.1	CLUBHOUSE LEVEL PLAN	2/14/92	AS-BUILTS	ARCHITECTURAL
A1.2	PRESS LEVEL PLAN	2/14/92	AS-BUILTS	ARCHITECTURAL
A1.3	VISITORS CLUBHOUSE PLAN	2/14/92	AS-BUILTS	ARCHITECTURAL
A2.1	HOME CLUBHOUSE PLAN	2/14/92	AS-BUILTS	ARCHITECTURAL
A2.2	PARTIAL CONCOURSE PLAN	2/14/92	AS-BUILTS	ARCHITECTURAL
A2.3	PARTIAL CONCOURSE PLAN	2/14/92	AS-BUILTS	ARCHITECTURAL
A2.4	PARTIAL CONCOURSE PLAN	2/14/92	AS-BUILTS	ARCHITECTURAL
A2.5	PARTIAL CONCOURSE PLAN	2/14/92	AS-BUILTS	ARCHITECTURAL
A2.6	PARTIAL CONCOURSE PLAN	2/14/92	AS-BUILTS	ARCHITECTURAL
A2.7	PARTIAL CONCOURSE PLAN	2/14/92	AS-BUILTS	ARCHITECTURAL
A2.8	PARTIAL CONCOURSE PLAN	2/14/92	AS-BUILTS	ARCHITECTURAL
A2.9	PARTIAL ROOF PLAN	2/14/92	AS-BUILTS	ARCHITECTURAL
A3.1	OSBORN ROAD ELEVATION	2/14/92	AS-BUILTS	ARCHITECTURAL
A3.2	ENLARGED ELEVATIONS	2/14/92	AS-BUILTS	ARCHITECTURAL
A3.3	STADIUM ELEVATIONS	2/14/92	AS-BUILTS	ARCHITECTURAL
A3.4	CONCOURSE ELEVATIONS	2/14/92	AS-BUILTS	ARCHITECTURAL
A5.1	WALL SECTIONS	2/14/92	AS-BUILTS	ARCHITECTURAL
A5.2	VOMITORY, DUGOUT SECTIONS & DETAILS	2/14/92	AS-BUILTS	ARCHITECTURAL
A5.3	STADIUM BOWL DETAILS	2/14/92	AS-BUILTS	ARCHITECTURAL
A5.4	PLAN DETAILS	2/14/92	AS-BUILTS	ARCHITECTURAL
A5.5	PLAN DETAILS	2/14/92	AS-BUILTS	ARCHITECTURAL
A5.6	ARCADE DETAILS	2/14/92	AS-BUILTS	ARCHITECTURAL
A5.7	EXTERIOR DETAILS	2/14/92	AS-BUILTS	ARCHITECTURAL
A6.1	STAIR & ELEVATOR PLANS & SECTIONS	2/14/92	AS-BUILTS	ARCHITECTURAL
A6.2	STAIR DETAILS	2/14/92	AS-BUILTS	ARCHITECTURAL
A7.1	REFLECTED CEILING PLAN	2/14/92	AS-BUILTS	ARCHITECTURAL
A7.2	REFLECTED CEILING PLAN	2/14/92	AS-BUILTS	ARCHITECTURAL
A7.3	REFLECTED CEILING PLAN	2/14/92	AS-BUILTS	ARCHITECTURAL
A7.4	REFLECTED CEILING PLAN	2/14/92	AS-BUILTS	ARCHITECTURAL
A7.5	REFLECTED CEILING PLAN	2/14/92	AS-BUILTS	ARCHITECTURAL
A7.6	REFLECTED CEILING PLAN	2/14/92	AS-BUILTS	ARCHITECTURAL
A7.7	SUBROOF LOCATION	2/14/92	AS-BUILTS	ARCHITECTURAL
A7.8	SUBROOF LOCATION	2/14/92	AS-BUILTS	ARCHITECTURAL
A8.1	TOILETS AND ACCESSORIES	2/14/92	AS-BUILTS	ARCHITECTURAL
A8.2	INTERIOR DETAILS	2/14/92	AS-BUILTS	ARCHITECTURAL
A9.1	DOOR DETAILS, FRAME TYPES, WINDOW TYPES	2/14/92	AS-BUILTS	ARCHITECTURAL
A9.2	PRESS LEVEL DETAILS	2/14/92	AS-BUILTS	ARCHITECTURAL
A9.3	WINDOW DETAILS	2/14/92	AS-BUILTS	ARCHITECTURAL
A10.1	BATTING CAFE, SECTIONS AND DETAILS	2/14/92	AS-BUILTS	ARCHITECTURAL
A10.2	OUTFIELD MAINTENANCE BUILDING	2/14/92	AS-BUILTS	ARCHITECTURAL
A10.3	MISCELLANEOUS GATE AND FENCE DETAILS	2/14/92	AS-BUILTS	ARCHITECTURAL
A10.4	FIELD DETAILS	2/14/92	AS-BUILTS	ARCHITECTURAL
A10.5	FIELD WALL ELEVATIONS	2/14/92	AS-BUILTS	ARCHITECTURAL
A11.1	SIGNAGE REFERENCE PLAN	2/14/92	AS-BUILTS	ARCHITECTURAL
A11.2	SIGNAGE DETAILS	2/14/92	AS-BUILTS	ARCHITECTURAL
A11.3	SIGNAGE DETAILS	2/14/92	AS-BUILTS	ARCHITECTURAL
A11.4	SIGNAGE DETAILS	2/14/92	AS-BUILTS	ARCHITECTURAL
A11.5	SIGNAGE DETAILS	2/14/92	AS-BUILTS	ARCHITECTURAL
A11.6	SIGNAGE DETAILS	2/14/92	AS-BUILTS	ARCHITECTURAL
A11.7	SIGNAGE DETAILS	2/14/92	AS-BUILTS	ARCHITECTURAL
S0.1	GENERAL STRUCTURAL NOTES AND DETAILS	2/14/92	AS-BUILTS	STRUCTURAL
S1.1	CLUBHOUSE FOUNDATION PLANS & SCHEDULES	2/14/92	AS-BUILTS	STRUCTURAL
S1.2	FOUNDATION PLAN THIRD BASE - CONCOURSE LEVEL	2/14/92	AS-BUILTS	STRUCTURAL
S1.3	FOUNDATION PLAN HOME BASE - CONCOURSE LEVEL	2/14/92	AS-BUILTS	STRUCTURAL
S1.4	FOUNDATION PLAN FIRST BASE - CONCOURSE LEVEL	2/14/92	AS-BUILTS	STRUCTURAL
S1.5	FRAMING PLAN THIRD BASE - PRESS LEVEL	2/14/92	AS-BUILTS	STRUCTURAL

CD PROGRESS SET

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR	DISCIPLINE
S1.6	FRAMING PLAN HOME BASE - PRESS LEVEL	2/14/92	AS-BUILTS	STRUCTURAL
S1.7	FRAMING PLAN FIRST BASE - PRESS LEVEL	2/14/92	AS-BUILTS	STRUCTURAL
S1.8	ROOF FRAMING PLAN	2/14/92	AS-BUILTS	STRUCTURAL
S1.9	FOUNDATION AND FRAMING PLAN AT ARCADE (DEDUCT ALT #3)	2/14/92	AS-BUILTS	STRUCTURAL
S2.1	CROSS SECTION AT THIRD BASE SIDE	2/14/92	AS-BUILTS	STRUCTURAL
S2.2	CROSS SECTION AT HOME PLATE	2/14/92	AS-BUILTS	STRUCTURAL
S2.3	CROSS SECTION AT FIRST BASE SIDE	2/14/92	AS-BUILTS	STRUCTURAL
S3.1	FOUNDATION DETAILS	2/14/92	AS-BUILTS	STRUCTURAL
S3.2	FOUNDATION DETAILS	2/14/92	AS-BUILTS	STRUCTURAL
S4.1	FLOOR FRAMING DETAILS	2/14/92	AS-BUILTS	STRUCTURAL
S4.2	FLOOR FRAMING DETAILS	2/14/92	AS-BUILTS	STRUCTURAL
S5.1	ROOF FRAMING DETAILS	2/14/92	AS-BUILTS	STRUCTURAL
S5.2	ROOF FRAMING DETAILS	2/14/92	AS-BUILTS	STRUCTURAL
S6.1	TRUSS ELEVATIONS	2/14/92	AS-BUILTS	STRUCTURAL
S6.2	ATIR PLANS AND DETAILS	2/14/92	AS-BUILTS	STRUCTURAL
S7.1	BACKSTOP & BATTERS EYE DETAILS	2/14/92	AS-BUILTS	STRUCTURAL
S7.2	BATTING CAGE PLANS & DETAILS	2/14/92	AS-BUILTS	STRUCTURAL
S7.3	OUTFIELD TOILET PLAN & DETAILS / LIGHT POLE & RETAINING WALL SCHEDULES	2/14/92	AS-BUILTS	STRUCTURAL
S7.4	MAINTENANCE BUILDING PLAN & DETAILS	2/14/92	AS-BUILTS	STRUCTURAL
EP-1	ELECTRICAL/PLUMBING SITE PLAN	2/14/92	AS-BUILTS	PLUMBING
EP-2	ELECTRICAL/PLUMBING SITE PLAN	2/14/92	AS-BUILTS	PLUMBING
E-1	VISITOR THIRD BASE SIDE/LIGHTING	2/14/92	AS-BUILTS	ELECTRICAL
E-2	VISITOR THIRD BASE SIDE/POWER	2/14/92	AS-BUILTS	ELECTRICAL
E-3	HOME BASE SIDE/LIGHTING	2/14/92	AS-BUILTS	ELECTRICAL
E-4	HOME BASE SIDE/POWER	2/14/92	AS-BUILTS	ELECTRICAL
E-5	CONCOURSE THIRD BASE SIDE/LIGHTING	2/14/92	AS-BUILTS	ELECTRICAL
E-6	CONCOURSE THIRD BASE SIDE/POWER	2/14/92	AS-BUILTS	ELECTRICAL
E-7	CONCOURSE PARTIAL/LIGHTING	2/14/92	AS-BUILTS	ELECTRICAL
E-8	CONCOURSE PARTIAL/POWER	2/14/92	AS-BUILTS	ELECTRICAL
E-9	CONCOURSE FIRST BASE/LIGHTING	2/14/92	AS-BUILTS	ELECTRICAL
E-10	CONCOURSE FIRST BASE/POWER	2/14/92	AS-BUILTS	ELECTRICAL
E-11	PRESS THIRD BASE SIDE/LIGHTING	2/14/92	AS-BUILTS	ELECTRICAL
E-12	PRESS THIRD BASE SIDE/POWER	2/14/92	AS-BUILTS	ELECTRICAL
E-13	PRESS PARTIAL/LIGHTING	2/14/92	AS-BUILTS	ELECTRICAL
E-14	PRESS PARTIAL/POWER	2/14/92	AS-BUILTS	ELECTRICAL
E-15	PRESS FIRST BASE SIDE/LIGHTING	2/14/92	AS-BUILTS	ELECTRICAL
E-16	PRESS FIRST BASE SIDE/POWER	2/14/92	AS-BUILTS	ELECTRICAL
E-17	MAINTENANCE COMPOUND/RESTROOMS/ BULLPEN/ LIGHTING	2/14/92	AS-BUILTS	ELECTRICAL
E-18	MAINTENANCE COMPOUND/ RESTROOMS/POWER	2/14/92	AS-BUILTS	ELECTRICAL
E-19	ELEVATIONS, SYMBOL LIST	2/14/92	AS-BUILTS	ELECTRICAL
E-20	ONE-LINE DIAGRAM	2/14/92	AS-BUILTS	ELECTRICAL
E-21	BASEBALL FIELD - POWER LINES	2/14/92	AS-BUILTS	ELECTRICAL
E-22	DETAILS	2/14/92	AS-BUILTS	ELECTRICAL
E-23	DETAILS	2/14/92	AS-BUILTS	ELECTRICAL
E-24	FIELD LIGHTING - BOYS CLUBHOUSE	2/14/92	AS-BUILTS	ELECTRICAL
P-1	VISITORS CLUBHOUSE	2/14/92	AS-BUILTS	PLUMBING
P-2	HOME CLUBHOUSE	2/14/92	AS-BUILTS	PLUMBING
P-3	CONCOURSE THIRD BASE	2/14/92	AS-BUILTS	PLUMBING
P-4	CONCOURSE HOME	2/14/92	AS-BUILTS	PLUMBING
P-5	CONCOURSE FIRST BASE	2/14/92	AS-BUILTS	PLUMBING
P-6	PRESS LEVEL THIRD BASE	2/14/92	AS-BUILTS	PLUMBING
P-7	PRESS LEVEL HOME	2/14/92	AS-BUILTS	PLUMBING
P-8	PRESS LEVEL FIRST BASE	2/14/92	AS-BUILTS	PLUMBING
P-9	WASTE & VENT SCHEMATICS	2/14/92	AS-BUILTS	PLUMBING
P-10	WASTE & VENT SCHEMATICS	2/14/92	AS-BUILTS	PLUMBING
P-11	HOT & COLD WATER SCHEMATICS	2/14/92	AS-BUILTS	PLUMBING
P-12	HOT & COLD WATER SCHEMATICS	2/14/92	AS-BUILTS	PLUMBING
P-13	HOT & COLD WATER SCHEMATICS	2/14/92	AS-BUILTS	PLUMBING
P-14	MAINTENANCE COMPOUND - PUBLIC TOILETS	2/14/92	AS-BUILTS	PLUMBING
AV1	CONCOURSE LEVEL REFERENCE PLAN	2/14/92	AS-BUILTS	AUDIO VISUAL
AV2	PARTIAL PRESS LEVEL	2/14/92	AS-BUILTS	AUDIO VISUAL
AV3	PARTIAL PRESS LEVEL (THIRD BASE SIDE)	2/14/92	AS-BUILTS	AUDIO VISUAL
AV4	PARTIAL PRESS LEVEL (FIRST BASE SIDE)	2/14/92	AS-BUILTS	AUDIO VISUAL
AV5	PARTIAL CONCOURSE LEVEL	2/14/92	AS-BUILTS	AUDIO VISUAL
AV6	PARTIAL CONCOURSE LEVEL (THIRD BASE SIDE)	2/14/92	AS-BUILTS	AUDIO VISUAL
AV7	PARTIAL CONCOURSE LEVEL (FIRST BASE SIDE)	2/14/92	AS-BUILTS	AUDIO VISUAL
AV8	HOME CLUBHOUSE PLAN	2/14/92	AS-BUILTS	AUDIO VISUAL
AV9	VISITORS CLUBHOUSE PLAN	2/14/92	AS-BUILTS	AUDIO VISUAL
AV10	DETAILS	2/14/92	AS-BUILTS	AUDIO VISUAL
AV11	DETAILS	2/14/92	AS-BUILTS	AUDIO VISUAL
AV12	DETAILS	2/14/92	AS-BUILTS	AUDIO VISUAL

CD PROGRESS SET

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR	DISCIPLINE
<b>OH TO UG CONV. OSBORN AND MILLER RD</b>				
1	OH TO UG CONV. OSBORN AND MILLER RD	9/21/16	AS-BUILTS	CIVIL
<b>OSBORN ROAD AND CIVIC CENTER PLAZA CATCH BASINS</b>				
16285	OSBORN ROAD AND CIVIC CENTER PLAZA CATCH BASINS	N.D.	AS-BUILTS	DRAINAGE
<b>OSBORN ROAD STORM DRAIN</b>				
2	NOTES, LEGEND, KEYMAP	1/1/93	AS-BUILTS	DRAINAGE
2A	QUANTITY SUMMARY	1/1/93	AS-BUILTS	DRAINAGE
3	PIPE ALTERNATE CHART	1/1/93	AS-BUILTS	DRAINAGE
4	PLAN AND PROFILE	1/1/93	AS-BUILTS	DRAINAGE
5	PLAN AND PROFILE	1/1/93	AS-BUILTS	DRAINAGE
6	PLAN AND PROFILE	1/1/93	AS-BUILTS	DRAINAGE
7	PLAN AND PROFILE	1/1/93	AS-BUILTS	DRAINAGE
8	PLAN AND PROFILE	1/1/93	AS-BUILTS	DRAINAGE
9	PLAN AND PROFILE	1/1/93	AS-BUILTS	DRAINAGE
10	PLAN AND PROFILE	1/1/93	AS-BUILTS	DRAINAGE
11	PLAN AND PROFILE	1/1/93	AS-BUILTS	DRAINAGE
12	PLAN AND PROFILE	1/1/93	AS-BUILTS	DRAINAGE
13	PLAN AND PROFILE	1/1/93	AS-BUILTS	DRAINAGE
14	PLAN AND PROFILE	1/1/93	AS-BUILTS	DRAINAGE
15	CONNECTOR PIPE PROFILES	1/1/93	AS-BUILTS	DRAINAGE
16	CONNECTOR PIPE PROFILES	1/1/93	AS-BUILTS	DRAINAGE
17	CONNECTOR PIPE PROFILES	1/1/93	AS-BUILTS	DRAINAGE
18	CONNECTOR PIPE PROFILES	1/1/93	AS-BUILTS	DRAINAGE
19	IRRIGATION MANHOLE DETAILS	1/1/93	AS-BUILTS	DRAINAGE
20	OSBORN RD. STRIPING PLAN	1/1/93	AS-BUILTS	DRAINAGE
21	OSBORN RD. STRIPING PLAN	1/1/93	AS-BUILTS	DRAINAGE
22	OSBORN RD. STRIPING PLAN	1/1/93	AS-BUILTS	DRAINAGE
23	LOOP DETECTOR DETAILS	1/1/93	AS-BUILTS	DRAINAGE
24	OUTFLOW PLAN	1/1/93	AS-BUILTS	DRAINAGE
25	OUTLET DETAILS	1/1/93	AS-BUILTS	DRAINAGE
ADD#1	SIDEWALK PLAN AND DETAILS	N.D.	AS-BUILTS	DRAINAGE
<b>SCOTTSDALE STADIUM POT HOLE RESULTS - 09/08/2017</b>				
1	TESTHOLE DATA SUMMARY	9/8/17	AS-BUILTS	TESTING
2	TESTHOLE #1	9/8/17	AS-BUILTS	TESTING
3	TESTHOLE #2	9/8/17	AS-BUILTS	TESTING
4	TESTHOLE #3	9/8/17	AS-BUILTS	TESTING
5	TESTHOLE #4	9/8/17	AS-BUILTS	TESTING
6	TESTHOLE #5	9/8/17	AS-BUILTS	TESTING
<b>SCOTTSDALE STADIUM 1ST BASE DUGOUT MODIFICATION</b>				
70091	SCOTTSDALE STADIUM 1ST BASE DUGOUT MODIFICATION	1/30/15	AS-BUILTS	ARCHITECTURAL
<b>SCOTTSDALE STADIUM AV AS-BUILTS</b>				
AV 1	CONCOURSE LEVEL PLAN	2/28/91	AS-BUILTS	AUDIO VISUAL
AV 2	PARTIAL PRESS LEVEL PLAN	2/28/91	AS-BUILTS	AUDIO VISUAL
AV 3	PARTIAL PRESS LEVEL PLAN	2/28/91	AS-BUILTS	AUDIO VISUAL
AV 4	PARTIAL PRESS LEVEL PLAN - FIRST BASE SIDE	2/28/91	AS-BUILTS	AUDIO VISUAL
AV 5	PARTIAL CONCOURSE LEVEL PLAN	2/28/91	AS-BUILTS	AUDIO VISUAL
AV 6	PARTIAL CONCOURSE LEVEL PLAN - THIRD BASE SIDE	2/28/91	AS-BUILTS	AUDIO VISUAL
AV 7	PARTIAL CONCOURSE LEVEL PLAN - FIRST BASE SIDE	2/28/91	AS-BUILTS	AUDIO VISUAL
AV 8	ENLARGED PLANS	2/28/91	AS-BUILTS	AUDIO VISUAL
AV 9	ENLARGED PLANS	2/28/91	AS-BUILTS	AUDIO VISUAL
AV 10	PARTIAL PRESS LEVEL PLAN - FIRST BASE SIDE	2/28/91	AS-BUILTS	AUDIO VISUAL
AV 11	PARTIAL PRESS LEVEL PLAN - FIRST BASE SIDE	2/28/91	AS-BUILTS	AUDIO VISUAL
AV 12	PARTIAL PRESS LEVEL PLAN - FIRST BASE SIDE	2/28/91	AS-BUILTS	AUDIO VISUAL
<b>SCOTTSDALE STADIUM CIVIL - PART 1</b>				
X1-0	GENERAL INFORMATION	7/22/05	AS-BUILTS	CIVIL
X1-1	STADIUM GRID GEOMETRY PLAN	7/22/05	AS-BUILTS	CIVIL
<b>SCOTTSDALE STADIUM CIVIL - PART 2</b>				
C-1	INDEX GRADING, DRAINAGE, ONSITE UTILITIES, HORIZONTAL CNTL	7/28/05	AS-BUILTS	CIVIL
C-2	OSBORN ENTRANCE	7/28/05	AS-BUILTS	CIVIL
C-4	PARKING, SEWER & WATER	7/28/05	AS-BUILTS	CIVIL
<b>SCOTTSDALE STADIUM DRAINAGE CORRECTIONS</b>				
P0	PLUMBING COVER SHEET	11/18/13	AS-BUILTS	PLUMBING
P-1	ROOF DRAIN PLAN	11/18/13	AS-BUILTS	PLUMBING
P-2	PARTIAL PRESS LEVEL PLUMBING PLAN	11/18/13	AS-BUILTS	PLUMBING
P-3	PARTIAL CONCOURSE LEVEL PLUMBING FLOOR PLAN	11/18/13	AS-BUILTS	PLUMBING
<b>SCOTTSDALE STADIUM DUGOUTS</b>				
A0.1	PROJECT INFORMATION	1/22/14	AS-BUILTS	ARCHITECTURAL
C1.0	GRADING AT DUGOUTS	1/22/14	AS-BUILTS	ARCHITECTURAL
A1.1	REFERENCE DRAINAGE CONDITIONS - FOR REFERENCE ONLY	1/22/14	AS-BUILTS	ARCHITECTURAL
A2.1	DEMOLITION PLAN AND DETAILS	1/22/14	AS-BUILTS	ARCHITECTURAL

CD PROGRESS SET

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR	DISCIPLINE
A2.2	DUGOUT PLAN, ELEVATION AND DETAILS	1/22/14	AS-BUILTS	ARCHITECTURAL
A2.3	DETAILS	1/22/14	AS-BUILTS	ARCHITECTURAL
S1.0	GENERAL STRUCTURAL NOTES AND DETAILS	1/22/14	AS-BUILTS	STRUCTURAL
E1.0	ELECTRICAL POWER PLANS - DUGOUTS	1/22/14	AS-BUILTS	ELECTRICAL
E0.1	ELECTRICAL COVER SHEET	1/22/14	AS-BUILTS	ELECTRICAL
ASK-01	RETAINING WALL - AT DUGOUT (SHEET S1.0)	1/22/14	AS-BUILTS	ARCHITECTURAL
<b>SCOTTSDALE STADIUM ELECTRICAL - PART 1</b>				
EP-1	ELECTRICAL - PLUMBING SITE PLAN	2/28/91	AS-BUILTS	ELECTRICAL
EP-2	ELECTRICAL - PLUMBING SITE PLAN	2/28/91	AS-BUILTS	ELECTRICAL
E-1	ELECTRICAL LIGHTING PLAN - VISITORS CLUBHOUSE PLAN - THIRD BASE SIDE	2/28/91	AS-BUILTS	ELECTRICAL
E-2	ELECTRICAL POWER PLAN - VISITORS CLUBHOUSE PLAN - THIRD BASE SIDE	2/28/91	AS-BUILTS	ELECTRICAL
E-3	ELECTRICAL LIGHTING PLAN - HOME CLUBHOUSE - FIRST BASE SIDE	2/28/91	AS-BUILTS	ELECTRICAL
E-4	ELECTRICAL POWER PLAN - HOME CLUBHOUSE - FIRST BASE SIDE	2/28/91	AS-BUILTS	ELECTRICAL
E-5	ELECTRICAL LIGHTING PLAN - CONCOURSE LEVEL PLAN - THIRD BASE SIDE	2/28/91	AS-BUILTS	ELECTRICAL
E-6	ELECTRICAL POWER PLAN - PARTIAL CONCOURSE LEVEL PLAN - THIRD BASE SIDE	2/28/91	AS-BUILTS	ELECTRICAL
E-7	ELECTRICAL LIGHTING PLAN - PARTIAL CONCOURSE LEVEL PLAN	2/28/91	AS-BUILTS	ELECTRICAL
E-8	ELECTRICAL LIGHTING PLAN - PARTIAL CONCOURSE LEVEL PLAN	2/28/91	AS-BUILTS	ELECTRICAL
E-9	ELECTRICAL POWER PLAN - PARTIAL CONCOURSE LEVEL PLAN - FIRST BASE SIDE	2/28/91	AS-BUILTS	ELECTRICAL
<b>SCOTTSDALE STADIUM ELECTRICAL - PART 2</b>				
E-10	ELECTRICAL POWER PLAN - PARTIAL CONCOURSE LEVEL PLAN - FIRST BASE SIDE	2/28/91	AS-BUILTS	ELECTRICAL
E-11	ELECTRICAL LIGHTING PLAN - PARTIAL PRESS LEVEL PLAN - THIRD BASE SIDE	2/28/91	AS-BUILTS	ELECTRICAL
E-12	ELECTRICAL POWER PLAN - PARTIAL PRESS LEVEL PLAN - THIRD BASE SIDE	2/28/91	AS-BUILTS	ELECTRICAL
E-13	ELECTRICAL LIGHTING PLAN - PARTIAL PRESS LEVEL PLAN	2/28/91	AS-BUILTS	ELECTRICAL
E-14	ELECTRICAL POWER PLAN - PARTIAL PRESS LEVEL PLAN	2/28/91	AS-BUILTS	ELECTRICAL
E-15	ELECTRICAL LIGHTING PLAN - PARTIAL PRESS LEVEL PLAN - FIRST BASE SIDE	2/28/91	AS-BUILTS	ELECTRICAL
E-16	ELECTRICAL POWER PLAN - PARTIAL PRESS LEVEL PLAN - FIRST BASE SIDE	2/28/91	AS-BUILTS	ELECTRICAL
E-17	ELECTRICAL LIGHTING PLANS - OTHER AREAS	2/28/91	AS-BUILTS	ELECTRICAL
<b>SCOTTSDALE STADIUM ELECTRICAL - PART 3</b>				
E-18	ELECTRICAL POWER PLANS - OTHER AREAS	2/28/91	AS-BUILTS	ELECTRICAL
E-19	ELECTRICAL SYMBOL LIST	2/28/91	AS-BUILTS	ELECTRICAL
E-20	ELECTRICAL PLAN	2/28/91	AS-BUILTS	ELECTRICAL
E-21	ELECTRICAL POWER / LIGHTING PLAN - BASEBALL FIELD	2/28/91	AS-BUILTS	ELECTRICAL
E-22	ELECTRICAL DETAILS	2/28/91	AS-BUILTS	ELECTRICAL
E-23	ELECTRICAL DETAILS	2/28/91	AS-BUILTS	ELECTRICAL
E-24	ELECTRICAL DETAILS	2/28/91	AS-BUILTS	ELECTRICAL
<b>SCOTTSDALE STADIUM LANDSCAPE PLAN</b>				
L-S1.0	SCOTTSDALE STADIUM LANDSCAPE PLAN	7/22/05	AS-BUILTS	LANDSCAPE
L-S1.3	SCOTTSDALE STADIUM LANDSCAPE PLAN	7/22/05	AS-BUILTS	LANDSCAPE
L-S2.3	SCOTTSDALE STADIUM IRRIGATION PLAN	7/22/05	AS-BUILTS	IRRIGATION
L-S4.1	SCOTTSDALE STADIUM HARDSCAPE PLAN	7/22/05	AS-BUILTS	HARDSCAPE
<b>SCOTTSDALE STADIUM MECHANICAL SYSTEM - PART 1</b>				
MEP0-1	MECHANICAL - ELECTRICAL - PLUMBING SCHEDULES	7/22/05	AS-BUILTS	MECHANICAL
M0-1	MECHANICAL LEGEND AND NOTES	7/22/05	AS-BUILTS	MECHANICAL
M1-1	CLUBHOUSE LEVEL MECHANICAL REFERENCE PLAN	7/22/05	AS-BUILTS	MECHANICAL
M1-2	CONCOURSE LEVEL MECHANICAL REFERENCE PLAN	7/22/05	AS-BUILTS	MECHANICAL
M1-3	PRESS LEVEL MECHANICAL REFERENCE PLAN	7/22/05	AS-BUILTS	MECHANICAL
MD1-0	CLUBHOUSE LEVEL MECHANICAL DEMOLITION PLAN	7/22/05	AS-BUILTS	MECHANICAL
M2-1.1	ENLARGED CLUBHOUSE LEVEL MECHANICAL PLAN	7/22/05	AS-BUILTS	MECHANICAL
M2-2.1	ENLARGED CONCOURSE LEVEL MECHANICAL PLAN	7/22/05	AS-BUILTS	MECHANICAL
M2-2.2	ENLARGED CONCOURSE LEVEL MECHANICAL PLAN	7/22/05	AS-BUILTS	MECHANICAL
M2-2.3	ENLARGED CONCOURSE LEVEL MECHANICAL PLAN	7/22/05	AS-BUILTS	MECHANICAL
M2-3.2	ENLARGED PRESS LEVEL MECHANICAL PLAN	7/22/05	AS-BUILTS	MECHANICAL
M8-1-01	MECHANICAL DETAILS	7/22/05	AS-BUILTS	MECHANICAL
M8-1-02	MECHANICAL DETAILS	7/22/05	AS-BUILTS	MECHANICAL
<b>SCOTTSDALE STADIUM MECHANICAL SYSTEM - PART 2</b>				
ME0.0	MECHANICAL SPECIFICATIONS	12/10/07	AS-BUILTS	MECHANICAL
ME0.1	ELECTRICAL SPECIFICATIONS	12/10/07	AS-BUILTS	MECHANICAL
ME1.0	DEMO PLAN	12/10/07	AS-BUILTS	MECHANICAL
ME2.0	MECHANICAL & ELECTRICAL PLAN	12/10/07	AS-BUILTS	MECHANICAL
ME2.1	MECHANICAL & ELECTRICAL DETAILS	12/10/07	AS-BUILTS	MECHANICAL
ME2.2	MECHANICAL DETAILS	12/10/07	AS-BUILTS	MECHANICAL
<b>SCOTTSDALE STADIUM PATIO AREA</b>				
1	SITE PLAN	7/8/14	AS-BUILTS	GENERAL
E0	ELECTRICAL SPEC. DETAILS	7/8/14	AS-BUILTS	ELECTRICAL
E1	ENERGY COMPLIANCE REPORT	7/8/14	AS-BUILTS	ELECTRICAL
E2	ELECTRICAL SITE PLAN	7/8/14	AS-BUILTS	ELECTRICAL
E3	PARTIAL SITE LIGHTING PLAN	7/8/14	AS-BUILTS	ELECTRICAL
E4	PARTIAL SINGLE LINE DIAGRAMS	7/8/14	AS-BUILTS	ELECTRICAL
E5	PANEL SCHEDULES	7/8/14	AS-BUILTS	ELECTRICAL
<b>SCOTTSDALE STADIUM PLUMBING</b>				



CD PROGRESS SET

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR	DISCIPLINE
P-1	VISITORS CLUBHOUSE PLUMBING PLAN	2/28/91	AS-BUILTS	PLUMBING
P-2	HOME CLUBHOUSE PLUMBING PLAN	2/28/91	AS-BUILTS	PLUMBING
P-3	PARTIAL CONCOURSE LEVEL PLUMBING FLOOR PLAN	2/28/91	AS-BUILTS	PLUMBING
P-4	PARTIAL CONCOURSE LEVEL PLUMBING FLOOR PLAN	2/28/91	AS-BUILTS	PLUMBING
P-5	PARTIAL CONCOURSE LEVEL PLUMBING PLAN - FIRST BASE SIDE	2/28/91	AS-BUILTS	PLUMBING
P-6	PARTIAL PRESS LEVEL PLAN - THIRD BASE SIDE	2/28/91	AS-BUILTS	PLUMBING
P-7	PARTIAL PRESS LEVEL PLUMBING PLAN	2/28/91	AS-BUILTS	PLUMBING
P-8	PARTIAL PRESS LEVEL PLAN - FIRST BASE SIDE	2/28/91	AS-BUILTS	PLUMBING
P-9	WASTE & VENT SCHEMATIC	2/28/91	AS-BUILTS	PLUMBING
P-10	WASTE & VENT SCHEMATIC	2/28/91	AS-BUILTS	PLUMBING
P-11	HOT & COLD WATER SCHEMATIC	2/28/91	AS-BUILTS	PLUMBING
P-12	HOT & COLD WATER SCHEMATIC	2/28/91	AS-BUILTS	PLUMBING
P-13	HOT & COLD WATER SCHEMATIC	2/28/91	AS-BUILTS	PLUMBING
P-14	PLUMBING DETAILS	2/28/91	AS-BUILTS	PLUMBING
P-15	PLUMBING DETAILS	2/28/91	AS-BUILTS	PLUMBING

**SCOTTSDALE STADIUM RENOVATION CONSTRUCTION DOCUMENTS**

75676	COVER SHEET	12/5/12	AS-BUILTS	ARCHITECTURAL
75677	PROJECT INFORMATION	12/5/12	AS-BUILTS	ARCHITECTURAL
75678	PARTIAL SITE PLAN	12/5/12	AS-BUILTS	ARCHITECTURAL
75679	PARTIAL HARDSCAPE AND EGRESS PLAN	12/5/12	AS-BUILTS	ARCHITECTURAL
75680	FLOOR PLANS	12/5/12	AS-BUILTS	ARCHITECTURAL
75681	FLOOR PLANS	12/5/12	AS-BUILTS	ARCHITECTURAL
75682	BUILDING ELEVATIONS	12/5/12	AS-BUILTS	ARCHITECTURAL
75683	BUILDING ELEVATIONS	12/5/12	AS-BUILTS	ARCHITECTURAL
75684	AIA DOCUMENT	12/5/12	AS-BUILTS	ARCHITECTURAL
75685	WALL SECTIONS	12/5/12	AS-BUILTS	ARCHITECTURAL
75686	DOOR AND WINDOW SCHEDULES AND DETAILS	12/5/12	AS-BUILTS	ARCHITECTURAL
75687	SHEET SPECIFICATIONS	12/5/12	AS-BUILTS	ARCHITECTURAL
75688	SHEET SPECIFICATIONS	12/5/12	AS-BUILTS	ARCHITECTURAL
75689	GENERAL STRUCTURAL NOTES AND DETAILS	12/5/12	AS-BUILTS	STRUCTURAL
75690	STRUCTURAL DETAILS	12/5/12	AS-BUILTS	STRUCTURAL
75691	STRUCTURAL DETAILS	12/5/12	AS-BUILTS	STRUCTURAL
75692	ELECTRICAL GENERAL NOTES & SYMBOLS	12/5/12	AS-BUILTS	ELECTRICAL
75693	ELECTRICAL NOVELTY FLOOR PLANS	12/5/12	AS-BUILTS	ELECTRICAL
75694	ELECTRICAL STORAGE FLOOR PLANS	12/5/12	AS-BUILTS	ELECTRICAL
75695	ELECTRICAL SPECIFICATIONS	12/5/12	AS-BUILTS	ELECTRICAL
75696	ELECTRICAL SPECIFICATIONS	12/5/12	AS-BUILTS	ELECTRICAL
75697	NOVELTY FIRE PROTECTION FLOOR PLANS	12/5/12	AS-BUILTS	FIRE PROTECTION

**SCOTTSDALE STADIUM SEATING EXPANSION**

A0.1	PROJECT INFORMATION	12/6/12	AS-BUILTS	ARCHITECTURAL
A1.1	PARTIAL SITE PLAN	12/6/12	AS-BUILTS	ARCHITECTURAL
A1.2	PARTIAL HARDSCAPE AND EGRESS PLAN	12/6/12	AS-BUILTS	ARCHITECTURAL
A2.1	FLOOR PLANS	12/6/12	AS-BUILTS	ARCHITECTURAL
A2.2	FLOOR PLANS	12/6/12	AS-BUILTS	ARCHITECTURAL
A3.1	BUILDING ELEVATIONS	12/6/12	AS-BUILTS	ARCHITECTURAL
A3.2	BUILDING ELEVATIONS	12/6/12	AS-BUILTS	ARCHITECTURAL
ASK-01	8" CMU WALL FOOTING	11/15/12	AS-BUILTS	ARCHITECTURAL
A4.1	WALL SECTIONS	12/6/12	AS-BUILTS	ARCHITECTURAL
A9.1	DOOR AND WINDOW SCHEDULES AND DETAILS	11/15/12	AS-BUILTS	ARCHITECTURAL
SP-1	SHEET SPECIFICATIONS	11/15/12	AS-BUILTS	ARCHITECTURAL
SP-2	SHEET SPECIFICATIONS	11/15/12	AS-BUILTS	ARCHITECTURAL
S1.0	GENERAL STRUCTURAL NOTES & DETAILS	11/15/12	AS-BUILTS	STRUCTURAL
S4.1	STRUCTURAL DETAILS	12/6/12	AS-BUILTS	STRUCTURAL
S4.2	STRUCTURAL DETAILS	12/6/12	AS-BUILTS	STRUCTURAL
E0	ELECTRICAL GENERAL NOTES & SYMBOLS	11/15/12	AS-BUILTS	ELECTRICAL
E1	ELECTRICAL NOVELTY FLOOR PLANS	11/15/12	AS-BUILTS	ELECTRICAL
E2	ELECTRICAL STORAGE FLOOR PLANS	11/15/12	AS-BUILTS	ELECTRICAL
E3	ELECTRICAL SPECIFICATIONS	11/15/12	AS-BUILTS	ELECTRICAL
E4	ELECTRICAL SPECIFICATIONS	11/15/12	AS-BUILTS	ELECTRICAL
F1	NOVELTY FIRE PROECTION FLOOR PLANS	11/15/12	AS-BUILTS	FIRE PROTECTION

**UTILITY DRAINAGE ELECTRICAL IRRIGATION**

91771	UTILITY AB	N.D.	AS-BUILTS	UTILITY
91772	DRAINAGE AB	N.D.	AS-BUILTS	DRAINAGE

CD PROGRESS SET

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR	DISCIPLINE
91773	ELECTRICAL AB	N.D.	AS-BUILTS	ELECTRICAL
91774	IRRIGATION AB	N.D.	AS-BUILTS	IRRIGATION

**VERIZON FINAL PLANS**

T-1	PROJECT INFORMATION AND DATA	7/21/15	AS-BUILTS	TELECOM
A-1	SITE PLAN	7/21/15	AS-BUILTS	TELECOM
A-2	ENLARGED SITE PLAN	7/21/15	AS-BUILTS	TELECOM
A-4	ELEVATIONS	7/21/15	AS-BUILTS	TELECOM
A-5	ELEVATIONS	7/21/15	AS-BUILTS	TELECOM

**VERIZON TOWER SURVEY**

LS-1	SITE SURVEY	11/5/15	AS-BUILTS	TELECOM
LS-2	SITE SURVEY	11/5/15	AS-BUILTS	TELECOM

SCOTTSDALE STADIUM MULTI USE EVENT CENTER  
 SUPPLEMENTAL INFORMATION

100% CD AND PROGRESS SET

TITLE ISSUE DATE ISSUED FOR

**REPORTS**

Phase 1 Scottsdale Stadium Assessment Reports - Volume 1	9/10/18	100% CD AND PROGRESS SET
Phase 1 Scottsdale Stadium Assessment Reports - Volume 2	9/10/18	100% CD AND PROGRESS SET
8314P Scottsdale Stadium Potholes 10-24-18	10/24/18	100% CD AND PROGRESS SET
8314P Scottsdale Stadium Potholes 12-10-18	12/10/18	100% CD AND PROGRESS SET
Final Geotechnical Investigation_Scottsdale Stadium Improvements	1/10/19	100% CD AND PROGRESS SET
Sewer Flow Report 75 St and Osborn	1/15/19	100% CD AND PROGRESS SET
P1 1018089 Drainage Report - Phase 1	1/15/19	100% CD AND PROGRESS SET
P1 1018089 Sewer Report - Phase 1	1/15/19	100% CD AND PROGRESS SET
P1 1018089 Water Report - Phase 1	1/15/19	100% CD AND PROGRESS SET

**CITY OF SCOTTSDALE**

COS Building Supplemental Instructions (Revision Date: May 2018)	5/1/18	100% CD AND PROGRESS SET
COS Design Standards and Policies Manual (City of Scottsdale - 2018)	2018	100% CD AND PROGRESS SET

**HYDROTHERAPY EQUIPMENT**

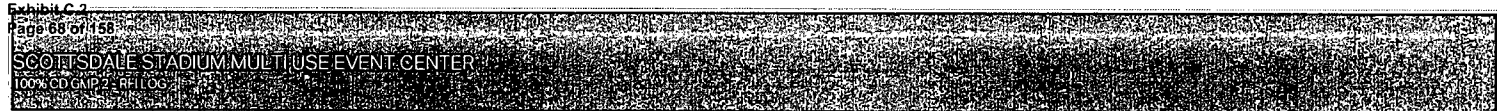
Hydroworx 2000 Series Pool Submittal		100% CD AND PROGRESS SET
HydroWorx Combination Plunge Submittal		100% CD AND PROGRESS SET
San Francisco Giants Hydroworx Order Forms		100% CD AND PROGRESS SET

**RFI LOG**

RFI LOG - GMP 1	1/31/19	100% CD AND PROGRESS SET
RFI LOG - GMP 2	2/13/19	100% CD AND PROGRESS SET

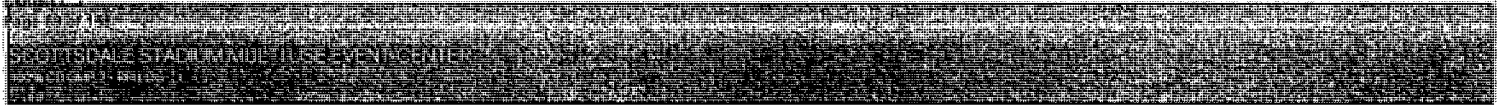


Contract 2019-006-COS



GMP 2- RFI No	Open / Closed	Date	Author	Discipline	Reference Document	Question	Response	Date	Response by
GMP 2- RFI_001	Closed	1/17/19	Dennis / Hunt	Architectural	Drawings	Yes Reference sheets P2-A202, P2-A401, P2-A502 and attached mark-up drawings. Please provide the width of the clerestory window along grid lines C1 between grid lines C1 & C2.	no [2] 8'-0" wide x 3 3/4" storefront windows	1/18/19	Adam Sprenger DWL
GMP 2- RFI_002	Closed	1/17/19	Teresa / TriMark	Food Service	Specifications	No 1. Are there 11 400 Written Specifications and/or Equipment Cutsheets available?	Yes new 11 400 food service specs with basis of design equipment manufacturers emailed to Melanie 1/18/18. Please see the attached document [114000_Foodservice Equipment Specifications PDF] for the full written specifications. Since this project is in the Construction Document phase we no longer supply a cutbook, as the written specifications are the driving document.	1/18/19	Daniel Levinson - Ricca Design Studios
GMP 2- RFI_003	Closed	1/17/19	Dennis / Hunt	Architectural	Specifications	Yes Refer to Sheets P2-A400 & P2-A401. There are a few locations where the Storefront material is called out, but it does not identify if it is SF-1 or SF-3. See attached. Please provide this information.	no all storefront on east side of clubhouse facing practice field should be SF3 with GL-4 impact resistant IGU. The overhead doors should be GL-5 impact laminate glass. Level 3 east facing glass should be SF3 with GL-4. North facing clubhouse glass is all SF1 (not impact resistant). Design team to discuss if any north facing glass should be revised to impact.	1/18/19	Adam Sprenger DWL
GMP 2- RFI_004	Closed	1/17/19	Dennis / Hunt	Architectural	Drawings	Yes Refer to Sheets G110, P2-A502 & P2-A523. Section 3/P2-A502 points to wall sections 3 & 4/P2-A523. On these two wall sections, above the storefront areas, there is a note calling out Wall Type E5. The Wall Type Details on Sheet G110 do not include Wall Type E5. See attached. Please clarify.	Yes See attached sheet G110 with E5 included. Incent is metal panel with insulation on thermal spacer studs, fluid air barrier, extender sheathing board, studs and gyp on interior. Metal type is indicated on elevation sheet A400. See attached mark-up sheets color coded for clarity: red = E6/SSO ACM on studs (no insul) aluminum fascia panels at overhangs green = E5 (metal panel w/ insul on studs) - metal panels over storefront at multipurpose yellow = E4(ACM w/ insul on studs) - parapets interior of the trellis canopies	1/24/19	Adam Sprenger DWL
GMP 2- RFI_005	Closed	1/18/19	Dennis / Hunt	Architectural	Drawings	Yes Refer to Sheets P2-A221 & P2-A400. We would like to request a Building Section along grid line CH, running East to West and pointing to the South so that the North wall of the Ballroom is visible. See attached marked-up drawings and renderings.	Yes See attached sheet P2-A221, A501, A200 for section looking south at multi-use CMU wall.	1/24/19	Adam Sprenger DWL
GMP 2- RFI_003.1	Closed	1/23/19	Dennis / Hunt	Architectural	Drawings	Yes Refer to Sheet P2-A400 & the Response to GMP2 RFI 003. The response to GMP2 RFI 003 stated that all storefront on the east side of the Clubhouse facing the Practice Field shall be SF3 with GL-4 impact resistant IGU. Does this mean that all the storefront that is labeled as SF1 should be changed to SF3? See attached.	Yes Per meeting 1/23/19 revise all glass north and east CH elevations to SF3 impact IGU (base bid). Provide deduct alternate to std 1" non-impact IGU per SF. See attached sheet P2-A400. Overhead doors are still GL-5 This replaces response to RFI 003.	1/24/19	Adam Sprenger DWL
GMP 2- RFI_006	Closed	1/23/19	Dennis / Hunt	Architectural	Drawings	No Refer to the Door Schedule on Sheet P2-A700. The following door numbers are drawn on the Floor Plan as single doors and labeled on the door schedule as single doors, but the door schedule lists the frame types as Type 2 Double Door frames. Please confirm these should all be Type 1 Door Frames or provide revised Door Schedule information: • CH-100J • CH-100K • CH-124.1 • CH-147 • CH-148 • CH-150 • CH-203	Yes Correct. The doors listed in this RFI are single doors and need single door frames type 1. See attached revised door schedule sheet P2-A700	1/24/19	Adam Sprenger DWL
GMP 2- RFI_007	Closed	1/16/19	Craig A. / TriMark	Equipment	Drawings	No In reviewing the overall floor plans I noticed there was an Ice Machine shown on P3-4864 in the Hydrotherapy Room. Is this existing or do we need to include as a separate cost in our pricing? Also, are there any other areas that require an ice machine that might not be called out. In the past we have provided machines in training rooms and similar locations. If you want us to include, please provide size requirements.	Yes per OAC meeting 1/23/19 project will relocate 2 ice machines and purchase 1 new to match existing machines. 1200# Hoshizaki crescent cube. Exact model number will be field verified wed 1/30/19	1/25/19	Adam Sprenger DWL
GMP 2- RFI_008	Closed	1/24/19	Fernando E. / True Metals	Architectural	Drawings	Yes Wall type E4 for the ACM on studs shows 3.5" of mineral wool, I only found one E4 keynote pointing to the top of the multi-use room (Areas C & D), is this the only location where E4 wall type is used?	no E4 is ACM with insulation on studs. This occurs above the E5 over the storefront at east and west multi-purpose elevations interior of the trellis canopy to create the parapet. It occurs at north edge of multi-purpose roof. It also occurs at high roof similar condition. See marked up attachment in RFI 004.	1/24/19	Adam Sprenger DWL
GMP 2- RFI_009	Closed	1/24/19	Fernando E. / True Metals	Architectural	Drawings	Yes Next question, wall type E5 looks like it was deleted from page G110 (on General and Code P1 Set), do you have this wall type?	no See rfi 004 response	1/24/19	Adam Sprenger DWL

Contract 2019-006-COS



GMP 2- RFI No	Open / Closed	Date	Author	Discipline	Reference Document	Question	Response	Date	Response by
GMP 2- RFI_010	Closed	1/24/19	Fernando E. / True Metals	Architectural	Specifications	Yes MTL-7 Wall Panels Profile type. PAC-CLAD has 4 different profiles for exposed fastener panels, the drawings call a "Deck" profile, is there one of the PAC-CLAD panels chosen? See panel types attached, which one should I go with? All of these can be perforated. Another question regarding this material is regarding the panel length, the spec says that they come in 38 ft. long panels, however, the manufacturer's website states up to 27 ft.	No MTL-7 Profile Design intent is 7.2 Panel 27' long panels appear to work with the design intent at the south side of the multi-use space.	1/25/19	Michael C. Braun DWL
GMP 2- RFI_011	Closed	1/24/19	Fernando E. / True Metals	Architectural	Drawings	Yes Color Selection for Metal Panels MTL-2, Color in plans: Medium Gray Metallic per Valspar. - ACM material comes with a manufacturer finish color, is this intended to tie in a custom color? (premium) metallic finish? or should we assume a standard manufacturer color? see Reynobond's color chart attached. MTL-3, Color in plans: Ash Gray per Morin. - Morin's color chart doesn't show an "Ash Grey", what color is this panel intended to be? custom or standard? see color chart attached. MTL-7, Color in plans: Medium Gray Metallic per Valspar. - PAC-CLAD carries different shades of gray, which color would be equivalent to Valspar's medium gray? or should we quote with custom colors?	No MTL-2 is a non-custom, premium color per Morin. Please see Medium Gray under premium metal colors on the Morin Color Sheet. MTL-3 is intended to be a standard color. Color to be Dove Gray per Morin MTL-7 intent is for the color to Match MTL-2. Custom match.	1/25/19	Michael C. Braun DWL
GMP 2- RFI_012	Closed	1/24/19	Dennis / Hunt	Structural	Drawings	Yes Refer to Sheets P2-S200 & P2-S110 Sheet P2-S200 shows Continuous Footing Type CF3.00. The Footing Schedule on Sheet P2-S110 does not define this type of Continuous Footing. Please provide this information	No Use CF2, 50 in lieu of CF3 00	1/25/19	Nathan Line
GMP 2- RFI_013	Closed	1/25/19	Don S / Wilson Elec.	Electrical	Drawings	No Is a lightning protection system required?	No lightning protection not required in DPSM or supplemental instructions. existing stadium does not have lightning protection. Per LSW engineers lighting protection is not required and will remove spec section in upcoming addendum.	1/29/19	Erica Billings - LSW
GMP 2- RFI_014	Closed	1/25/19	Fernando E. / True Metals	Architectural	Specifications	No Spec section calls for 6mm panel thickness, some ACM manufacturer's are not providing 6mm material quotes, can this be quoted as a 4mm with FR core? is this an acceptable substitution?	No yes 4mm w/ FR core is acceptable.	1/28/19	Adam Sprenger DWL
GMP 2- RFI_015	Closed	1/25/19	Don S / Wilson Elec.	Electrical	Drawings	No At existing team store C-201, there is a note (103) on the architectural drawings to modify existing lights. What is the intent? Remove and replace existing lighting fixtures to new ceiling? Replace with new fixtures?	No The intent is to reuse the existing troffer fixtures. The fixtures will need to be raised up, the existing acoustical ceiling will be removed and a new ceiling will be installed, then the existing troffer fixtures will be lowered down and installed in the new acoustical ceiling	1/25/19	Dennis Mahan - AECOM Hunt
GMP 2- RFI_016	Closed	1/25/19	Don S / Wilson Elec.	Electrical	Drawings	No Keyed note 20. Please identify architectural drawing with 'SL5' fixture mounting detail.	Yes Refer to sheets P1-A011 (note 96), P4-A301 & P4-A502 and attached marked-up photos for clarification.	1/25/19	Dennis Mahan - AECOM Hunt
GMP 2- RFI_017	Closed	1/25/19	Dennis / Hunt	Structural	Drawings	Yes Refer to Sheets P1-C7.5, P4-A014, P4-A203, & P4-S203. Please clarify the scope and the extent of the demolition of the existing slab on grade in the location where the new City & Ticket Offices will be built.	Yes See attached marked-up drawings and photos with the extent of the demolition & concrete scopes at the location of the New City & Ticket Offices.	1/25/19	Dennis Mahan - AECOM Hunt

SCOTTSDALE STADIUM MULTI-USE EVENT CENTER  
100% CD GMP 2 - RFI

GMP 2 - RFI No	Open / Closed	Date	Author	Discipline	Reference Document	Question	Response	Date	Response by	
GMP 2_RFI_018	Closed	1/28/19	Larry B / Waters & Wolf	Architectural	No	<p>1. No mirrors are referenced at the bathrooms and/or fitness rooms of the Clubhouse and Ticket/City Office. Are mirrors required?</p> <p>2. Please specify system type for ticket windows at Ticket/City Office.</p> <p>3. What/Where is door CH-1540 (shown in Bid Package 03 Door Schedule)? Would you like the In/Et Glazing Systems scope to include glass only at doors and/or frames by others?</p> <p>4. Confirm we are not including doors CH - 100D, 100F, 100G, 100H, 100P, &amp; 100Z (shown in Bid Package 04 Door Schedule.)</p> <p>5. Are we to use storefront and glazing type SF-1 w/ GL-1 at the Ticket/City Offices.</p> <p>6. Please specify system type for the operable glazed partition at the Press Level.</p> <p>7. Confirm glazed sectional doors at Clubhouse are motorized. Confirm un-motorized at Press Level.</p> <p>8. Is there demerory glazing at the north elevation of the Ticket/City Office on GL 2.8 between GL 5 &amp; 7?</p> <p>9. Confirm swelights in HD frames for doors C - 106A, 109A, 111A, 113A, &amp; 115A (shown on P4-2203). Would you like the In/Et Glazing Systems scope to include glass only at doors and/or frames by others?</p> <p>10. Confirm slider CH-100Q is a manual, patio style slider and not automatic.</p>	<p>1. yes provide mirrors over every lavatory in each restroom. yes 8 tall mirrors on weight room walls. quantity is TBD.</p> <p>2. ticket windows are salvaged from existing ticketing demo and relocated to new ticketing.</p> <p>3. CH-1540 is a non-motorized overhead door on the east wall of CH kitchen as a service window.</p> <p>4. correct the doors listed are a modeling anomaly and will be deleted from schedule.</p> <p>5. yes SF-1 and GL-1 for windows at ticketing/city offices.</p> <p>6. no glazed operable partitions required at press level. scope is to resurface 2 existing operable partitions and provide 2 new operable partition at the press addition NW corner. keynote 244 is incorrect and will be revised to a standard operable partition with a door in one panel.</p> <p>7. yes weight room sectionals are motorized and press level are hand crank operated.</p> <p>8. yes (3) 2'x4' storefront SF-1 windows with GL-1.</p> <p>9. Confirmed at all but C-106A - yes, please provide rate light glass in your scope Dennis Neman / AECOM HUNT 1/25/2019</p> <p>10. yes slider at east CH patio is non-motorized patio style with recessed floor tracks.</p>	1/29/19	Adam Sorenger D&W	
GMP 2_RFI_019	Closed	1/29/19	Don S / Wilson Elec.	Electrical	Drawings	No	<p>There is nothing shown on the drawings in these areas</p> <p>Is the electrical existing to remain sufficient or should any lighting or power be added?</p>	<p>Level of design has not been developed to a level that final lighting has begun. Lighting fixtures have been tentatively selected (cutsheets included in SD package)</p>	1/30/19	Erica Billings - LSW
GMP 2_RFI_020	Closed	1/29/19	Don S / Wilson Elec.	Electrical	Drawings	No	<p>Drawing: P4-E402, P4-E403, P4-E404, P4-E405, P4-E406, P4-E409, P4-E414</p> <p>Is all of the power that will be required for these areas currently shown or what if anything should be added?</p>	<p>We anticipate additional outlets, HVAC power, etc. will be added as coordinated with space design.</p> <p>For P4-E414 we do not anticipate any electrical scope on the roof of the Charros area. This sheet will be deleted in future deliverable. NOTE: The electrical contractor will also be responsible for data/routing. See sheets T001 for typical back board conduit requirements. Locations/quantities to be determined with further design coordination. None shown to date. 3/1/2019 - Josh Shore - LSW</p>	1/30/19	Erica Billings - LSW
GMP 2_RFI_021	Closed	1/23/19	Don S / Wilson Elec.	Electrical	Drawings	No	<p>Drawing: P4-E201, P4-E202, P4-E401, P4-E404, P4-E406</p> <p>In which pricing breakout areas should these be placed?</p>	<p>A new breakout 4.7 will be created and added to the Bid Form for Existing Stadium Areas. The updated bid form will be provided in Bid Addendum #1. See breakouts below:</p> <p>P4-E201 (Existing home Clubhouse electric demo) - Breakout 4.7, Existing Stadium Areas</p> <p>P4-E202 (Existing main concourse, Area L demol) - Breakout 4.7, Existing Stadium Areas</p> <p>P4-E401 (Electric power for existing home Clubhouse) - Breakout 4.7, Existing Stadium Areas</p> <p>P4-E404 (Electric power at Right Field Bleachers) - Breakout 4.5, Right Field Bleachers</p> <p>P4-E406 (Electric power at existing main concourse, Area M) - Breakout 4.7, Existing Stadium Areas</p>	1/29/19	Melanie Lincoln - AECOM HUNT

Contract 2019-006-COS

Exhibit C-2

Page 71 of 158

SCOTTSDALE STADIUM MULTI-USE EVENT CENTER

100% OF GMP 2 - RFI LOG

GMP 2 RFI No.	Open / Closed	Date	Author	Discipline	Reference Document	Question	Response	Date	Response by		
GMP 2_RFI_022	Closed	1/30/19	Larry B / Walters & Wolf	Architectural	No	<p>1. Confirm glass types per G115</p> <p>GL-1: 1/4" Optiblue w/ Z75 Solarban Low E on #2 Surface (Outboard Lite)                      1/2" Black Aluminum Spacer w/ Black Sealant and Air (1/2" Air Space)                      1/4" Clear Glass (Inboard Lite)</p> <p>GL-2/3: 1/4" Clear Monolithic (Tempered Where Required by Code.)</p> <p>GL-4: 1/4" Over 1/4" Optiblue Tinted Glass w/ PVB Interlayer and Z75 Solarban Low E on #4 Surface (Outboard Lite)                      3/8" Black Aluminum Spacer w/ Black Sealant and Air (3/8" Air Space)                      1/4" Clear Glass (Inboard Lite)</p> <p>GL-5: 1/4" Over 1/4" Optiblue Tinted Glass w/ PVB Interlayer (Tempered Where Required by Code.)</p> <p>2. Confirm door CH-100Q does not have a transom and is meant to be full height.                      3. SF-1 and 3 are specified as Kawneer - Tri Fab 451 UT. This system is center glazed only. Confirm we can use Tri Fab 451 T - from glazed at exteriors and center glazed at interiors per G115.                      4. The SSG verticals called for in G115 will not load structurally even with steel. Confirm we can use a fully captured system instead.                      5. Is the multi purpose room at the Club House considered a gym? Will this require laminated glass at the inboard lite as well?</p>	no	<p>1. confirmed all glass types. Note, for GL-4 sheet G115 shows 1/2" spacer, but 3/8" is acceptable. 2. correct 12" tall no transom (4) 4" wide panels, south panel is fixed, no break-away, these are not required exit doors, recessed floor track. 3. SF 1 and SF3 will be revised to show front glazed fully captured on all sides. No SSG for any window. Interior glazing can be center glazed typ. 4. SF-1 and SF3 will be revised to show front glazed fully captured on all sides. No SSG for any window. Interior glazing can be center glazed typ 5. No multi-use space is not considered a gym by code. No interior pane is not required to be laminated.</p>	2/4/19	Adam Sprenger DWL	
GMP 2_RFI_023	Closed	1/30/19	Dennis / Hunt	Structural	Drawings	No	<p>Refer to Sheets P2-S200 &amp; P2-A200.</p> <p>Sheet P2-S200 shows the walls at the new elevator hoistway and Stair 2 as Type W-3 masonry walls. Sheet P2-A200 shows the walls at the new elevator hoistway as Type E7, 10" thick concrete walls.                      Which is correct?</p>	no	<p>wall type will be revised in arch sheets to show P11 full height 8" CMU 1 hr rated.</p>	2/4/19	Adam Sprenger DWL
GMP 2_RFI_024	Closed	1/31/19	Kevin Z. Hunt	Structural	Drawings	No	<p>8/P2-S600 is not called out on the structural plans. Please confirm if this head of CMU wall bracing is to be used on this project. If so, provide locations where the detail is applicable.</p>	Yes	<p>See detail 4/5400. This is for all interior non-bearing masonry walls that are full height. 1/31/2019 - N. Kline - AVS                      In addition to Nathans response of, "see detail P2 4/5400. This is for all interior non-bearing masonry walls that are full height. Nathan Kline 1/31/19" I would add the following: interior full height CMU walls are arch wall types P7 and P11. Partial height interior CMU walls are P8. The only bearing CMU walls are stairs and elevators, and the E/W multi purpose wall on grid CF. All other interior CMU are non-bearing. See attached highlighted diagrams for interior cmu wall locations                      A. Sprenger DWL 1/31/19"</p>	1/31/19	N. Kline - AVS
GMP 2_RFI_025	Closed	2/1/19	Dennis / Hunt	Plumbing	Drawings	Yes	<p>Refer to Sheets P2-P001, P2-P201, P2-202.                      The Fixture Unit Calculation Table on Sheet P2-P001 indicates that there are (2) S-1 sinks and (1) MS-1 mop sink. These items are not shown on the Plumbing Floor Plans on P2-P201 &amp; P2-202. Please clarify or show these items</p>	no	<p>The (2) S-1 sinks and (1) MS-1 mop sink are not part of package 2 and will be removed from the P2 Fixture Schedule.</p>	2/11/19	Cory Hillpack LSW
GMP 2_RFI_026	Closed	2/5/19	Ken / Kovack	Architectural	Drawings	No	<p>For the MTL-7 perforated metal panels, do the panels need to be painted on both sides in the Medium Gray Metallic or just the finish face side and a primer washcoat on back side?</p>	no	<p>As discussed on the phone yesterday, yes the MTL-7 panels need to be finished on both sides</p>	2/6/19	Dennis - HUNT
GMP 2_RFI_027	Closed	2/7/19	Dennis / Hunt	Architectural	Drawings	No	<p>Refer to the Door Schedule on Sheet P2-A700</p> <p>Storefront Doors CH-300A, CH-300B, CH-300C, &amp; CH-300D are all shown as slightly different sizes. Should these all be the same size? Should the size for all of them be 3'-0" x 7'-0"?</p>	yes,	<p>level 3 CH storefront doors to exterior should all be 3'-0" x 7'-0".                      Architectural will adjust door sizes on schedule and adjust mullion spacing to accommodate consistent door size.</p>	2/12/19	Adam Sprenger DWL



Contract 2019-006-COS



GMP 2- RFI No	Open / Closed	Date	Author	Discipline	Reference Document	Question	Response	Date	Response by
GMP 2- RFI_028	Open	2/8/19	Dennis / Hunt	Architectural	Drawings	Yes Refer to Sheets P1-C3.5, P1-C3.6, P2-S200, P2-S201, P2-S203, and P1-A052 and attached marked up drawings.  • Note 23/P1-C3.6 shows several locations for site concrete retaining walls and says to refer to the structural drawings (see attached drawing). • The Structural drawings show some of the retaining walls, but not all of them. For the ones that are shown, there is a note that says to refer to the architectural drawings for waterproofing details. • The Architectural drawings do not show waterproofing details for any of the site retaining walls. Please provide retaining wall and waterproofing details for these walls.			
GMP 2- RFI_029	Closed	2/12/19	Kevin / Hunt	Architectural	Drawings	No Home Plate Plaza includes a callout: "Align Outside Baseball Bollard on Exposed Asphalt Stripe as Shown."  The asphalt stripe appears to be 1' or 2' wide. Is the design intent to block out a portion of concrete and place asphalt in the gap between concrete?  Smaller detailed work like this is not typically performed by an asphalt contractor and would be difficult to accomplish.  Please confirm the stripe creating the outline of home plate can be a darker colored concrete in lieu of asphalt.	The "asphalt" call-out in detail 77/H2.1 is a mistake and we will revise. The hatch in the hardscape sheet calls out for concrete 3/8" crushed e-posed aggregate (no color)	2/14/19	Moar - LSD
GMP 2- RFI_030	Closed	2/12/19	Kevin / Hunt	Architectural	Drawings	No Gate R-1 and Gate R-2 on P2-A204 are integrated into the metal screen wall system.  The door schedule identifies these gates as hollow metal doors and frames  Please confirm if Gates R-1 and R-2 are hollow metal doors, or if they are HSS gates clad with metal screen wall panels to match the screen wall system.  Also, please provide hardware sets for these gates.	roof top screenwall gates are tube steel with metal screen wall material. Provide (-) heavy duty pin and barrel gate hinges fully welded with horizontal slide bolt. Lever hardware not required. See 5.6,7/G153 in addendum 1.	2/13/19	Adam Sprenger - DWL
GMP 2- RFI_031	Closed	7/13/19	Kevin / Hunt	Architectural	Specifications	Yes Reference spec sections: 07 21 00 Thermal Insulation; 07 81 00 Applied Fireproofing  We have not been able to identify any areas on this project that require K13 insulation, spray-applied fireproofing, or intumescent paint.  The only structural steel members that look to potentially require fireproofing are the wide flange beams that pass through Stairs 2 & 3 and the CF/C7.9 column on sheet P2-S223. See attached drawing with steel in question highlighted in yellow.  Please confirm if this project requires any K13, spray-applied fireproofing, or intumescent paint. If so, please identify the areas where these are required. If not, please remove these items from the specifications and the Fire Resistive Systems Legend to avoid confusion.	K13 may be used in package 4 for the team store. This is the only location we know of at this time. Weight room walls and floor slabs are no longer rated. Stair wells and elevator shaft are 2hr self supporting CMU. Maintain a 20% allowance for misc SFRM of steel such as the beams that intersect the weight room stair. We are required to only fireproof supporting elements of the stair walls not the stair itself. Also, smoke dampers shall be removed from weight room walls, but are required at ducts that pass to the 3rd floor. All conduits and openings to the 3rd floor need fire sealant to prevent passage of smoke. 3rd floor stair walls and doors are fire rated. With the revision to weight room fireproofing, the exposed columns are no longer intumescent rated. Intumescent fireproofing will be removed from the specification.	2/13/19	Adam Sprenger - DWL

---

# CLARIFICATIONS AND ASSUMPTIONS

This GMP 1 includes the following Phase 1 scope items for the Scottsdale Stadium Multi-Use Event Center Project:

- 02.41 Demolition – Drawing Packages P1, P4
- 03.20 Concrete – Drawing Packages P1, P2, P3, P4
- 04.20 Masonry – Drawing Packages P1, P2, P4
- 05.10 Structural & Misc. Steel – Drawing Packages P1, P2, P3, P4
- 07.10 Waterproofing – Drawing Packages P1, P2
- 07.42 Metal Wall Panels – Drawing Packages P2, P4
- 07.52 Membrane Roofing – Drawing Packages P2, P4
- 08.10 Doors, Frames & Hardware – Drawing Packages P1, P2, P3, P4
- 08.33 Overhead Coiling Doors – Drawing Packages P2
- 08.40 Glazing Systems – Drawing Packages P2
- 09.10 Framing & Sheathing/Drywall – Drawing Packages P2, P3, P4
- 09.24 EIFS – Drawing Packages P2
- 10.22 Operable Partitions – Drawing Packages P3, P4
- 11.40 Food Service – Drawing Packages P3, P4
- 14.42 Wheelchair Lift – Drawing Packages P4
- 14.10 Elevator – Drawing Packages P2, P3
- 21.00 Fire Protection – Drawing Packages P1, P2, P3, P4
- 22.00 Plumbing – Drawing Packages P1, P2
- 23.00 HVAC – Drawing Packages P1, P2
- 26.00 Electrical & Technology – Drawing Packages P1, P2
- 31.10 Earthwork & Asphalt – Drawing Packages P1
- 32.00 Landscaping / Irrigation – Drawing Packages P1
- 32.12 Site Concrete – Drawing Packages P1, P2, P4
- 33.00 Site Utilities – Drawing Packages P1

This GMP 1 Package for Phase 1 of the Scottsdale Stadium Multi-Use Event Center is based upon the following clarifications and assumptions.

## A. GENERAL

1. This GMP 1 was prepared based upon the Phase 1 100 % CD Documents for drawing packages P1 and P2, dated 1/15/2019; Drawing Addendum 1 for drawing packages P1 and P2, dated 2/6/2019; Specifications dated 1/15/2019; and a 50% CD Progress set of documents for drawing packages P3 and P4, dated 1/15/2019. A document log and the documents are included in section 4 of this GMP.
2. This GMP is categorized using CSI Masterformat, divisions 1-33.

## CLARIFICATIONS AND ASSUMPTIONS

3. General conditions for this GMP 1 scope of work is included for the period of March 20, 2019 thru March 31, 2020. General requirements are included for Phase 1 only.
4. Design Fee for Construction Administration (CA) is included in this GMP for Phase 1 scope only. Attached is the proposal for clarification of what is included in the CA services.
5. This GMP does not include potential impacts of trade agreements or tariffs that have not been fully implemented as of the date of this GMP.
6. Testing and special inspections costs for the inspections summarized from the project documents in the table below are excluded from this GMP, and as well as any additional third party testing required. These tests and special inspections shall be by the City of Scottsdale. This exclusion does not apply to DBM quality assurance testing requirements.

Spec Section/ Drawing #	Description	Test/Inspection Type
03 11 16	Board Form Concrete Forming	Visual inspections of formwork
03 30 00	Cast-in-Place Concrete	Material tests (slump, temperature, air content); Compressive strength tests
03 53 00	Concrete Topping	Compressive strength tests; Chain tests; Flatness tests
LH1.1	Concrete Color and Finish	Testing/inspections for decorative concrete
P2-S101	Cast-in-Place Deep Foundations Inspections	Drilling; Placement; Grout inspections
P2-S102	Concrete Inspections	Reinforcing; Anchors; Mix Design; Placement; Curing; Formwork
P2-S102	Masonry Inspections	Mortar, Reinforcing; Anchors; Grout
05 12 00	Structural Steel Framing	Shop and Field inspections - Welded and bolted connections
P2-S102	Structural Steel Inspections	Steel details per Construction Documents; Embeds and anchor rods
05 12 13	AESS	Shop and Field inspections (non-aesthetic)
05 21 00	Steel Joists	Field weld/bolt inspections
05 31 00	Steel Decking	Field weld inspections
05 31 23	Acoustical Roof Decking	Field weld inspections
P2-S102	Steel Deck Inspections	Deck materials and accessories; Mechanical fastening
P2-S102	Slab on Metal Deck Inspections	Steel deck inspections prior to concrete; Concrete placement inspections
05 40 00	Cold-Formed Metal Framing	Field and shop weld inspections; Anchor testing
05 50 00	Metal Fabrications	Anchor testing
05 51 13	Metal Pan Stairs	Anchor testing
05 52 16	Aluminum Component Railing System	Anchor testing
05 73 00	Decorative Metal Railings	Anchorage testing
07 14 13	Cold Fluid-Applied Waterproofing	Visual inspections
07 27 26	Fluid-Applied Membrane Air Barrier	Ongoing visual inspections; Pull test; Chamber tests excluded per clarification item 47.e

## CLARIFICATIONS AND ASSUMPTIONS

07 81 00	Applied Fireproofing (Spray-Applied)	Thickness measurements; Pull tests; Periodic visual inspections
09 22 16	Non-Structural Metal Framing	Anchor testing
09 51 13	Acoustical Panel Ceilings	Anchor testing
09 67 26	Acrylic Flake Floor Coatings	Material samples; Core samples
09 91 00	Painting	Material sample testing; Dry film thickness testing
14 42 00	Wheelchair Lifts	Anchor testing
27 13 00	Communications Backbone Cabling	Factory testing of cables
31 00 00	Earthwork	Soil density testing
P2-S101	Soils/Foundation Inspections	Excavation; Fill materials; Subgrade; Compaction
P2-S101	Epoxy/Expansion Anchors	Per manufacturer specs

7. Refer to the attached Assessment and Code Upgrade Summary and back-up for confirmation of scope included in the drawing package breakouts. Code upgrades and additional work noted for the DBM team outside of the attached Assessment and Code Upgrade Summary is excluded. Any additional work requested by Authorities Having Jurisdiction outside of this package is excluded.
8. This GMP will require subsequent Phase 1 GMP 2 scope of work for a buildable and complete project. A certificate of occupancy and final completion cannot be achieved with the scope of work included in GMP 1, without future GMPs. The material & labor included in GMP 1 will be complete per the attached project schedule.
9. All work associated with Phase 2 drawings is excluded.
10. Any work not specifically included in this GMP 1 will be included in future GMPs or future Phases.
11. The acoustical consultant contract is held by the City of Scottsdale. Acoustical engineering design included in this GMP is based on recommendations from the City of Scottsdale's acoustic consultant, Callahan Studios.
12. Builders Risk deductibles are included for only insurance claims arising out of negligence of the DBM or DBM's Subcontractors.
13. Builders Risk Insurance will remain in place until Substantial Completion is achieved.
14. The added terrace above the bull pen at the Charros Lodge is excluded from this GMP per direction from the City of Scottsdale. Refer to the mark-ups on the attached drawings P4-A200, P4-A220, P4-A300, P4-A501, P4-S221, P4-S222 for clarification.
15. This project shall achieve a certification level of LEED Certified for the Clubhouse only. The project will be following LEED v4 with the BD+C: New Construction rating system.
16. It is assumed that if Enhanced Commissioning for the Clubhouse is pursued for LEED credits then the Third Party Commissioning Agent will be provided by the City of Scottsdale.
17. The work shown on the home plate plaza build-out alternate plans LX1.1, LX1.2, and associated sheets is not included in this GMP 1. This alternate will be captured in future GMPs.

---

## CLARIFICATIONS AND ASSUMPTIONS

18. Refer to the attached Furniture, Fixtures, and Equipment (FF&E) Matrix for clarification as to which group is responsible for the design, purchase, and installation of each item.
19. All City of Scottsdale soft costs are excluded from this GMP.
20. A construction site fence with lockable gates will be placed around the project site. A full time security guard is not anticipated and will not be provided. If required, the City of Scottsdale shall provide a security guard. The remaining facility outside of the project site will remain under the City of Scottsdale's oversight.
21. The existing men's and women's restrooms throughout the stadium will be used as temporary construction facilities. These will be cleaned, serviced, and re-stocked by the DBM team.
22. Power and water usage costs are excluded. Existing power and water available onsite will be used by the DBM. Any additional water hydrant use by the DBM is included in this GMP.
23. The existing stadium Team Shop will be used as the temporary project site office.
24. The City of Scottsdale WiFi system will be used for the temporary project site offices and is assumed to be adequate for daily construction administration.
25. The top level of the Civic Center parking garage will be utilized for subcontractor parking.
26. Any remaining Punchlist items that have been identified shall be corrected after Substantial Completion.
27. Dates for owner move-out, early equipment/supply move-in, and owner occupancy are as follows:

Owner Move out Dates

3/29/2019 - Giants to vacate the team store

4/7/2019 - Giants to vacate the existing clubhouse, training room, ticket office, and tent to be removed from the site

5/1/2019 - Giants to vacate the Press Box

5/1/2019 - Charros/COS to vacate the Charros Lodge

Equipment/Supply Move-In Dates

1/15/2020 - Clubhouse: Weight Room, Hydrotherapy, Training Room, Kitchen; Press Box - East side

1/28/2020 - Locker Rooms, Offices, Laundry Room, Equipment Storage

2/2/2020 - Team Store (Hunt to vacate by 2/1/2020)

2/7/2020 - Charros Lodge

Turn-Over for Occupancy (TCO)

2/7/2020 - Clubhouse, all areas; Parking Lot - TCO

2/11/2020 - All remaining Phase 1 Areas - TCO

---

## CLARIFICATIONS AND ASSUMPTIONS

### Substantial Completion

2/15/2020 – All Phase 1 Areas

28. An Owner allowance in the amount of \$302,736 is included in this GMP for changes to the project documents based on the City of Scottsdale permit comments and design updates that have occurred after City permit submission. These updates will be issued as an Addendum with the final City Permit review set.
29. The following Owner allowances are included in this GMP 1:
- a. 07.52 Membrane Roofing
    - i. Roof penetration repair allowances at the Team Shop, \$5,000
    - ii. Roof penetration repair allowance at the Press Level, \$10,000
  - b. 08.10 Doors, Frames & Hardware
    - i. Doors, frames & hardware allowance for Drawing Package 3 Clubhouse Buildout, \$176,033
    - ii. Doors, frames & hardware allowance for Drawing Package 4.2 Press Club Level \$66,803
    - iii. Doors, frames & hardware allowance for Drawing Package 4.3 City & Ticket Offices, \$26,430
  - c. 09.10 Framing & Sheathing/Drywall
    - i. Framing & Sheathing/Drywall allowance for Drawing Package 3 Clubhouse Buildout, \$720,220
    - ii. Framing & Sheathing/Drywall allowance for Drawing Package 4.1 Team Shop Improvements, \$8,950
    - iii. Framing & Sheathing/Drywall allowance for Drawing Package 4.2 Press Club Level, \$140,160
    - iv. Framing & Sheathing/Drywall allowance for Drawing Package 4.3 City & Ticket Offices, \$135,000
  - d. 10.22 Operable Partitions
    - i. Operable Partition allowance for Drawing Package 3 Clubhouse Buildout, \$10,850
    - ii. Operable Partition allowance for Drawing Package 4.2 Press Club Level, \$39,850
  - e. 11.40 Food Service Equipment
    - i. Clubhouse Level 3 Residential Appliance allowance, \$3,000
    - ii. Press Level Residential Appliance allowance \$1,500
  - f. 14.10 Elevator

---

## CLARIFICATIONS AND ASSUMPTIONS

- i. Re-certification of existing elevator allowance, \$12,000
- g. 32.12 Site Concrete
  - i. Allowance to supply & install (10) additional Bollards for SW gas meter protection, \$7,500

### B. SCHEDULE

- 30. Refer to the attached schedule and narrative in section 6 of this GMP. This GMP 1 includes completing the scope per the timeline on the attached schedule.
- 31. This GMP is based upon the City of Scottsdale permit review periods and issuance dates provided on the schedule included in section 6 of this GMP. These dates are critical path to the project end date.
- 32. Cost loading is excluded from the project schedule.
- 33. Major submittal items are included in the procurement section of the schedule.
- 34. The attached Noise Mitigation Plan in section 8 of this GMP lists the work hours requested outside of the standard City of Scottsdale work hours. All activities will be coordinated with the City of Scottsdale. The DBM will submit the required variance requests to the City of Scottsdale, as needed.
- 35. City of Scottsdale shall provide special inspections, as required by code, and meet the project schedule. The DBM will coordinate with the City of Scottsdale to schedule special inspections.
- 36. This GMP is based upon a notice to proceed being issued by March 20, 2019. Any costs associated with a later notice to proceed are excluded.
- 37. Due to the compressed project schedule, the baseline project schedule only includes a five (5) day adverse weather delay activity, in lieu of the total monthly average from the National Oceanic and Atmospheric Administration Service for the Phoenix area per section 3.5.5.5 of the construction contract.

### C. DIVISION 1: GENERAL REQUIREMENTS

- 38. Project Record Drawings will be maintained electronically, not via paper copy per specification section 01 78 39.

### D. DIVISION 2: EXISTING CONDITIONS

- 39. Hazardous Materials
  - a. No asbestos or lead paint was identified in the environmental assessment, so this GMP excludes any hazardous materials abatement.
  - b. This GMP excludes the treatment, handling, and disposal of existing contaminated ground water and soil.
- 40. Demolition

---

## CLARIFICATIONS AND ASSUMPTIONS

- a. All Owner salvage not noted on the drawings is excluded. It is assumed that all salvaged art and loose furniture/materials are anticipated to be identified and removed by others prior to the start of construction. All fixed building elements and any remaining items on site at start of demolition will become the property of the demolition subcontractor.
- b. Demolition of the main equipment for the existing stadium chiller, screen wall, and platform is included. Some posts, supports, and penetrations will remain. Minor roof patching will be performed, as required.
- c. This GMP assumes that the baseball bollards, bike racks, and brass art element will be salvaged and re-installed at the areas noted on the documents. Due to the complexity of removing these items, if these items are damaged during the removal process, replacement costs are excluded.
- d. Tree stumps and root balls shall be removed completely, where possible. Tree stumps and root balls shall be ground down 18" below grade, per specifications, when not possible.

### E. DIVISION 3: CONCRETE

#### 41. Cast-in-Place Concrete

- a. Polished concrete is excluded and will be included in a future GMP.
- b. Concrete will be poured based on a salt and pepper polished concrete finish, where noted on the documents. Over-pouring for a deeper grind finish is excluded and not anticipated.

#### 42. Board Formed Concrete

- a. Reveals at board formed concrete are assumed to be 1 ½" deep.
- b. Refer to the attached sketch for the board formed concrete design included in this GMP.

### F. DIVISION 4: MASONRY

43. The masonry on the concourse side of the new Ticketing and City Offices is assumed to be a decorative block.

### G. DIVISION 5: METALS

#### 44. Structural Steel

- a. Structural steel is assumed to be prepped and primed in the shop for special steel coatings per specification 09 97 13. Special steel final paint coat will be applied in the field and is excluded from this GMP. This scope of work will be captured in a future GMP.
- b. Architecturally Exposed Structural Steel will be finished to finish level AESS 1 Basic Elements per Table 10.1 in the AISC Manual, 15<sup>th</sup> Edition.



---

## CLARIFICATIONS AND ASSUMPTIONS

- c. Four weeks of schedule acceleration for steel fabrication is included due to GMP approval of March 19, 2019 in lieu of February 5, 2019.
45. Metal Decking
- a. Epicore deck is excluded from this GMP. Verco Dovetail deck is included for the acoustical deck, in the areas noted on the project drawings.
  - b. Sub roof and sub roof decking are not anticipated for the project and are excluded.
46. Miscellaneous Metals
- a. Rigging grid is excluded from this project. Rigging points are included per the documents.
  - b. The tree grating system, angles, and supports shown on the landscape drawings are excluded from this GMP. This will be captured in a future GMP.
  - c. All handrail & guardrail replacement work, cane rails, etc. associated with the limited facility assessment & code upgrades are excluded. The handrail items addressed in the facility assessment are included with the attached Facility Assessment & Code Upgrade Summary. These will be addressed in the Phase 2 GMP.
  - d. The railing at the 3<sup>rd</sup> floor balcony and in the main center stairwell (Stair 2) of the Clubhouse is assumed to be stainless steel cable rail, similar to detail 6/A865 (Package 3). The stairwell at the weight room is assumed to be a standard metal rail.
  - e. Any and all work associated with the right field bleacher modification will be included in future GMPs by separate trades (Bleachers Division 12).
  - f. Chainlink fence modifications are excluded from this GMP and will be included in future GMPs.
  - g. Fall arrest cable and anchor points are excluded from this GMP and will be included in future GMPs.
  - h. Signage and associated signage support steel are excluded from this GMP and will be included in future GMPs.
  - i. The pre-fabricated metal stair going from the 2<sup>nd</sup> floor stair to the low roof shown as keynote 173 on P2-A204 is assumed to be an aluminum grating stair.
  - j. Gates R1 and R2 at the mechanical screen wall on the low roof level are assumed to be tube steel with metal screen wall material with (4) heavy duty pin and barrel gate hinges fully welded with horizontal slide bolt per details 5, 6, and 7 on G153.
  - k. The following miscellaneous metals items are excluded from this GMP and will be included in a future GMP:
    - a. Countertop supports
    - b. Television support frame bracing

---

## CLARIFICATIONS AND ASSUMPTIONS

### H. DIVISION 7: THERMAL AND MOISTURE PROTECTION

#### 47. Waterproofing

- a. Traffic topping is excluded from this GMP and will be included in a future GMP.
- b. Patching of waterproofing at the existing tunnel is included.
- c. Water repellants are excluded from this GMP and will be included in a future GMP.
- d. The building interior fluid applied air barrier is excluded from this GMP and will be included in a future GMP. All exterior fluid applied air barrier is included in This GMP.
- e. Chamber testing for the fluid-applied membrane air barriers per section 1.8 of specification 07 27 26 is excluded.
- f. Bituminous Dampproofing is assumed at all site retaining walls.
- g. Waterproofing is excluded at site planters.
- h. Cold fluid applied waterproofing will be provided in lieu of hot fluid applied waterproofing listed in specification section 07 14 13.
- i. This GMP includes Electronic Leak Detection testing of the waterproofing at the Clubhouse split slab only in lieu of flood testing.

#### 48. Exterior Insulation Finishing System (EIFS)

- a. A drainable EIFS system is included.
- b. EIFS reveals to match the board formed concrete reveals are included.

#### 49. Metal Panels

- a. Any trim metal associated with the Press Club Level and coiling doors will be included in a future GMP.
- b. MTL-6 – Clear Anodized Aluminum is excluded from this GMP. It is listed on The Exterior Finish Schedule on Sheets P2-A400 & P2-A401, but is not called out anywhere on the drawings.
- c. Per Bidder GMP2 RFI 014, this GMP includes 4mm thick ACM panels with an FR core in lieu of the originally specified 6mm thick panels.
- d. The 1 ½" perforated steel deck at the Main Entry Canopy will be mechanically fastened to the structure in lieu of being welded.

#### 50. Roofing

- a. The TPO roofing thickness shall be 80 mil per City of Scottsdale in lieu of the specified 60 mil.
- b. The Press Club Level & Team Shop roofing will not be replaced. Patches will be installed at limited areas, as required.
- c. Roof patches on existing buildings will match existing roof mil thickness.
- d. This GMP includes the ASTM testing for running water for 30 minutes per every 100 square feet of roofing with a 1" hose in lieu of flood testing.

---

## CLARIFICATIONS AND ASSUMPTIONS

### I. DIVISION 8: OPENINGS

#### 51. Glass and Glazing

- a. Special chamber testing and commissioning of the exterior envelope is excluded from this GMP. The water spray test, as noted in the specifications, is included in this GMP.
- b. This GMP assumes that the 7 existing ticket windows will be salvaged and re-installed at the new Ticket Office. Due to the complexity of removing these windows, if they are damaged during the removal process, replacement costs are excluded.
- c. Skylights in the Clubhouse locker room are assumed to be 4'x8' Bristolite Daylighting System, Model ALI. This skylight model includes an integral safety screen for fall protection.
- d. A 16x12 sliding door is included for the SE Clubhouse sliding glass door with a Basis of Design of CR Laurence Elephant Doors Series E1200 or Equal.
- e. Per Bidder GMP2 RFI 022 – the storefront system shall be Kawneer TriFab 451 T in lieu of TriFab 451 UT.
- f. Type GL-5 glazing is excluded at the Clubhouse weight room Sectional doors. It is assumed that these doors have ¼" clear, laminated glass.
- g. To achieve the 4' x 8' mirror size in the Weight Room, the mirrors are assumed to be 5/16" laminated assembly in lieu of a ¼".

#### 52. Doors, Frames, and Hardware

- a. Required access control hardware will be coordinated with the DBM team and City of Scottsdale. City of Scottsdale to provide access control hardware

### J. DIVISION 9: FINISHES

#### 53. Painting

- a. All painting is excluded from this GMP and will be included in a future GMP.

### K. DIVISION 10: SPECIALTIES

#### 54. Operable Partitions

- a. A folding panel door is assumed to be installed between the Multi-Purpose Room and Food Delivery Room in lieu of the barn door shown on the documents. The basis of design for this folding panel door is Modernfold Acousti-seal 931.
- b. Per bidder RFI GMP 2.018 the operable panel partition at the Press Tower called out as note 245 on drawing P4-A208 is a standard operable partition with a pass thru door.

### L. DIVISION 11: EQUIPMENT

- 55. Window washing equipment design, supply and installation is excluded from this GMP.

---

## CLARIFICATIONS AND ASSUMPTIONS

56. Small wares, carts, dishes, and loose kitchen FF&E is excluded from this GMP. Reference the attached FF&E Responsibility Matrix.
57. Trash, composting equipment/bins and balers are excluded from this GMP and assumed to be Owner-furnished and installed.
58. Food Service Equipment
  - a. The food service equipment listed on the QF drawings in package P3 and described in Bidder RFI GMP 2.002 is included in this GMP.
  - b. The residential refrigerator and dishwasher on the third level of the Clubhouse and residential refrigerator at the press club level are included in this GMP. These appliances are not yet defined, so an Owner allowance has been included in the GMP based on the following appliances:
    - i. Samsung - 25.5 Cu. Ft. French Door Refrigerator with Filtered Ice Maker - Stainless steel, Model #RF260BEAESR
    - ii. KitchenAid - 24" Built-In Dishwasher - Stainless steel, Model #KDTE334GPS

### M. DIVISION 14: CONVEYING EQUIPMENT

59. Elevator
  - a. This GMP includes a 4,500 lb. capacity, jack hole-less, hydraulic passenger elevator with a machine room for the new Clubhouse.
  - b. It is assumed that the fire-command-center annunciator panel will be placed within 150 feet of the elevator.
  - c. The existing elevator in Clubhouse will be placed back in service in a similar state prior to construction. This does not include modernization of the elevator or improvements to the interior cab.
  - d. Recertification and modernization of the press level elevator is excluded from this GMP. This is assumed to remain in operational service by the City of Scottsdale.
60. Wheelchair Lift
  - a. Furnish and installation of one (1) Garaventa Model GVN-ENC-168 is included in this GMP.

### N. DIVISION 21: FIRE SUPPRESSION

61. A fire pump is excluded from this GMP.
62. This GMP includes installing a temporary main sprinkler line under the canopy between the team store and existing clubhouse to loop the 6 lines currently going to the Clubhouse under the canopy.

---

## CLARIFICATIONS AND ASSUMPTIONS

63. Pre-action, chemical, and dry fire suppression systems are not required per City of Scottsdale and are excluded. The Ansul system will be provided in the Clubhouse kitchen, as noted on the documents and in bid package 11.40 Food Service Equipment.
64. A fire suppression system is not required at the Charros Lodge and is excluded from this GMP.

### **O. DIVISION 22: PLUMBING**

65. Kitchen water filtration systems are excluded from this GMP.
66. Per City of Scottsdale direction, domestic water lines between the backflow and the building shall be copper.
67. Seismic performance specifications for piping is excluded from this GMP, except as required by Authorities Having Jurisdiction.

### **P. DIVISION 23: HVAC**

68. Factory inspections of equipment is excluded from this GMP.
69. The building automation system for HVAC is excluded from this GMP and will be captured in a future GMP.
70. Seismic performance specifications for HVAC piping and ductwork is excluded from this GMP, except as required by Authorities Having Jurisdiction.
71. This GMP assumes the chemical balancing of the existing chilled water and heating hot water loops have been maintained and are adequate for final tie-in.

### **Q. DIVISION 26: ELECTRICAL**

72. Two large capacity, multi-utility floor boxes are included in this GMP for the Multi-Purpose room with power and data.
73. The APS transformer, switching cabinet, and traffic rated pull box is excluded from this GMP. The City of Scottsdale shall pay for this equipment out of the Owner's soft cost utilities allowance.
74. The preliminary APS design, dated 1/15/2019, has been incorporated into the project documents and is included in this GMP. Any changes in the electrical installation due to APS design modifications is excluded.
75. Provisions are included to verify the integrity of the existing 5" conduits to existing APS pull boxes PB620917 and PB620918. Trenching and replacing any existing conduit that may be damaged is excluded from this GMP, as stated on the preliminary APS design, dated 1/15/2019.
76. UL re-certification is excluded from this GMP for existing electric panels.
77. Lighting controls and light fixtures are excluded from this GMP. This will be included in a future GMP.
78. Seismic performance specifications for conduits, cable tray, and raceways is excluded from this GMP, except as required by Authorities Having Jurisdiction.

---

## CLARIFICATIONS AND ASSUMPTIONS

79. A standard sound attenuated generator enclosure is included in this GMP. Walk-in type enclosures are excluded from this GMP.

### R. DIVISION 27: COMMUNICATIONS

80. The new broadcast truck location will not be functional until the end of phase 2 construction. The existing broadcast truck location will remain in place and used through the end of 2020, or until Phase 2 construction is complete.

81. Seismic performance specifications for conduits, cable tray, and raceways is excluded from this GMP, except as required by Authorities Having Jurisdiction.

82. All telecommunications cabling and equipment is excluded from this GMP and will be provided by the City of Scottsdale and the Giants.

### S. DIVISION 28: ELECTRONIC SAFETY AND SECURITY

83. Fire alarm, security, and CCTV is excluded from this GMP. This will be included in a future GMP.

### T. DIVISION 31: EARTHWORK

84. No earth retention shoring is anticipated as part of this GMP. Shoring is included for the existing elevator and basement walls and decking.

85. Re-support of three existing netting poles at the practice field is included. It is anticipated that over-excavation for Clubhouse footings may encroach on the netting pole footings due to the close proximity of the poles.

### U. DIVISION 32: EXTERIOR IMPROVEMENTS

#### 86. Landscaping

a. Tree salvage is excluded in all Phases. This will be completed by City of Scottsdale prior to the start of construction.

b. Salvage and reinstallation of the existing irrigation controller is included in this GMP. Any repairs and modifications to the controller are excluded.

c. Temporary irrigation is included for the right field practice field, trees and shrubs along Osborn Rd and Drinkwater Blvd, and the Main Entry Plaza lawn. Battery operated timers to be provided by the City of Scottsdale. Existing fire hydrants to be used for water supply of temporary irrigation systems.

d. Verification of the existing tree drip system on Drinkwater Blvd is included. Repairs and modifications to the existing drip system are excluded.

#### 87. Site Concrete

a. An equivalent concrete product containing integral colored concrete with exposed sand finish, and added aggregates, as needed, will be provided for site concrete in lieu of Actacrete.

---

## CLARIFICATIONS AND ASSUMPTIONS

88. No running track material or turf is included in this GMP on the patio to the east of the Clubhouse building. This area is assumed to be concrete hardscape.
89. Traffic signals, street lights, and signage work is excluded from this GMP.
90. Exterior improvements associated with the new Broadcast Truck docking station are excluded from this GMP. These will be included in the Phase 2 GMP.

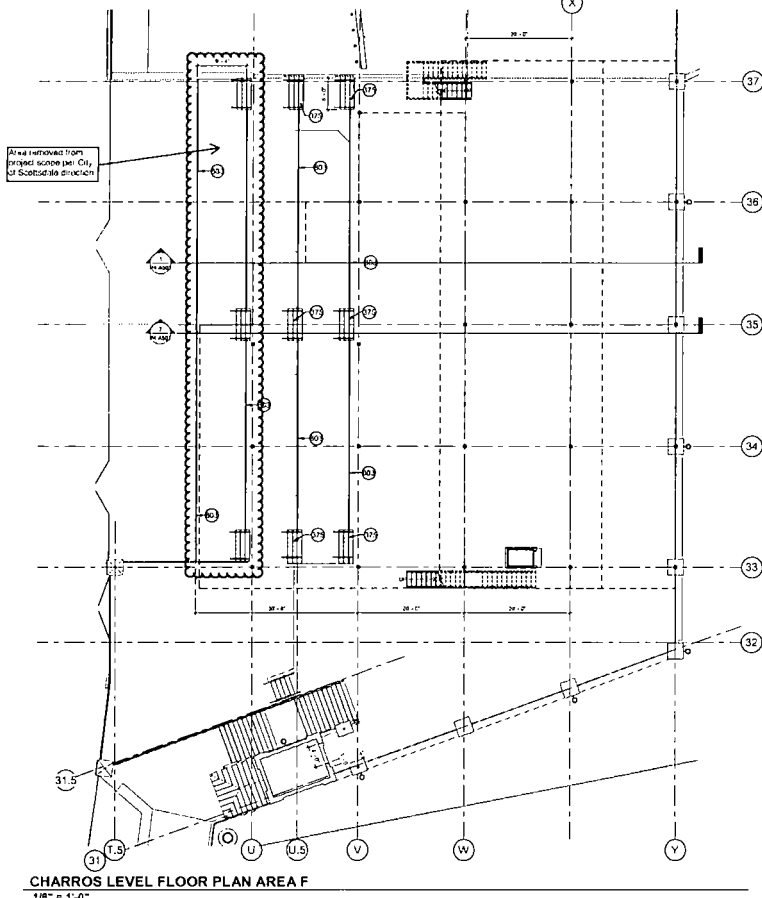
### V. DIVISION 33: SITE UTILITIES

91. Removal and re-locating the existing 2" irrigation water meter and backflow preventer is included in this GMP. The new tap fee is excluded from this GMP and will be paid for by the City of Scottsdale out of their Soft Cost Allowance.
92. The 2" lateral for the existing irrigation line will be capped at the street main, in lieu of at the curb.
93. Meter fees are excluded from this GMP and will be paid for by the City of Scottsdale out of the Soft Cost Allowance.
94. The attached preliminary SW Gas design is included in this GMP. This includes the trenching and installation of the 4" PE sleeve, only. Any changes in the SW Gas installation due to SW Gas design modifications is excluded.

END OF DOCUMENT

GMP 1

Charros Lodge Scope Removal Clarification



KEYNOTE LEGEND

- 375 CAST-IN PLACE STAIR
- 403 42" TALL METAL GUARDRAIL SYSTEM - FT-1



POPULOUS

NOT FOR CONSTRUCTION

City of Scottsdale  
 Stadium Multi-Use Event Center  
 Package 4  
 7408 E. Cabern Rd, Scottsdale, AZ 85251

REVISIONS	
No.	Description



CHARROS LEVEL FLOOR PLAN AREA F

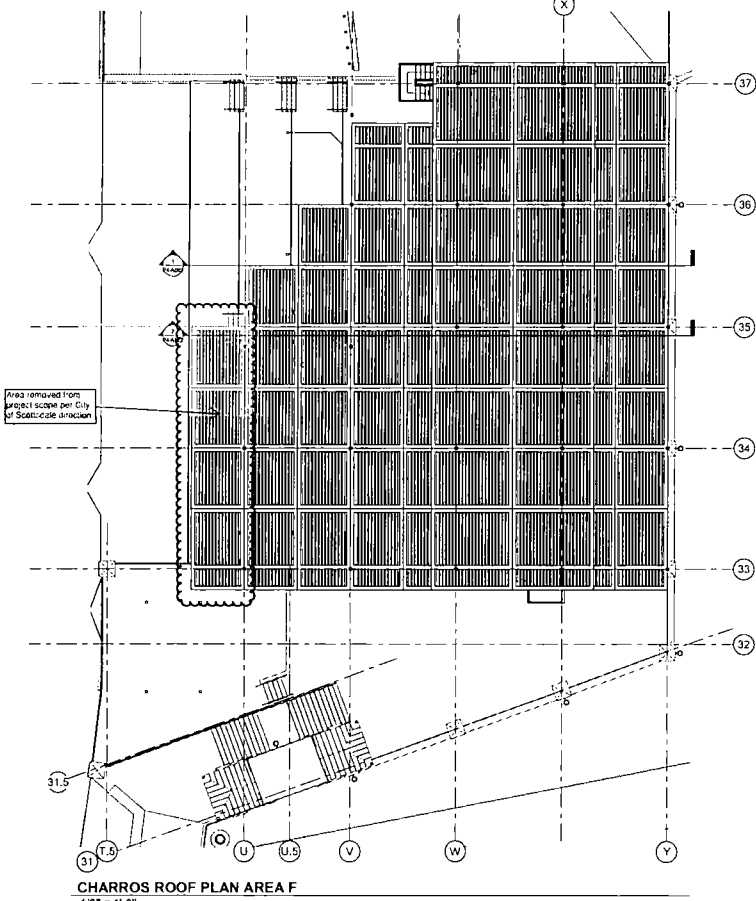
P4-A200  
 0115219 1021 00

1/15/2019 5:12:21 PM

1/22/2019



GMP 1  
 Charros Lodge Scope Removal Clarification



CHARROS ROOF PLAN AREA F  
 1/8" = 1'-0"

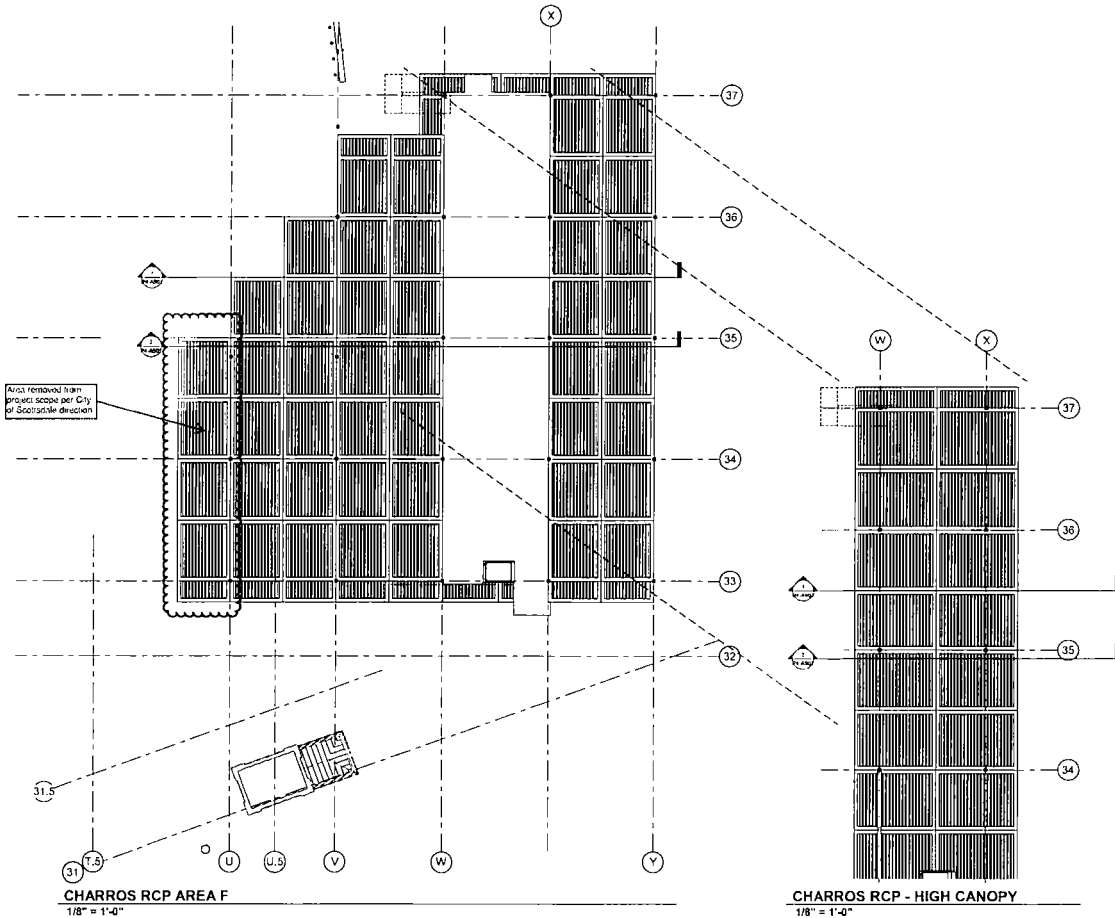
1/15/2019 5:13:04 PM

1/22/2019

<b>POPULOUS</b>						
NOT FOR CONSTRUCTION						
City of Scottsdale <b>Stadium Multi-Use Event Center</b> Package 4 7408 E Osborn Rd, Scottsdale, AZ 85251						
REVISIONS						
PROGRESS SET						
CHARROS ROOF PLAN AREA F						
<b>P4-A220</b>						
<table border="1"> <tr> <td>DATE</td> <td>AUTHOR</td> <td>EXAMINER</td> </tr> <tr> <td>01/15/19</td> <td></td> <td>10/1/00</td> </tr> </table>	DATE	AUTHOR	EXAMINER	01/15/19		10/1/00
DATE	AUTHOR	EXAMINER				
01/15/19		10/1/00				

GMP 1

Charros Lodge Scope Removal Clarification



Area removed from project scope per City of Scottsdale description

CHARROS RCP AREA F  
 1/8" = 1'-0"

CHARROS RCP - HIGH CANOPY  
 1/8" = 1'-0"

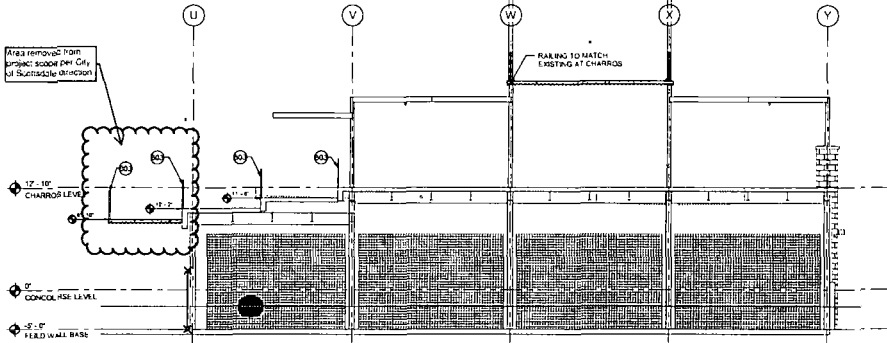
1/15/2019 5:13:24 PM

1/22/2019

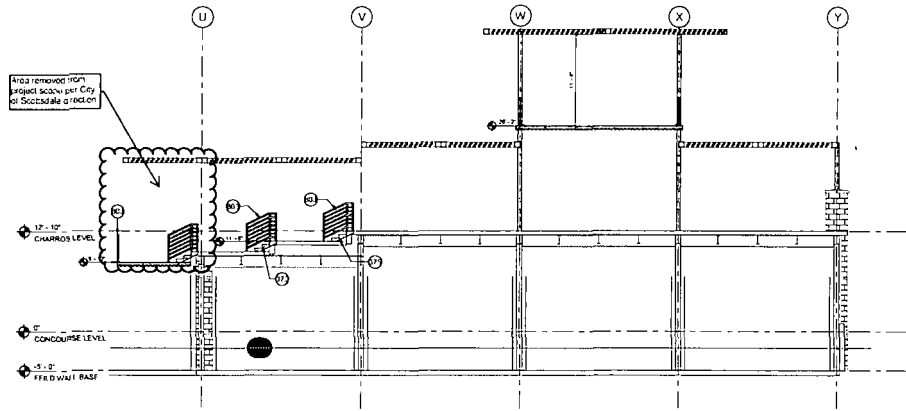
<p>POPULOUS</p>	
<p>NOT FOR CONSTRUCTION</p>	
<p>City of Scottsdale          Stadium Multi-Use Event Center          Package 4          7408 E Osborn Rd, Scottsdale, AZ 85251</p>	
REV'S	DATE
<p>PROGRESS SET</p>	
<p>CHARROS RCP AREA F</p>	
<p>P4-A300</p>	
DATE	BY
01/22/19	1971.00

GMP 1

Charros Lodge Scope Removal Clarification



1 CHARROS - SECTION @ DRINK RAILS  
 3/16" = 1'-0"



2 CHARROS - SECTION @ STAIRS  
 3/16" = 1'-0"

KEYNOTE LEGEND

- 175 CASE IN-PLACE STAIR
- 183 42" TALL METAL GUARDRAIL SYSTEM - PT-1

**DWL**  
ARCHITECTS-PLANNERS

**POPULOUS**

NOT FOR CONSTRUCTION

City of Scottsdale  
 Stadium Multi-Use Event Center  
 Package 4  
 7408 E Osborn Rd, Scottsdale, AZ 85251

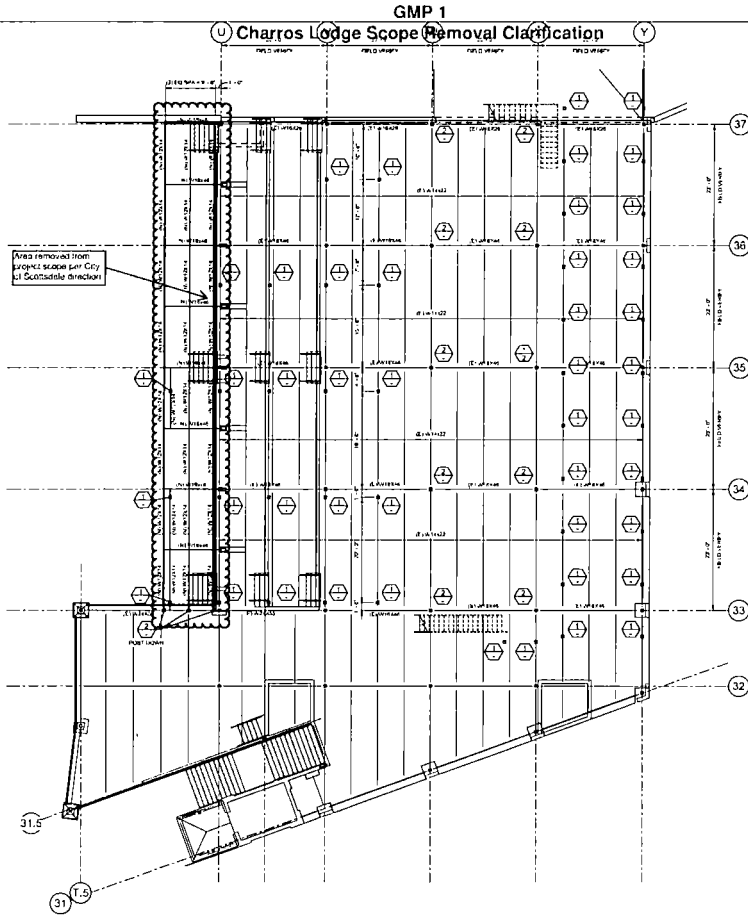
REVISIONS	
No.	Date

PROGRESS SET

CHARROS

P4-A501

DATE PLOTTED	SCALE	DRAWN BY	CHECKED BY



FLOOR FRAMING PLAN NOTES:

- SEE SHEET P4-S221.3 FOR:
  - GRIDLINE INDICATIONS AND BIPOLAR FLOOR METAL DECK WEAVING PATTERN
  - TYPICAL FLOOR OPENING DETAIL
  - SCHEMATIC
  - CONCRETE COLUMN SECTION
  - RC M & COLUMN CONNECTIONS
- ADD: REFER TO BOTTOM OF EACH ELEVATION
  - GRIDLINE COLUMN DIA. SEE SCHEDULE ON SHEET 3115
  - EXHIBIT FOOTING SIZE - SEE SCHEDULE ON SHEET 3115
- SCHEMATIC COLUMN - SEE SHEET 3107 FOR DETAIL
- CONTRACTOR TO VERIFY AND VERIFY ALL DIMENSIONS AND HEIGHTS OF ALL STRUCTURAL MEMBERS AGAINST THE APPROVED PERMITS. CONTRACTOR AND SUBCONTRACTORS ARE RESPONSIBLE FOR CONSTRUCTION.
- REFER TO PERMITS FOR ALL DIMENSIONS AND HEIGHTS AND DIMENSIONS NOT NOTED.
- SCHEMATIC MEMBER SIZE, SPACING AND CONNECTIONS SHALL BE DETERMINED BY THE CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND HEIGHTS OF ALL STRUCTURAL MEMBERS AGAINST THE APPROVED PERMITS. CONTRACTOR AND SUBCONTRACTORS ARE RESPONSIBLE FOR CONSTRUCTION.
- REFER TO PERMITS FOR ALL DIMENSIONS AND HEIGHTS AND DIMENSIONS NOT NOTED.

CHARROS - (E) FLOOR FRAMING PLAN - AREA F

1/8" = 1'-0"



1/22/2019



POPULOUS

NOT FOR CONSTRUCTION

City of Scottsdale  
 Stadium Multi-Use Event Center  
 Package 4  
 7408 E Osborn Rd, Scottsdale, AZ 85251

REVISIONS	
No.	Description
1	Design Development

CHARROS - (E) FLOOR FRAMING PLAN - AREA F

7443  
 V. SCHWAN & ASSOCIATES  
 CONSULTING ENGINEERS & ARCHITECTS  
 10011 E. Thompson Road, Suite 100  
 Scottsdale, Arizona 85258  
 Phone: (480) 344-1111  
 Fax: (480) 344-1112

P4-S221	
DATE	NO. 1
1/22/2019	1/22/2019

1/27/2019 8:07:39 PM



Scottsdale Stadium Multi-Use Event Center Furniture, Fixtures & Equipment (FF&E) Responsibility Matrix		Budget	Prepare Design & Specifications	Purchase	Install	Comments
<b>Technology</b>						
<b>Teledata</b>						
Cabling Infrastructure (conduits/raceway)	In base budget	DWL/Populous	Hunt	Hunt		
IT Cabling	In FFE Budget	DWL/Populous	COS	COS		
Equipment / Devices / Terminations	In FFE Budget	DWL/Populous	COS	COS		
<b>Network Routers &amp; Switches</b>						
Head End Equipment (Network Switches and devices)	In FFE Budget	COS/Giants	COS/Giants	COS/Giants	Will have 2 networks - COS & Giants	
<b>Audio Visual (Clubhouse &amp; Press Box)</b>						
Cabling Infrastructure (conduits/raceway)	In base budget	DWL/Populous	Hunt	Hunt		
AV Cabling	In FFE Budget	DWL/Populous	COS	COS		
Equipment (TVs) / Devices / Terminations	In FFE Budget	Giants/COS	Giants/COS	Hunt		
Distributed TV System Layout	In FFE Budget	Giants	Giants	Giants		
Distributed TV System Infrastructure (conduits/raceway)	In FFE Budget	DWL/Populous	Giants	Giants		
Distributed TV System Cabling (Cat6 cable)	In FFE Budget	DWL/Populous	Giants	Giants		
<b>Sound System</b>						
Stadium Sound System	In FFE Budget	DWL/Populous	COS	COS	Includes site power/electrical	
Sound System at Phase 1/Phase 2 Building additions (ancillary speakers, weight room sound, PA system at Clubhouse)	In FFE Budget	DWL/Populous	COS	COS	PA system may not be required in the Clubhouse	
Cabling Infrastructure (conduits/raceway)	In base budget	DWL/Populous	Hunt	Hunt		
Sound System Cabling	In FFE Budget	DWL/Populous	COS	COS		
Equipment (Speakers, amplifiers, signal processing and control equipment) / Devices / Terminations	In FFE Budget	DWL/Populous	COS	COS		
Programming / Testing / Training	In FFE Budget	DWL/Populous	COS	COS		
<b>Security System - CCTV Surveillance</b>						
Infrastructure (conduits/raceway)	In base budget	DWL/Populous	Hunt	Hunt		
Power for CCTV, if required	In base budget	DWL/Populous	Hunt	Hunt		
CCTV Cabling (also includes power distribution)	In FFE Budget	DWL/Populous	COS	COS		
Equipment (cameras, recorders, video monitors, etc.) / Devices / Terminations	In FFE Budget	FSEC & DWL/Populous	COS	COS/FSEC	FSEC will specify cameras, provide parameters of the design and install the cabling, terminations & cameras. LSW to design the rough-in and any power requirements (if needed). Hunt to install conduits/pathway and power (if required)	
System Licensing/Programming	In FFE Budget	FSEC & DWL/Populous	COS/FSEC	COS/FSEC		
Campus upgrades for CCTV (Includes Electrical Power, Security Cabling and Power)	In base budget	DWL/Populous	COS	COS		
<b>Security System - Access Control</b>						
Infrastructure (conduits/raceway)	In base budget	DWL/Populous	Hunt	Hunt		
Cabling (power)	In FFE Budget	DWL/Populous	COS vendor	COS vendor		
Terminations (power)	In FFE Budget	DWL/Populous	COS vendor	COS vendor		
Data Cabling (low voltage)	In FFE Budget	DWL/Populous	COS vendor	COS vendor		
Terminations (low voltage)	In FFE Budget	DWL/Populous	COS vendor	COS vendor		
Equipment (Door Contacts, Card Readers, etc.) / Devices / Terminations	In FFE Budget	FSEC & DWL/Populous	COS	COS/FSEC	FSEC will design the access control equipment and install the cabling & equipment. LSW to design the rough-in and Hunt to install conduits/pathway.	
System Licensing/Programming	In FFE Budget	FSEC & DWL/Populous	COS/FSEC	COS/FSEC	Will need to coordinate door schedule with COS vendor to confirm who provides what hardware	
<b>Broadcast System</b>						
Infrastructure (conduits/raceway)	In base budget	DWL/Populous	Hunt	Hunt		
Broadcast Cabling	Not included	DWL/Populous	by Vendor	by vendor		
Equipment / Devices / Terminations	Not included	DWL/Populous	by Vendor	by vendor		

Scottsdale Stadium Multi-Use Event Center Furniture, Fixtures & Equipment (FF&E) Responsibility Matrix					
	Budget	Prepare Design & Specifications	Purchase	Install	Comments
System Lincensing/Programming	Not included	DWL/Populous	by Vendor	by vendor	
<b>Communications</b>					
Telephone System Infrastructure (conduits/raceway)	in base budget	DWL/Populous	Hunt	Hunt	
Telephone System - wiring, installation, terminations, testing, ports	Incl. in teledata	DWL/Populous	COS	COS	COS to help coordinate drop locations for data
Telephones	Incl. in teledata	DWL/Populous	COS	COS	
Ticketing System	Not included	Giants	Giants	Giants	
ATMs	Not included	N/A	N/A	N/A	If COS would like to relocate existing ATMs then LSW could locate conduit and wiring (power & data) on the project documents and Hunt could relocate. However, this currently is not in the budget.
UPS / Battery Back-up System (Rack mounted unit in IDF's)	in base budget	DWL/Populous	Hunt	Hunt	
<b>Video Production System</b>					
in Game Cameras	Not included	Giants	Giants	Giants	
Production Equipment	Not included	Giants	Giants	Giants	
Video Coaching System - Infrastructure (conduit)	in base budget	DWL/Populous/Giants	Hunt	Hunt	
Video Coaching System Equipment	in FFE Budget	Giants	Giants	Giants	
Audio/Video Equipment - Infrastructure (conduit)	in base budget	DWL/Populous/Giants/COS	Hunt	Hunt	Giants & COS to coordinate locations of equipment and data drops with LSW
Audio/Video Equipment - power	in FFE Budget	DWL/Populous	Hunt	Hunt	
Audio/Video Equipment - data	in FFE Budget	DWL/Populous	Giants/COS	Giants/COS	
Audio/Video Equipment - Projectors, screens, loudspeakers, microphones, etc.	in FFE Budget	Giants/COS	Giants/COS	Giants/COS	No portable equipment
<b>DAS (Distributed Antenna System)</b>					
Infrastructure (conduits/raceway)	in base budget	DWL/Populous	Hunt	Hunt	COS to provide locations of where future DAS devices will be located to run conduit
DAS Cabling Equipment / Devices / Terminations	in FFE Budget	DWL/Populous	COS	COS	Need to consider for the Clubhouse and will potentially address for future in existing areas
<b>WiFi</b>					
Wireless Access Points (WAPs)	in FFE Budget	DWL/Populous/Giants/COS	COS/Giants	COS/Giants	Includes power
Infrastructure (conduits/raceway)	in base budget	DWL/Populous	Hunt	Hunt	
WiFi Cabling	in FFE Budget	DWL/Populous	COS/Giants	COS/Giants	
Server Racks	in FFE Budget	DWL/Populous	COS/Giants	COS/Giants	
<b>POS (Point of Sale) System</b>					
POS - Infrastructure (conduits/raceways)	in base budget	DWL/Populous	Hunt	Hunt	
POS - cabling (electric)	in base budget	DWL/Populous	Hunt	Hunt	
POS - cabling (data)	in base budget	DWL/Populous	COS	COS	
POS System Equipment	Not included	Concessionaire	Concessionaire	Concessionaire	Any new POS equipment and hardware to be provided by Concessionaire
POS Hardware	Not included	Concessionaire	Concessionaire	Concessionaire	Any new POS equipment and hardware to be provided by Concessionaire
<b>Fire Alarm System</b>					
Cabling Infrastructure (conduits/raceway)	in base budget	DWL/Populous	Hunt	Hunt	
Cabling	in base budget	DWL/Populous	Hunt	Hunt	
Equipment / Devices / Terminations	in base budget	DWL/Populous	Hunt	Hunt	
<b>Lighting Control</b>					
Cabling Infrastructure (conduits/raceway)	in base budget	DWL/Populous	Hunt	Hunt	
Cabling	in base budget	DWL/Populous	Hunt	Hunt	
Equipment / Devices / Terminations	in base budget	DWL/Populous	Hunt	Hunt	

Scottsdale Stadium Multi-Use Event Center Furniture, Fixtures & Equipment (FF&E) Responsibility Matrix		Budget	Prepare Design & Specifications	Purchase	Install	Comments
<b>Building Automation System (EMS System)</b>						
Cabling Infrastructure (conduits/raceway)	In base budget	DWL/Populous	Hunt	Hunt		
Cabling	In base budget	DWL/Populous	Hunt	Hunt		
Equipment / Devices / Terminations	In base budget	DWL/Populous	Hunt	Hunt		
<b>Employee Time Clock - N/A</b>						
Cabling Infrastructure (conduits/raceway)	Not included	N/A	N/A	N/A		
Cabling	Not included	N/A	N/A	N/A		
Equipment / Devices / Terminations	Not included	N/A	N/A	N/A		
<b>Equipment</b>						
<b>Laundry Equipment</b>						
Washers & Dryers	In base budget	Giants	Hunt	Hunt		
Infrastructure for Washers & Dryers (water, drains, electric, gas, etc.)	In base budget	DWL/Populous	Hunt	Hunt		
Laundry Carts	Not included	N/A	N/A	N/A		
Metal Shelving	Not included	N/A	N/A	N/A		
Chemicals / Cleaning Supplies	Not included	COS Vendor	COS Vendor	COS Vendor		
<b>Portable Concessions</b>						
Infrastructure for concourse power & data (conduits)	In base budget	DWL/Populous	Hunt	Hunt		
Cabling for power	In base budget	DWL/Populous	Hunt	Hunt		
Cabling for data	In base budget	DWL/Populous	COS	COS		
Portable Concession units	Not included	Concessionaire	Concessionaire	Concessionaire		to be purchased by concessionaire
<b>Food Service Equipment (Clubhouse Main Kitchen, Clubhouse Upper Level Kitchen, Gate A Kitchen, Press Tower Kitchen)</b>						
MEP Infrastructure	In base budget	DWL/Populous	Hunt	Hunt		
Final Connections	In base budget	DWL/Populous	Hunt	Hunt		
Food Service Equipment	In base budget	DWL/Populous	Hunt	Hunt		
Small Appliances (outside of the main kitchen)	In base budget	DWL/Populous	Hunt	Hunt		
Kitchen dishware/smallware/portable carts	Not included	Concessionaire	Concessionaire	Concessionaire		If desired, will be provided by concessionaire
<b>Security</b>						
Metal Detectors	Not included	N/A	N/A	N/A		COS will continue to use existing battery powered units
Infrastructure for Metal Detectors (conduit, power, data)	Not included	N/A	N/A	N/A		Current magnetometers are battery powered and charged overnight
Infrastructure for any wand detectors, 2 way radioschargers, & safes	In base budget	DWL/Populous	Hunt	Hunt		
Wand Detectors - Not included	Not included	N/A	N/A	N/A		
2 way Radios / Chargers - Not included	Not included	N/A	N/A	N/A		
Safes - Not Included	Not included	N/A	N/A	N/A		
<b>Trainer Equipment</b>						
Hydrotherapy Tubs	In FFE Budget	Giants	Giants	Hunt		Budget assumed for (1) large hydrotherapy pool, (2) plunge pools. Existing stainless steel extremity pools will be moved into the new building.
Plunge pool		Giants	Giants	Hunt		
Infrastructure for hydrotherapy tubs and plunge pool (structure, electrical, plumbing, etc.)	In base budget	DWL/Populous	Hunt	Hunt		
Training Room Equipment (ice makers, etc.)	In FFE Budget	Giants	Giants	Giants		Giants to provide a list of desired equipment. Is it possible to re-use existing equipment? Giants to look at current inventory to verify if this would take away equipment from fall league



Scottsdale Stadium Multi-Use Event Center Furniture, Fixtures & Equipment (FF&E) Responsibility Matrix	Budget	Prepare Design & Specifications	Purchase	Install	Comments
Infrastructure for Training Room Equipment	In base budget	DWL/Populous	Hunt	Hunt	
<b>Weight Room Equipment</b>					
Training Equipment, Cardio equipment, etc.	In FFE Budget	Giants	Giants	Giants	
Weights	In FFE Budget	Giants	Giants	Giants	
Mats	In FFE Budget	Giants	Giants	Giants	
<b>Sports Netting and Wall Padding - N/A</b>					
Pedestrian Safety Netting at Practice Fields	Not included	N/A	N/A	N/A	
Wall Padding	Not included	N/A	N/A	N/A	
<b>Material Handling Equipment - N/A</b>					
Small pallet carts/jacks	Not included	N/A	N/A	N/A	
<b>Merchandise Equipment - N/A</b>					
Retail Store Displays	Not included	N/A	N/A	N/A	
Portable Carts	Not included	N/A	N/A	N/A	
Storage Shelving	Not included	N/A	N/A	N/A	
Branding Signage	Not included	N/A	N/A	N/A	
<b>Game Equipment - N/A</b>					
Batting Tunnel Nets	Not included	N/A	N/A	N/A	
Batting Tunnel Mats	Not included	N/A	N/A	N/A	
Batting Tunnel Equipment	Not included	N/A	N/A	N/A	
Pitching & Other Screens	Not included	N/A	N/A	N/A	
Bases, Homeplate, Pitching rubbers	Not included	N/A	N/A	N/A	
Batting Cage	Not included	N/A	N/A	N/A	
Tarp	Not included	N/A	N/A	N/A	
<b>Parking Equipment - Barriers, Cones, etc. - N/A</b>					
Barriers	Not included	N/A	N/A	N/A	
Cones	Not included	N/A	N/A	N/A	
<b>Administrative Equipment - N/A</b>					
Personal Computers w/ keyboards	Not included	N/A	N/A	N/A	
Copiers, Printers, Fax machines	Not included	N/A	N/A	N/A	
Power Strips	Not included	N/A	N/A	N/A	
Shredders	Not included	N/A	N/A	N/A	
<b>Production Equipment - N/A</b>					
Portable Video Projectors	Not included	N/A	N/A	N/A	
Portable Sound System	Not included	N/A	N/A	N/A	
Portable Projector Screens	Not included	N/A	N/A	N/A	
Podium	Not included	N/A	N/A	N/A	
<b>Safety/First Aid Equipment - N/A</b>					
Wheel Chairs	Not included	N/A	N/A	N/A	
Stretcher, Back Boards, Neck Brace, etc.	Not included	N/A	N/A	N/A	
Medical Supplies	Not included	N/A	N/A	N/A	
Water Coolers	Not included	N/A	N/A	N/A	
Privacy Curtain	Not included	N/A	N/A	N/A	
Medical Cart	Not included	N/A	N/A	N/A	
<b>Janitorial Equipment - N/A</b>					
Cleaning Supplies	Not included	N/A	N/A	N/A	
Toilet Room Supplies	Not included	N/A	N/A	N/A	
Cleaning Tools - Mops, brooms, etc.	Not included	N/A	N/A	N/A	
Walk off Mats	Not included	N/A	N/A	N/A	
Cleaning Equipment	Not included	N/A	N/A	N/A	

Scottsdale Stadium Multi-Use Event Center Furniture, Fixtures & Equipment (FF&E) Responsibility Matrix					
	Budget	Prepare Design & Specifications	Purchase	Install	Comments
<b>Building Maintenance Equipment - N/A</b>					
Riding Floor Scrubbers	Not included	N/A	N/A	N/A	
Small Tools: brooms, squeegees, extension cords, mops	Not included	N/A	N/A	N/A	
Misc. Material and stock: cleaning agents, trash bags, light bulbs, etc.	Not included	N/A	N/A	N/A	
<b>Field Maintenance Equipment - N/A</b>					
Mower / Tractor	Not included	N/A	N/A	N/A	
Spray Unit	Not included	N/A	N/A	N/A	
Aerator, top dresser, barrel roller, edger	Not included	N/A	N/A	N/A	
Utility vehicle	Not included	N/A	N/A	N/A	
Small tools: shovels, hammers, wrench set, tape measure, etc.	Not included	N/A	N/A	N/A	
<b>Furnishings</b>					
<b>Fixed Stadium Seating</b>					
Fixed Stadium Seating	in base budget	DWL/Populous	Hunt	Hunt	
Bleachers	in base budget	DWL/Populous	Hunt	Hunt	
<b>Furnishings</b>					
Site Furniture (picnic tables, chairs, etc.)	in FFE Budget	COS/Giants	COS/Giants	COS/Giants	
Benches	in FFE Budget	COS/Giants	COS/Giants	COS/Giants	
Trash Cans	in FFE Budget	COS/Giants	COS/Giants	COS/Giants	
Office Furniture (Desk, Tables, Chairs, Workstations)	in FFE Budget	COS/Giants	COS/Giants	COS/Giants	
<b>Lockers</b>					
Clubhouse lockers	in base budget	DWL/Populous	Hunt	Hunt	
Staff lockers	in base budget	DWL/Populous	Hunt	Hunt	
<b>Window Coverings</b>					
Clubhouse window coverings	in base budget	DWL/Populous	Hunt	Hunt	
Press Tower window coverings	in base budget	DWL/Populous	Hunt	Hunt	
<b>Signage &amp; Branding</b>					
Code signage	in base budget	DWL/Populous	Hunt	Hunt	
Ancillary signage	in FFE Budget	COS/Giants	COS/Giants	COS/Giants	
Wayfinding Signage	in FFE Budget	COS/Giants	COS/Giants	COS/Giants	
Directories	in FFE Budget	COS/Giants	COS/Giants	COS/Giants	
Banners / Graphics	in FFE Budget	COS/Giants	COS/Giants	COS/Giants	
Naming Rights Signage - TBD	Not Included	COS/Naming Rights Group	COS/Naming Rights Group	COS/Naming Rights Group	Note that if additional structure is required for this signage that it is <u>not</u> included in the budget
Advertising Panels, Graphics and Signage - N/A	Not included	N/A	N/A	N/A	
<b>Storage</b>					
High Density Storage (Clubhouse)	in FFE Budget	DWL/Populous	Giants	Giants	DWL/Populous to coordinate with Giants

---

## ASSESSMENT AND CODE UPGRADE SUMMARY

The Design Build Management (DBM) Team has completed assessments of the existing conditions of the Scottsdale Stadium project. A full report of these assessments, dated 9/10/2018, is provided under the Supplemental Information in section 4 of this GMP.

Based on the review of the assessment items between the DBM team and the City of Scottsdale, the items listed below and included on the attachments will be addressed in this project. Note that these assessment and code upgrade items will be incorporated throughout the various Phase 1 drawing packages (P1, P2, P3, P4) and the Phase 2 drawing package (P5). The costs for the assessment items identified as incorporated in drawing packages P1 and P2 are included in this GMP. Costs for work in drawing packages P3, P4, and P5 will be included in future GMPs.

### ITEM 1 - EXISTING FIRE ALARM UPGRADES

The fire alarm system will be replaced throughout the entire stadium. These upgrades will be incorporated in drawing packages P3, P4, and P5.

### ITEM 2 - UPGRADE TO EXISTING STADIUM SOUND SYSTEM

The main seating bowl sound system will be replaced with a distributed bowl audio system. This upgrade will be incorporated in drawing package P5.

### ITEM 3 - MEP ASSESSMENT IMPROVEMENTS

The mechanical, electrical, and plumbing assessments were reviewed in the Design Coordination Meeting on 9/20/2018. The results of the assessments and this review with the project team have been summarized into three separate lists, which are included at the end of this section:

1. *MEP Assessment Summary – Design-Build Manager Responsibility:* Items that will be completed by the DBM team. These upgrades will be incorporated in drawing packages P3, P4, and P5.
2. *MEP Assessment Summary – City of Scottsdale Responsibility:* Items that will be completed by the City of Scottsdale through work orders or other means. No design or construction costs are included for these items.
3. *MEP Assessment Summary –* Items that will not be addressed at this time, but could be placed on the City of Scottsdale's future items to address. No design or construction costs are included for these items.

### ITEM 4 - UPGRADE FIRE PROTECTION SYSTEMS

The DBM team will not be providing any upgrades to the existing fire protection systems. The City of Scottsdale confirmed that the DBM Team shall not replace any rusted sprinkler piping and that this work will

---

## ASSESSMENT AND CODE UPGRADE SUMMARY

be completed by the City of Scottsdale. The City of Scottsdale also confirmed that they will address all deficiencies listed in the Firetrol report, dated 1/19/2018.

### ITEM 5 - ADD DAS (DISTRIBUTED ANTENNA SYSTEMS)

The DBM team will provide dedicated DAS conduits and junction boxes in the new Clubhouse. Additional design detail will need to be incorporated once the City of Scottsdale finalizes their design. These upgrades will be incorporated in drawing packages P3, P4, and P5.

### ITEM 6 - CAMPUS UPGRADES FOR CCTV

The DBM team will provide conduits and pathways for the CCTV surveillance system. FSEC will design, furnish, and install the CCTV system for the City of Scottsdale. These upgrades will be incorporated in drawing packages P3, P4, and P5.

### ITEM 7 - ADD ACCESS CONTROL AT STADIUM EXTERIOR DOORS

The DBM team will provide conduits and pathways for access control at the new Clubhouse, new City & Ticketing Offices, and the Revised Press Tower Level. FSEC will design, furnish, and install the access control system for the City of Scottsdale. These upgrades will be incorporated in drawing packages P3, P4, and P5.

### ITEM 8 - STORM LINE REPLACEMENT/RE-ROUTE FOR FIELD LIFT STATION

The existing storm line in the main baseball field will remain, but the storm line tying into the main field line running south into the practice field will be replaced. This upgrade is incorporated in drawing package P1.

### ITEM 9 - RENOVATE PRESS BOX ELEVATOR (FINISHES)

Per the attached email from Linda Zarrella with the City of Scottsdale there are currently no deficiencies with all four of the existing stadium elevators. They are functioning as intended and no service and/or upgrades are required. Any finish upgrades desired will be completed by the City of Scottsdale.

### ITEM 10 - REPLACE WASH STATION IN EXISTING CONCOURSE RESTROOMS (W/ADA UPGRADES)

Per the City of Scottsdale direction, no hand wash stations in the existing concourse restrooms shall be replaced at this time.

### ITEM 11 - EMS SYSTEM UPGRADE

The existing Building Automation Control System (BACS) will be replaced with a current City of Scottsdale approved system. This will not include modifications to the equipment itself, just new control points. These upgrades will be incorporated in drawing packages P3, P4, and P5.

---

## ASSESSMENT AND CODE UPGRADE SUMMARY

### ITEM 12 – POINT OF SALE (POS) SYSTEM UPGRADES

The DBM team will provide infrastructure and any electrical required for the existing POS systems throughout the stadium. Data cabling for this system will be provided by the City of Scottsdale. These upgrades will be incorporated in drawing packages P3, P4, and P5.

### ITEM 13 - STADIUM HANDRAIL REPLACEMENT

The attached drawings outline the railing issues from the assessment. A follow-up meeting with the City of Scottsdale took place on 9/27/18 to review the handrail issues in more detail. Further discussion is needed in Phase 2 to clarify what railing modifications are required/desired. These upgrades will be incorporated in drawing packages P4 and P5.

### ITEM 14 - ADA IMPROVEMENTS / UPGRADES

The ADA assessments were reviewed with the project team. Linda Zarella, from City of Scottsdale Facilities, identified which of these items will be updated by the Facilities group and which items will be updated by the DBM team. The results of this review have been summarized into three separate lists, which contain a summary of all of the ADA improvements that were identified during the site assessment. These lists are included at the end of this section:

1. *ADA Assessment Summary – Design-Build Manager Responsibility*, these are items that may need to be updated in this project and, if required, will be completed by the DBM. These upgrades will be incorporated in drawing packages P1 and P5.
2. *ADA Assessment Summary – City of Scottsdale Responsibility*, these are items that will be addressed by the City of Scottsdale Facilities group.
3. *ADA Assessment Summary – No Action Required*, these are items that do not need to be addressed because the areas that the ADA issue is noted in is either planned to be renovated or will be demolished OR because those areas won't be modified in this project at all.

### ITEM 15 - LOW VOLTAGE / IT UNDERGROUND INFRASTRUCTURE

A new technology ductbank will be routed around the stadium to incorporate (8) 4" conduits for IT cabling for the City of Scottsdale, Giants, AV, and future use. The attached marked up sketch, which was included in the SD design, was used as the basis of design for the low voltage and IT design, but has been updated since. These upgrades will be incorporated in drawing packages P1, P2, and P5.

### ITEM 16 - CONCOURSE REPLACEMENT

The concourse pavement will be replacement throughout due to Item 15 – Low Voltage/IT Underground Infrastructure Upgrades and Item 14 – ADA Improvements/Upgrades. These upgrades will be incorporated in drawing packages P1 and P5.

---

## ASSESSMENT AND CODE UPGRADE SUMMARY

### ITEM 17 - STADIUM REPAINTING & RECAULKING

There will be some repainting and re-caulking required throughout the stadium. This specific scope will need to be further refined with the Phase 2 design. These upgrades will be incorporated in drawing package P5.

END OF DOCUMENT

Item 3: MEP Assessment Summary - Design-Build Manager Responsibility									
Drawing Package	Item No.	Building	Room	Equipment	Description	Year Inst'd	Observed Condition	Est. Remaining Life (Years)	Comments
P1, P2, P5	E-095	ALL	ALL	APS Transformers	APS Transformers	UNKNOWN	Fair	Replace Immediately	It is recommended to ensure all APS transformers have appropriate access and clearances per APS standards, particularly in areas touched by new design, such as at the Center Field Restroom Building location.  Replace Center field service - Gate A or Left Field Scope
P1	E-086	ST	SE MECH YARD	EDB	DISTRIBUTION PANELBOARD	2005	Good	0 years	Mains Type - MLO. Mains are rated for 250A, fed from 200A breaker. It is anticipated that distribution panel EDB (ITEM NO. E-086) will be replaced for the new Clubhouse addition. Add Automatic transfer switch
P3, P4	E-099	Elevators	Elevators	Lighting and receptacle circuits	Lighting and receptacle circuits	UNKNOWN	Fair	0 years	Contractor is to verify that both elevator pits and elevator machine rooms have the required dedicated lighting and receptacle circuits, as per NEC 620. If lighting and receptacles are not dedicated in these areas, it is recommended that items are re-fed such that NEC 620 requirements are met, providing new breakers and wiring as needed.  Need to confirm if lighting and receptacles are on dedicated circuits. LSW also needs access to the elevator pit. Provide code section to the COS for review.  If elevators are not being modified then these items will not be addressed.
P3, P4	E-103	ALL	ALL	Lighting Controls	Lighting Controls	UNKNOWN	Fair	0 years	It is anticipated that all areas being remodeled shall be provided with lighting controls that allow the fixtures to dim and to shut off when the space is not occupied in order to comply with the IECC 2015 requirements. This would apply for Press Box. Ensure that Clubhouse & City Offices include this as well.
P4	E-102	ALL	ALL	Lighting Fixtures	Lighting Fixtures	UNKNOWN	Fair	1-5 years	It is anticipated that all lighting fixtures within areas being remodeled will be replaced with LED lighting fixtures. Press Box
P5	E-054	MA	RM 148	MCH1	PANELBOARD	1990	Fair	1-5 years	To be replaced
P5	E-055	MA	RM 148	MCL1	PANELBOARD	1991	Poor	1-5 years	Enclosure is rusted. To be replaced and re-fed to panelboard
P5	E-076	SB	VISITOR DUGOUT	SPECIAL EVENT PANEL 'SPE'	PANELBOARD	2000	Fair	1-5 years	Mains Type - MLO. To be replaced
P5	E-078	ST	LEFT FIELD RAMADA	RP	PANELBOARD	UNKNOWN	Poor	1-5 years	Manufacturer sticker showing voltage information was missing. Main circuit breaker is rated for 200A, fed from 150A breaker. This will be demoed as part of Phase 2.
P3, P4, P5	E-097	ALL	ALL	Short Circuit Current Ratings	Short Circuit Current Ratings	UNKNOWN	Fair	1-5 years	Where replacing and increasing size of equipment, short circuit current ratings of electrical equipment will need to be reevaluated in detail.
N/A	E-100	Elevators	Elevators	Shunt Trip Breaker	Shunt Trip Breaker	UNKNOWN	Fair	1-5 years	For any elevator which may get upgraded, it is recommended that the shunt trip breaker be replaced with a Fusible Elevator Power Module.
N/A	E-032	CL	HOME LAUNDRY ELEC	T1BL	TRANSFORMER	1991	Good	1-5 years	Fed from 1BH, feeds 1BL. Transformer T1BL (ITEM NO. E-032) is not 6" from the wall, as required and annotated in the UL label.  Need to verify with manufacturer if less than 6" is acceptable. Will not be replaced.
P4	E-042	CO	RM 118	1CSH2	TRANSFORMER	1991	Fair	1-5 years	Manufacturer is Westinghouse. Fed from CSH2, feeds CSL2. To be replaced
P5	E-053	LF	ELEC CLOSET	TRL2	TRANSFORMER	1991	Fair	1-5 years	Fed from MCH1, feeds RL2 and RL2A. To be replaced
P5	E-057	MA	RM 148	TMCL1	TRANSFORMER	1991	Fair	1-5 years	Fed from MCH1, feeds MCL1. To be replaced
P5	E-058	MA	RM 148	XFMR 2 (TSB)	TRANSFORMER	UNKNOWN	Poor	1-5 years	No nameplate, appears to feed 240/120V panelboard MCL-2. kVA rating is assumed. Replace unit

Item 3: MEP Assessment Summary - Design-Build Manager Responsibility									
Drawing Package	Item No.	Building	Room	Equipment	Description	Year Instl'd	Observed Condition	Est. Remaining Life (Years)	Comments
P4	E-067	SB	RM 106	TCSL4	TRANSFORMER	1991	Fair	1-5 years	Manufacturer is Westinghouse. Fed from CSH4, feeds CSL4. To be replaced
P4	M-258		Charros		Area Drain Piping			1-5 years	Rusting - replacing the existing drains
P5	M-259		Press Tower		Area Drain Piping			1-5 years	Rusting - replacing the existing drains
N/A	M-110	Concourse	Boiler Room	B-1	Boiler	2005	Adequate	1-5 years	Surface rust on gas piping for HVAC boiler. Boiler to remain.
P4	M-235	Press Level	Kitchen		Kitchen Sink	1991	Fair	1-5 years	Will be replaced.
P4	M-057	Clubhouse	Laundry		Laundry Sink	2005	Poor	5-10 years	Located very close to sump pump control panel. Could be a code issue. Relocate
P4	M-105	Concourse	Boiler Room		Natural Gas Piping	2005	Poor	5-10 years	Piping has surface rust.
P4	M-106	Concourse	Boiler Room		Piping Insulation	2005	Poor	N/A	Ripped insulation.
P4	M-233	Press Level		228	PH-7 Plenum Heater	1991	Adequate	N/A	Unit switched off. Deleted - remove
P4	M-107	Concourse	Boiler Room		Plumbing Fixtures	2005	Adequate	N/A	Floor sinks are leaking around side of floor sink.
P4	M-206	Press Level			Plumbing Fixtures	1991	Poor	N/A	Urinal FV leaking. Will be replaced.
P4	M-247	Press Level	Roof	P-1	Pump	1999	Poor	N/A	Fittings and connection points are leaking. Chilled water primary pump. Deleted
P4	M-248	Press Level	Roof	P-2	Pump	1999	Poor	N/A	Chilled water secondary pump. Pump casing is not insulated. Fittings are leaking. Deleted
P4	M-249	Press Level	Roof	P-3	Pump	1999	Adequate	N/A	Condenser water pump motor stamped year B/2012. Deleted
P4	M-108	Concourse	Boiler Room		Storage Tank	1991	Poor	N/A	Corrosion on supply piping. Tank to be replaced
P4	M-222	Press Level		204	Unit Heater	1991	Poor	N/A	Heater in Plenum. Unit is switched off. Remove w/TI
P4	M-109	Concourse	Boiler Room		Water Softener	2005	Poor	N/A	For lower level Clubhouse. 1 new softener system will service existing and new clubhouse
Future (not in current scope)	FS-001	Concessions	Center Field		Compartment sink doesn't have drainboards. Code requires drainboards on each end equal to the largest sink size			N/A	
Future (not in current scope)	FS-002	Concessions	Home Plate		No air curtain over service windows			N/A	Health Code issue - COS to verify if these need to be installed. Typical throughout concession areas
Future (not in current scope)	FS-003	Concessions	1st & 3rd Base		No air curtains over entry doors			N/A	Health Code issue - COS to verify if these need to be installed. Typical throughout concession areas
Future (not in current scope)	FS-004	Concessions	1st & 3rd Base		No exhaust hood over grills on front counter			N/A	
Future (not in current scope)	FS-005	Concessions	Home Plate Commissary		No exhaust hood over popcorn popper and oil can needs to be 6" off the floor			N/A	
Future (not in current scope)	FS-006	Concessions	Home Plate Commissary		No exhaust hood over steamer			N/A	
Future (not in current scope)	FS-007	Concessions	1st & 3rd Base		soda carbonators do not have stainless steel backflows			N/A	Health code issue



**Item 3: MEP Assessment Summary - City of Scottsdale Responsibility**

Item No.	Building	Room	Equipment	Description	Year Inst'd	Observed Condition	Est. Remaining Life (Years)	Comments
M-006	CF Restrooms	Concessions		Sink	2005	Very Poor	Replace Immediately	Sink labeled as broken and does not hold water. City Work Order
M-029	Charros	Exterior	CU-CL-02 SS-CL-06	Split HP	2005	Very Poor	Replace Immediately	Leaking oil on line set. Unit is locked out. City Work Order
M-028	Charros	Elevator Room	SS-CL-06	Split IU	2005	Very Poor	Replace Immediately	Room was warm. Line set is leaking oil at outdoor unit. Label is not legible. City Work Order
M-245	Press Level	Roof	CT-1	Cooling Tower	1999	Poor	0 years	deleted
M-042	Clubhouse	Dugout Restrooms		Exhaust Fan	1991	Poor	0 years	city work order
M-097	Concourse	3rd Base Womens	EF-2	Exhaust Fan	1991	Poor	0 years	city work order
M-182	Concourse	RR Conc Men's	EF-4	Exhaust Fan	1991	Poor	0 years	city work order
M-183	Concourse	RR Women's	EF-6	Exhaust Fan	1991	Poor	0 years	city work order
M-202	Maintenance	Roof		Exhaust Fan	1991	Poor	0 years	city work order
M-203	Maintenance	Roof		Exhaust Fan	1991	Poor	0 years	city work order
E-089	ALL	ALL	Electrical Device	Electrical Device	UNKNOWN	Poor	1-5 years	Replace any electrical device (phone jacks, receptacle outlets, etc.) with exposed wiring or missing cover plates. City Work Order
E-090	ALL	ALL	Exposed electrical boxes	Exposed electrical boxes	UNKNOWN	Poor	1-5 years	Provide blank cover plates for any empty and exposed electrical boxes without them. City Work Order
E-091	Dugout	Dugout	Lighting	Lighting	UNKNOWN	Poor	1-5 years	Provide a wire nut or cover to the exposed 120V wiring for Dugout lighting. City Work Order
E-101	ALL	ALL	Lighting Fixtures	Lighting Fixtures	UNKNOWN	Fair	1-5 years	It is anticipated that the existing lighting fixtures within areas with minimal alterations will remain; however it is recommended to clean and re-lamp the fixtures. City Work Order.
E-045	CO	RM 119	CSH3	PANELBOARD	1991	Good	1-5 years	Mains Type - MLO. Panel was blocked by concessions equipment. City Work Order
E-088	ALL	ALL	Receptacles	Receptacles	UNKNOWN	Poor	1-5 years	For all exterior receptacles whose covers are missing or damaged the covers need to be replaced with waterproof, in-use covers. In addition, it is required to replace any non-GFI exterior receptacle with a GFI version. City Work Order
E-092	ALL	ALL	Receptacles	Receptacles	UNKNOWN	Poor	1-5 years	At all locations where drinking fountains are served from receptacles, the receptacle needs to be GFI protected. If the receptacle is not GFI protected, it is required that the receptacle be replaced with a GFI version. City Work Order
E-093	ALL	ALL	Receptacles	Receptacles	UNKNOWN	Poor	1-5 years	It is required that any electrical receptacle within 6ft of a sink or drinking fountain be GFI protected. In such locations where receptacles are not GFI protected, it is required that the receptacle be replaced with its GFI equivalent. City Work Order
M-117	Concourse	Concessions		Air Curtain	1991	Adequate	1-5 years	Typical of 2
M-118	Concourse	Concessions		Air Curtain	1991	Adequate	1-5 years	Typical of 4
M-119	Concourse	Concessions		Air Curtain	1991	Adequate	1-5 years	Typical of 5
M-120	Concourse	Concessions		Air Curtain	1991	Adequate	1-5 years	Typical of 1
M-244	Press Level	Roof	CH-1	Chiller	1999	Adequate	1-5 years	Replaced
M-090	Concourse		EF-10	Exhaust Fan	1991	Poor	1-5 years	city work order
M-237	Press Level	Roof		Exhaust Fan	1991	Poor	1-5 years	No visible label. Top cover missing and laying 30ft away from fan leaving motor exposed. City Work Order
M-195	Maintenance	Exterior	HP-1	Packaged Heat Pump	2008	Adequate	1-5 years	Thermostat is broken and hanging from backbox. City Work Order
M-005	CF Restrooms	Concessions		Air Curtain	2005	Fair	5-10 years	

**Item 3: MEP Assessment Summary - City of Scottsdale Responsibility**

Item No.	Building	Room	Equipment	Description	Year Inst'd	Observed Condition	Est. Remaining Life (Years)	Comments
M-111	Concourse	Boiler Room	EF-CL-01	Exhaust Fan	2005	Poor	5-10 years	Ductwork vibrates excessively. Poor duct installation. City Work Order
M-113	Concourse	Boiler Room	MAU-4	MAU	2005	Adequate	5-10 years	Chilled water branch off of main is uninsulated and leaking condensation onto floor. City Work Order
M-177	Concourse	Maintenance Office	FC-102	Fan Coil	2014	Excellent	10-20 years	Thermostat cover is broken. Work Order
M-232	Press Level	228	FC-228	Fan Coil	2014	Adequate	10-20 years	Strainer is leaking. Water has stained the ceiling tile. City Work Order
								Clogged with leaves. Upper seating area scuppers into lower drains. City Work Order
M-250	Seating Bowl			Area Drains	1991	Adequate	N/A	Pipes are exposed - information is provided in the assessment
M-122	Concourse	Concessions		CO2 Tanks		Poor	N/A	Unsecured CO2 tanks. Large tank loosely chained to wire shelving. Work Order
M-048	Clubhouse	Home Base Concessions		Condensate Piping	1991	Very Poor	N/A	Condensate line not sloped properly. Line appears to have been moved to make room for ice maker water filter. Work Order
M-238	Press Level	Roof		Expansion Tank	1999	Fair	N/A	Removed
M-069	Clubhouse	Visitor Janitor's Clo		Fire Sprinkler Piping	1991	Poor	N/A	Sprinkler piping is leaking at fittings with visible surface rust. Work order
M-034	Clubhouse			Fire Sprinklers		Fair	N/A	Some escutcons missing. Work Order
M-093	Concourse	1st Base Concessi		Kitchen Hood		Dangerous	N/A	Exhaust ductwork not connected to hood exhaust connections. City Work Order
M-062	Clubhouse	Visitor's Laundry		Piping	1991	Poor	N/A	Vent piping is leaking City Work Order
M-025	Charros	Batting cages		Plumbing Fixtures	2005	Fair	N/A	Floor sink is Located under ice machine. Code issue. COS to verify if this is acceptable with the Health dept.
M-129	Concourse	Concessions		Plumbing Fixtures		Poor	N/A	Numerous floor sinks missing collector. City Work Order
M-194	Maintenance	Exterior		Plumbing Fixtures	1991	Fair	N/A	Dirt caps on eye wash are missing. Single cold water fixture. City Work Order
M-251	Seating Bowl			Trench drain	1991	Adequate	N/A	Clogged with debris. Located at bottom of seating bowl at left and right field.
M-253	Seating Bowl	Dugout		Trench drain	1991	Adequate	N/A	Drains covered with mats.
M-165	Concourse	Exterior		Water entrance	1991	Poor	N/A	Pipe stands not supporting domestic water piping. City Work Order
M-252	Seating Bowl			Water meters		Poor	N/A	Heavy corrosion on valve handles. Sizes are 1.5 inch, 1 in, and 1 in. For Irrigation City Work Order
M-054	Clubhouse	Laundry			2005	Very Poor	N/A	Fans suspended from domestic water piping. Floor sink leaking from boiler room above. No access to trench drain behind washers. Giants to remove fan from pipe

**Item 3: MEP Assessment Summary - No Action Required**

Item No.	Building	Room	Equipment	Description	Year Inst'd	Observed Condition	Est. Remaining Life (Years)	Comments
M-192	LF RR Building	Roof	EF-CL-07	Exhaust Fan	2005	Poor	0 years	Labels are not legible.
M-163	Concourse	Exterior		Split OU	1997	Poor	0 years	Wet line set at unit. Equipment not maintained by City of Scottsdale. (Verizon)
M-162	Concourse	Exterior		Split Outdoor Unit	1997	Poor	0 years	Equipment not maintained by City of Scottsdale. Verizon
M-017	CF Restrooms	Men's RR	UH-CL-3	Unit Heater	1992	Poor	0 years	Center field mens restroom. No year listed on labels. Appears to be original to unit installed in 1992.
M-095	Concourse	1st Base RR Men's	UH-CL-2	Unit Heater	1991	Poor	0 years	Outer 1st Base men's restroom. No year listed on unit. Appears to be original unit installed in 1992.
M-204	Other	Men's RR	UH-CL-4	Unit Heater	1992	Poor	0 years	Outer 1st base Men's restroom. No year listed on label. Appears to be original unit installed in 1992.
M-087	Concourse			Unit Heaters	1991	Adequate	0 years	Labels not visible.
E-075	SB	RM 109	NO NAME, FROM CH3 (ATS-CH3)	ATS	1991	Good	1-5 years	Manufacturer - Cummins. 70A/3P upstream breaker for normal power. 90A/3P upstream breaker on generator.
E-082	ST	SE MECH YARD	NO NAME, FROM SES-A-LEFT (ATS-SES-A-LEFT)	ATS	UNKNOWN	Good	1-5 years	Manufacturer is Cummins. 30A/3P upstream breaker for normal power. 30A/3P upstream breaker on generator.
E-084	ST	SE MECH YARD	NO NAME, FROM SES-B (ATS-SES-B)	ATS	2005	Good	1-5 years	Manufacturer is Kohler. 200A/3P upstream breaker for normal power. 200A/3P upstream breaker on generator.
E-096	ALL	ALL	Disconnects	Disconnects	UNKNOWN	Fair	1-5 years	Disconnects appeared to be in generally good condition or better. The disconnect for the misting system located on the roof of the Press Level, however, is only in fair condition. It is recommended to replace this disconnect whenever its associated motor is next replaced. Where equipment is replaced or added, new disconnects are anticipated.
E-072	SB	RM 109	3BH	DISTRIBUTION PANELBOARD	1991	Good	1-5 years	Mains Type - MLO. Mounting - Freestanding. Manufacturer sticker states maximum SCCR/AIC rating is 200,000A. Could not verify actual SCCR/AIC rating due to lock-front covers.
E-073	SB	RM 109	3BL	DISTRIBUTION PANELBOARD	1991	Good	1-5 years	Mounting - Freestanding. Manufacturer sticker states maximum SCCR/AIC rating is 65,000A. Could not verify actual SCCR/AIC rating due to lock-front covers.
E-094	ALL	ALL	Emergency Distribution System	Emergency Distribution System	UNKNOWN	Fair	1-5 years	It is recommended that the emergency distribution system all be fed directly from the utility service entrance switchboards, in order to help with selective coordination.
E-083	ST	SE MECH YARD	G02	GENERATOR	UNKNOWN	Good	1-5 years	(2) Circuit breakers: (1) 30A/3P and (1) 90A/3P.
E-085	ST	SE MECH YARD	G20	GENERATOR	2005	Good	1-5 years	(1) 200A/3P Circuit Breaker.
E-098	Elevators	Elevators	Hoistway & Elevator Pit	Hoistway & Elevator Pit	UNKNOWN	Fair	1-5 years	Elevators all appear to be in good condition. Elevator representative to review hoist way and elevator pit to confirm no improvements are required.
E-065	PB	ROOF	MCC	MOTOR CONTROL CENTER	UNKNOWN	Good	1-5 years	Equipment - Motor Control Center. Mains Type - MLO. Mounting - Freestanding. Mains are rated 600A, fed from 400A breaker. Could not verify actual SCCR/AIC rating due to lock-front covers.
E-044	CO	RM 119	CSH2	PANELBOARD	1991	Good	1-5 years	Mains Type - MLO
E-047	CO	RM 132	CSH1	PANELBOARD	1991	Good	1-5 years	Mains Type - MLO
E-048	CO	RM 132	CSL1	PANELBOARD	1991	Good	1-5 years	No comments
E-049	CO	RM 132	CSH5	PANELBOARD	2014	New	1-5 years	Mains Type - MLO. Mains are rated for 250A, fed from 100A breaker.
E-050	CO	RM 152	TLA	PANELBOARD	1991	Good	1-5 years	Only 18 circuits.

**Item 3: MEP Assessment Summary: No Action Required**

Item No.	Building	Room	Equipment	Description	Year Inst'd	Observed Condition	Est. Remaining Life (Years)	Comments
E-051	LF	ELEC CLOSET	RL2	PANELBOARD	1991	Good	1-5 years	No comments
E-052	LF	ELEC CLOSET	RL2A	PANELBOARD	2007	Excellent	1-5 years	No comments
E-056	MA	RM 148	MCL-2	PANELBOARD	UNKNOWN	Excellent	1-5 years	Load Center with only 18 circuits.
E-059	PB	RM 205	PH2	PANELBOARD	1991	Good	1-5 years	Mains Type - MLO. Mains are rated for 225A, fed from 100A breaker.
E-060	PB	RM 205	PL2	PANELBOARD	1991	Good	1-5 years	Mains Type - MLO.
E-061	PB	RM 224	AEL	PANELBOARD	1991	Good	1-5 years	Only 18 circuits.
E-063	PB	RM 227	PH1	PANELBOARD	1991	Good	1-5 years	Mains Type - MLO. Mains are rated for 225A, fed from 200A breaker.
E-064	PB	RM 227	PL1	PANELBOARD	1991	Good	1-5 years	Mains Type - MLO. Mains are rated for 225A, fed from 200A breaker.
E-066	SB	RM 106	CSL4	PANELBOARD	1991	Good	1-5 years	No comments.
E-068	SB	RM 107	CSH4	PANELBOARD	1991	Good	1-5 years	Mains Type - MLO.
E-069	SB	RM 109	CH3	PANELBOARD	1991	Good	1-5 years	Mains Type - MLO. Mains are rated for 225A, fed from 100A breaker.
E-070	SB	RM 109	CL3	PANELBOARD	1991	Good	1-5 years	Mains Type - MLO. Mains are rated for 225A, fed from 200A breaker.
E-071	SB	RM 109	EH8	PANELBOARD	1991	Good	1-5 years	Feeds EHA via Feed Thru Lugs.
E-077	ST	LEFT FIELD RAMADA	RLP	PANELBOARD	UNKNOWN	Excellent	1-5 years	No comments.
E-079	ST	COLUMN - 3RD BASELINE	LP1	PANELBOARD	UNKNOWN	Excellent	1-5 years	No comments.
E-080	ST	SE MECH YARD	SES-A-RIGHT	SES	1991	Good	1-5 years	Section 4: pull section, Section 5: meter and disconnects. Connected with SES-A-LEFT (sections 1-3). Mains Type - MLO. No main disconnect present. Mounting - Freestanding. Manufacturer sticker states maximum SCCR/AIC rating is 65,000A. Could not verify actual SCCR/AIC rating due to lock-front covers.
E-081	ST	SE MECH YARD	SES-A-LEFT (FLH)	SES	1991	Good	1-5 years	Section 1: MUSCO controls, Section 2: vacu-break switches, and Section 3: service disconnect and meter. Connected to SES-A-RIGHT (sections 4 and 5). Mounting - Freestanding. Manufacturer sticker states maximum SCCR/AIC rating is 65,000A. Could not verify actual SCCR/AIC rating due to lock-front covers.
E-087	ST	SE MECH YARD	SES-B	SES	2005	New	1-5 years	Mounting - Freestanding. Manufacturer sticker states maximum SCCR/AIC rating is 65,000A. Could not verify actual SCCR/AIC rating due to lock-front covers.
E-043	CO	RM 118	TCSH3	TRANSFORMER	1991	Fair	1-5 years	Manufacturer is Westinghouse. Fed from CSH3, feeds CSL3.
E-046	CO	RM 131	TCSH1	TRANSFORMER	UNKNOWN	Good	1-5 years	Fed from CSH1, feeds CSL1.
E-062	PB	RM 224	TPH1	TRANSFORMER	1991	Good	1-5 years	Fed from PH1, feeds AEL.
E-074	SB	RM 109	T3BL	TRANSFORMER	1991	Good	1-5 years	No name plate. Manufacturer - Hammond Power Solutions. Fed from 3BH, feeds 3BL. Labeled as T3BL on 3BH.
M-181	Concourse	Network Closet	EF-CL-08	Exhaust Fan	2005	Fair	1-5 years	Labels are not legible.
M-185	Concourse	Toilet	EF-CL-05	Exhaust Fan	2005	Fair	1-5 years	Labels are not legible.
M-246	Press Level	Roof	EF-7	Exhaust Fan	1991	Poor	1-5 years	Labels are not legible.
M-038	Clubhouse	Coach Lockerroom	FC-03 FCU-CL-3	Fan Coil	2005	Adequate	1-5 years	Vending machine located against thermostat.
M-039	Clubhouse	Coaches Lockerro	FC-04 FCU-CL-4	Fan Coil	2005	Adequate	1-5 years	
M-047	Clubhouse	Exam Room	FC-02	Fan Coil	2005	Fair	1-5 years	Label is not legible.
M-050	Clubhouse	Home Lockerroom	FC-01	Fan Coil	2005	Good	1-5 years	Label is not legible.

**Item 3: MEP Assessment Summary - No Action Required**

Item No.	Building	Room	Equipment	Description	Year Instl'd	Observed Condition	Est. Remaining Life (Years)	Comments
M-184	Concourse	Team Store	SS-CL-01	Fan Coil	2005	Adequate	1-5 years	
M-198	Maintenance	Maintenance Office		Heater	1991	Adequate	1-5 years	
M-199	Maintenance	Maintenance Office		Heater	1991	Adequate	1-5 years	Labels are not legible.
M-030	Charros	Restroom		Instantaneous Water Heater	2005	Fair	1-5 years	
M-257	Site	Ticket Office		PTAC Heat Pump	1991	Poor	1-5 years	Labels are not legible.
M-013	CF Restrooms	Exterior	HP-LC-06 SS-CL-08	Split heat pump	2005	Adequate	1-5 years	
M-014	CF Restrooms	Exterior	SS-CL-07 HP-07	Split Heat Pump	2005	Adequate	1-5 years	
M-008	CF Restrooms	Electrical Room	SS-CL-10	Split Indoor Unit	2005	Adequate	1-5 years	
M-002	CF Restrooms		HP-07 SS-CL-07	Split IU	2005	Adequate	1-5 years	
M-003	CF Restrooms	Apparel	SS-CL-08	Split IU	2005	Adequate	1-5 years	
M-007	CF Restrooms	Concessions	SS-CL-09	Split IU	2005	Adequate	1-5 years	
M-046	Clubhouse	Elevator	SS-CL-05	Split IU	2005	Fair	1-5 years	
M-136	Concourse	Equipment Storage	HP-02	Split IU	2005	Fair	1-5 years	
M-137	Concourse	Equipment Storage	SS-CL-04	Split IU	2005	Fair	1-5 years	Label not legible.
M-186	Concourse	Training Room	HP-03	Split IU	2005	Fair	1-5 years	
M-010	CF Restrooms	Exterior	CU-CL-04 SS-CL-10	Split OU	2005	Adequate	1-5 years	
M-011	CF Restrooms	Exterior	CU-CL-03 SS-CL-07	Split OU	2005	Adequate	1-5 years	
M-012	CF Restrooms	Exterior	HP-CL-07	Split OU	2005	Adequate	1-5 years	
M-166	Concourse	Exterior	CU-CL-01 SS-CL-05	Split OU	2005	Adequate	1-5 years	
M-167	Concourse	Exterior	HP-CL-02 SS-CL-02	Split OU	2005	Fair	1-5 years	Physical damage to coil. No leaks observed.
M-168	Concourse	Exterior	HP-CL-03 SS-CL-03	Split OU	2005	Fair	1-5 years	Physical damage to coil. No leaks observed.
M-169	Concourse	Exterior	HP-CL-04 SS-CL-04	Split OU	2005	Adequate	1-5 years	Damage to the coil.
M-178	Concourse	Mechanical Court		Split OU	2005	Fair	1-5 years	
M-179	Concourse	Mechanical Court	HP-CL-01	Split OU	2005	Fair	1-5 years	
M-045	Clubhouse	Electrical Room	EF-CL-09	Transfer Fan	2005	Fair	1-5 years	Label is not legible.
M-121	Concourse	Concessions		Air Curtain	1991	Poor	1-5 years	
M-037	Clubhouse		DH-3	Duct Heater	2005	Good	1-5 years	
M-049	Clubhouse	Lockerroom	DH-1	Duct Heater	2005	Fair	1-5 years	
M-033	Charros	Women's RR	UH-CL-1	Electric Unit Heater	2005	Adequate	1-5 years	
M-255	Seating Bowl	Women's RR	UH-CL-1	Electric Unit Heater	2005	Adequate	1-5 years	
M-173	Concourse	Janitors		Electric Water Heater	2005	Adequate	1-5 years	No recirculating pump. No action required
M-004	CF Restrooms	Concessions	WH-3-1	Water Heater	2005	Adequate	1-5 years	
M-201	Maintenance	Restr		Water heater	1991	Adequate	1-5 years	

**Item 3: MEP Assessment Summary - No Action Required**

Item No.	Building	Room	Equipment	Description	Year Instl'd	Observed Condition	Est. Remaining Life (Years)	Comments
E-031	CL	HOME LAUNDRY ELEC	1BL	DISTRIBUTION PANELBOARD	1991	Good	5-10 years	Mounting - Freestanding. Could not verify actual SCCR/AIC rating due to lock-front covers. Manufacturer sticker is worn down; couldn't read maximum short circuit rating.
E-027	CL	HOME LAUNDRY ELEC	HCH1	PANELBOARD	1991	Good	5-10 years	Mains Type - MLO. Mains are rated for 225A, fed from 200A breaker.
E-028	CL	HOME LAUNDRY ELEC	HCL1	PANELBOARD	1991	Good	5-10 years	Mains Type - MLO.
E-029	CL	HOME LAUNDRY ELEC	HCL2	PANELBOARD	1991	Good	5-10 years	Mains Type - MLO.
E-033	CL	HOME LAUNDRY RM	EHA	PANELBOARD	1991	Good	5-10 years	Fed from EHB, via Feed Thru Lugs.
E-035	CL	VISITOR LAUNDRY RM	VCH1	PANELBOARD	1991	Good	5-10 years	Mains Type - MLO.
E-036	CL	VISITOR LAUNDRY RM	VCL1	PANELBOARD	1991	Good	5-10 years	Mains Type - MLO.
E-037	CO	ELEC RM BY STAIRS	CH2	PANELBOARD	1991	Good	5-10 years	Mains Type - MLO. Mains are rated for 225A, fed from 100A breaker.
E-038	CO	ELEC RM BY STAIRS	CL2	PANELBOARD	1991	Good	5-10 years	Mains Type - MLO. Mains are rated for 225A, fed from 200A breaker.
E-040	CO	RM 118	CSL2	PANELBOARD	1991	Good	5-10 years	No comments
E-041	CO	RM 118	CSL3	PANELBOARD	1991	Good	5-10 years	Tape on panel that labels circuits 43-84.
E-030	CL	HOME LAUNDRY ELEC	1BH	SWITCHBOARD	1991	Good	5-10 years	Mains Type - MLO. Mounting - Freestanding. Could not verify actual SCCR/AIC rating due to lock-front covers.
M-102	Concourse	Boiler Room		Circulating pump	2005	Fair	5-10 years	
M-103	Concourse	Boiler Room		Circulating Pump	2005	Fair	5-10 years	Serves domestic hot water. Labels not visible.
M-104	Concourse	Boiler Room		Circulating Pump	2005	Fair	5-10 years	
M-100	Concourse	138	DH-138	Duct Heater	2014	Excellent	5-10 years	
M-212	Press Level	201	DH-201	Duct Heater	2014	Good	5-10 years	Labels are not legible.
M-216	Press Level	202	DH-202	Duct Heater	2014	Good	5-10 years	
M-218	Press Level	203	DH-203	Duct Heater	2014	Good	5-10 years	Labels are not legible.
M-223	Press Level	204	DH-204	Duct Heater	2014	Good	5-10 years	Labels are not legible.
M-225	Press Level	209	DH-209	Duct Heater	2014	Excellent	5-10 years	Labels are not legible.
M-231	Press Level	228	DH-228	Duct Heater	2014	Good	5-10 years	Labels are not legible.
M-094	Concourse	1st Base Concessi	EF-A	Exhaust Fan		Poor	5-10 years	Ductwork for fan is disconnected from exhaust hood.
M-180	Concourse	Men's RR	EF-CL-03	Exhaust Fan	2005	Adequate	5-10 years	Labels are not legible.
M-024	Charros			Instantaneous Water Heater	2005	Adequate	5-10 years	
M-191	LF RR Building	Janitors		Instantaneous Water Heater	2014	Fair	5-10 years	
M-036	Clubhouse			Pump		Good	5-10 years	Actual pump could not be observed. Information provided is from identical pumps at City of Scottsdale Facilities Headquarters. Facilities personnel state pumps run and function great.
M-053	Clubhouse	Laundry Room		Sump Pump	2005	Fair	5-10 years	Actual pump could not be observed. Information provided is from identical pumps at City of Scottsdale Facilities Headquarters. Facilities personnel state pumps run and function great.

**Item 3: MEP Assessment Summary - No Action Required**

Item No.	Building	Room	Equipment	Description	Year Inst'd	Observed Condition	Est. Remaining Life (Years)	Comments
M-188	Exterior	1st Base Dugout		Sump Pump	2005	Fair	5-10 years	Actual pump could not be observed. Information provided is from identical pumps at City of Scottsdale Facilities Headquarters. Facilities personnel state pumps run and function great.
M-189	Exterior	3rd Base Dugout		Sump Pump	2005	Fair	5-10 years	Actual pump could not be observed. Information provided is from identical pumps at City of Scottsdale Facilities Headquarters. Facilities personnel state pumps run and function great.
M-134	Concourse	Electrical Room	EF-CL-11	Transfer Fan	2005	Fair	5-10 years	Labels not visible.
M-135	Concourse	Electrical	EF-CL-10	Transfer Fan	2005	Fair	5-10 years	Door undercut 1/2 in. Labels not visible. Fan is currently turned off.
M-114	Concourse	Boiler Room	WH-2	Water Heater	2005	Adequate	5-10 years	
M-133	Concourse	Concessions		Water Heater		Fair	5-10 years	
E-001	CF	ELEC RM	EH3	PANELBOARD	2005	Excellent	10-20 years	Mains Type - MLO. Mains are rated for 100A, fed from 50A breaker. Could not verify SCCR/AIC rating due to lock-front covers.
E-002	CF	ELEC RM	EL3	PANELBOARD	2005	Excellent	10-20 years	Could not verify SCCR/AIC rating due to lock-front covers.
E-003	CF	ELEC RM	H3-1	PANELBOARD	2005	Excellent	10-20 years	Mains Type - MLO. Feeds H3-2 via Feed Thru Lugs.
E-004	CF	ELEC RM	H3-2	PANELBOARD	2005	Excellent	10-20 years	Mains Type - MLO. Fed from H3-1 via Feed Thru Lugs.
E-005	CF	ELEC RM	L3-1	PANELBOARD	2005	Excellent	10-20 years	Feeds L3-2 via Feed Thru Lugs. Could not verify SCCR/AIC rating due to lock-front covers.
E-006	CF	ELEC RM	L3-2	PANELBOARD	2005	Excellent	10-20 years	Mains Type - MLO. Fed from L3-1; feeds L3-3, via Feed Thru Lugs. Could not verify SCCR/AIC rating due to lock-front covers.
E-007	CF	ELEC RM	L3-3	PANELBOARD	2005	Excellent	10-20 years	Mains Type - MLO. Fed from L3-2 via Feed Thru Lugs. Could not verify SCCR/AIC rating due to lock-front covers.
E-013	CL	TEAM STORE ELEC	EH1	PANELBOARD	2005	Excellent	10-20 years	Mains Type - MLO. Mains are rated for 100A, fed from 50A breaker. Could not verify SCCR/AIC rating due to lock-front covers.
E-014	CL	TEAM STORE ELEC	EL1	PANELBOARD	2005	Excellent	10-20 years	Could not verify SCCR/AIC rating due to lock-front covers.
E-015	CL	TEAM STORE ELEC	H1	PANELBOARD	2005	Excellent	10-20 years	Mains Type - MLO.
E-016	CL	TEAM STORE ELEC	L1	PANELBOARD	2005	Excellent	10-20 years	Could not verify SCCR/AIC rating due to lock-front covers.
E-019	CL	TRAINING RM ELEC	EH2	PANELBOARD	2005	Excellent	10-20 years	Mains Type - MLO. Mains are rated for 100A, fed from 50A breaker. Could not verify SCCR/AIC rating due to lock-front covers.
E-020	CL	TRAINING RM ELEC	EL2	PANELBOARD	2005	Excellent	10-20 years	Could not verify SCCR/AIC rating due to lock-front covers.
E-021	CL	TRAINING RM ELEC	H2-1	PANELBOARD	2005	Excellent	10-20 years	Mains Type - MLO. Feeds H2-2 via Feed Thru Lugs.
E-022	CL	TRAINING RM ELEC	H2-2	PANELBOARD	2005	Excellent	10-20 years	Mains Type - MLO. Fed from H2-1, via Feed Thru Lugs.
E-023	CL	TRAINING RM ELEC	L2-1	PANELBOARD	2005	Excellent	10-20 years	Feeds L2-2 via Feed Thru Lugs. Could not verify SCCR/AIC rating due to lock-front covers.
E-024	CL	TRAINING RM ELEC	L2-2	PANELBOARD	2005	Excellent	10-20 years	Mains Type - MLO. Fed from L2-1, via Feed Thru Lugs. Could not verify SCCR/AIC rating due to lock-front covers.
E-034	CL	HOME LAUNDRY RM	CH1	PANELBOARD	2007	Excellent	10-20 years	Mains Type - MLO. Mains are rated for 225A, fed from 200A breaker. Actual minimum SCCR/AIC rating is 25,000A.

**Item 3: MEP Assessment Summary - No Action Required**

Item No.	Building	Room	Equipment	Description	Year Instl'd	Observed Condition	Est. Remaining Life (Years)	Comments
E-039	CO	RM 117	CL2-A	PANELBOARD	2000	Good	10-20 years	Mains Type - MLO. Mains are rated for 125A, fed from 100A breaker.
E-008	CF	ELEC RM	SES-C	SES	2005	Excellent	10-20 years	Mounting - Freestanding. Lowest SCCR/AIC rating of circuit breaker shown. Could not verify actual SCCR/AIC rating due to lock-front covers.
E-009	CF	ELEC RM	XFMR #1, FEEDS L3-1	TRANSFORMER	2005	Excellent	10-20 years	Fed from SES-C, feeds L3-1.
E-010	CF	ELEC RM	XFMR #2, FEEDS EL3	TRANSFORMER	2005	Excellent	10-20 years	Manufacturer is Emerson. Fed from EH3, feeds EL3.
E-017	CL	TEAM STORE ELEC	XFMR #1, FEEDS L1	TRANSFORMER	2005	Excellent	10-20 years	Fed from H1, feeds L1.
E-018	CL	TEAM STORE ELEC	XFMR #2, FEEDS EL1	TRANSFORMER	2005	Excellent	10-20 years	Fed from EH1, feeds EL1.
E-025	CL	TRAINING RM ELEC	XFMR #1, FEEDS L2-1	TRANSFORMER	2005	Excellent	10-20 years	Fed from H2-1, feeds L2-1.
E-026	CL	TRAINING RM ELEC	XFMR #2, FEEDS EL2	TRANSFORMER	2005	Excellent	10-20 years	Fed from EH2, feeds EL2.
M-040	Clubhouse	Corridor	DH-08	Duct Heater	2014	Excellent	10-20 years	
M-065	Clubhouse	Visitor Clubhouse	DH-13	Duct Heater	2014	Excellent	10-20 years	Control panel left uncovered.
M-066	Clubhouse	Visitor Clubhouse	DH-27	Duct Heater	2014	Excellent	10-20 years	
M-115	Concourse	Concessions Office	DH-108	Duct Heater	2014	Excellent	10-20 years	
M-176	Concourse	Maintenance Office	DH-102	Duct Heater	2014	Excellent	10-20 years	
M-021	CF Restrooms	Women's RR	EF-CL-6 CF TOILET	Exhaust fan	2005	Good	10-20 years	
M-026	Charros	Batting Cage Restr	EF-CL-12	Exhaust Fan	2005	Adequate	10-20 years	Label is not legible.
M-044	Clubhouse	Electric Room	EF-CL-02	Exhaust Fan	2005	Fair	10-20 years	Mounted 7'-6" A.F.F.
M-072	Clubhouse	Visitors Laundry		Exhaust Fan	2015	Fair	10-20 years	
M-089	Concourse		EF-1	Exhaust Fan	2014	Good	10-20 years	
M-041	Clubhouse	Corridor	FC-08	Fan Coil	2014	Excellent	10-20 years	
M-067	Clubhouse	Visitor Clubhouse	FC-13	Fan Coil	2014	Excellent	10-20 years	
M-068	Clubhouse	Visitor Clubhouse	FC-27	Fan Coil	2014	Fair	10-20 years	Strainer is leaking on to ceiling tile.
M-098	Concourse		121 FC-121	Fan Coil	2014	Excellent	10-20 years	
M-101	Concourse		138 FC-138	Fan Coil	2014	Good	10-20 years	
M-116	Concourse	Concessions Office	FC-108	Fan Coil	2014	Excellent	10-20 years	
M-213	Press Level	201	FC-201	Fan Coil	2014	Good	10-20 years	
M-217	Press Level	202	FC-202	Fan Coil	2014	Good	10-20 years	
M-219	Press Level	203	FC-203	Fan Coil	2014	Good	10-20 years	
M-224	Press Level	204	FC-204	Fan Coil	2014	Good	10-20 years	
M-226	Press Level	209	FC-209	Fan Coil	2014	Good	10-20 years	
M-229	Press Level	222	FC-222	Fan Coil	2014	Good	10-20 years	Labels are not legible.
M-230	Press Level	233	FC-222	Fan Coil	2014	Good	10-20 years	
M-091	Concourse		MAU-1	MAU	2014	Good	10-20 years	Flue exhaust at 12'-6" A.F.F. High intake 16x16 at 12" A.F.F. (2) 24x24 door louver



**Item 3: MEP Assessment Summary - No Action Required**

Item No.	Building	Room	Equipment	Description	Year Instl'd	Observed Condition	Est. Remaining Life (Years)	Comments
M-092	Concourse		MAU-2	MAU	2014	Good	10-20 years	Flue exhaust at 12'-6" A.F.F. High intake 16x16 at 12' A.F.F. (2) 24x24 door louver
M-112	Concourse	Boiler Room	MAU-3	MAU	2014	Good	10-20 years	
E-011	CH	TUNNEL	SBC	PANELBOARD	2016	New	20+ years	Could not verify SCCR/AIC rating due to lock-front covers.
E-012	CH	OUTSIDE BATTING	STBC	TRANSFORMER	2016	New	20+ years	Manufacturer is Emerson. Fed from H3-2, feeds SBC.
M-027	Charros	Batting Cages		Area Drain	2005	Adequate	N/A	No action required
M-009	CF Restrooms	Exterior		Backflow Preventer		Fair	N/A	No action required
M-256	Site			BFP		Fair	N/A	Appears to be for landscaping. No action required
M-227	Press Level	222		Breakroom Sink	1991	Fair	N/A	Included in budget to be replaced.
M-064	Clubhouse	Visitor Clubhouse		Control Valve	1991	Fair	N/A	
M-236	Press Level	Roof		Cooling Tower Water Makeup	1999	Fair	N/A	
M-234	Press Level	Exterior		Deck Drains	2005	Adequate	N/A	
M-018	CF Restrooms	Outside		Drinking Fountain	2005	Adequate	N/A	
M-073	Concourse			Drinking Fountain	1991	Adequate	N/A	
M-220	Press Level	204		Drinking Fountain	1991	Fair	N/A	
M-254	Seating Bowl	Dugout	Elkay	Drinking Fountain	1991	Poor	N/A	Leave as-is
M-055	Clubhouse	Laundry		Dryer	2005	Adequate	N/A	
M-175	Concourse	Maintenance Office		Fire Alarm Control Panel	2014	Good	N/A	
M-074	Concourse			Fire Hose Connection	1991	Adequate	N/A	
M-075	Concourse			Fire Hose Valve	1991	Fair	N/A	
M-138	Concourse	Exterior		Fire Hose Valve	1991	Adequate	N/A	
M-022	Charros			Fire riser	2005	Adequate	N/A	100psi
M-076	Concourse			Fire Riser	2005	Adequate	N/A	Workout building
M-196	Maintenance	Maintenance Office		Fire Riser	1991	Adequate	N/A	
M-016	CF Restrooms	Men's RR		Fire Sprinkler Heads	2005	Fair	N/A	
M-099	Concourse	138		Fire Sprinkler Heads	1991	Fair	N/A	
M-020	CF Restrooms	Storage		Fire Sprinkler Riser	2005	Fair	N/A	
M-221	Press Level	204		Fire Sprinkler Riser	1991	Fair	N/A	
M-077	Concourse			Fire Sprinkler Zone Control Valves	1991	Adequate	N/A	
M-123	Concourse	Concessions Maintenance Office		Fire Sprinklers		Adequate	N/A	
M-197	Maintenance	Office		Fire Sprinklers	1991	Adequate	N/A	
M-056	Clubhouse	Laundry		Gas dryer	2005	Adequate	N/A	Label is not legible.
M-078	Concourse			Gas Meter	2005	Fair	N/A	2.5" outlet
M-193	Maintenance	Exterior		Gas Meter	1991	Fair	N/A	2319671 02c193555
M-124	Concourse	Concessions		Grill Oven		Adequate	N/A	
M-023	Charros			Hose Bibbs	2005	Fair	N/A	

**Item 3: MEP Assessment Summary - No Action Required**

Item No.	Building	Room	Equipment	Description	Year Instl'd	Observed Condition	Est. Remaining Life (Years)	Comments
M-205	Press Level			Instantaneous Water Heater	1991	Fair	N/A	
M-214	Press Level	202		Instantaneous Water Heater	1991	Fair	N/A	
M-228	Press Level	222		Instantaneous Water Heater	1991	Fair	N/A	
M-079	Concourse			Louver	1991	Adequate	N/A	EF-1 exhaust louver. Bottom of louver at 40" A.F.F.
M-080	Concourse			Louver	1991	Adequate	N/A	LF Women's RR Exhaust Louver. Bottom of louver at 10'-4" A.F.F.
M-139	Concourse	Exterior		Louver	1991	Adequate	N/A	OSA louver. Bottom of louver at 72" A.F.F.
M-140	Concourse	Exterior		Louver	1991	Adequate	N/A	MAU-3 intake louver. Bottom of louver at 40" A.F.G.
M-141	Concourse	Exterior		Louver	1991	Adequate	N/A	Bottom of louver at 4' A.F.G. Boiler combustion air low louver.
M-142	Concourse	Exterior		Louver	1991	Adequate	N/A	Bottom of louver at 8'-8" A.F.G.
M-143	Concourse	Exterior		Louver	1991	Adequate	N/A	Bottom of louver at 8'-8" A.F.G.
M-144	Concourse	Exterior		Louver	1991	Adequate	N/A	Dryer combustion air louver. Bottom of louver at 12" A.F.G.
M-145	Concourse	Exterior		Louver	1991	Adequate	N/A	Intake louver for MAU-2. Bottom of louver at 40" A.F.F.
M-146	Concourse	Exterior		Louver	1991	Adequate	N/A	LF Men's RR Exhaust Louver. Bottom of louver at 10'-4" A.F.F.
M-147	Concourse	Exterior		Louver	1991	Adequate	N/A	LF Men's RR Exhaust Louver. Bottom of louver at 10'-4" A.F.F.
M-148	Concourse	Exterior		Louver	1991	Adequate	N/A	MAU-1 Intake louver. Bottom of louver at 40" A.F.F.
M-149	Concourse	Exterior		Louver	1991	Adequate	N/A	RF Women's RR Exhaust Louver. Bottom of louver at 10'-4" A.F.F.
M-150	Concourse	Exterior		Louver	1991	Adequate	N/A	RR intake louvers. Bottom of louver at 12" A.F.F.
M-151	Concourse	Exterior		Louver	1991	Adequate	N/A	RR intake louvers. Bottom of louver at 12" A.F.F.
M-152	Concourse	Exterior		Louver	1991	Adequate	N/A	RR intake louvers. Bottom of louver at 12" A.F.F.
M-153	Concourse	Exterior		Louver	1991	Adequate	N/A	RR intake louvers. Bottom of louver at 12" A.F.F.
M-154	Concourse	Exterior		Louver	2005	Adequate	N/A	Located on South wall of Fitness Building.
M-155	Concourse	Exterior		Louver	2005	Adequate	N/A	For OU. Bottom of louver is 50" A.F.F.
M-156	Concourse	Exterior		Louver	2005	Adequate	N/A	Outer RF exhaust louver. Bottom of louver at 8'-8" A.F.G.
M-157	Concourse	Exterior		Louver	2005	Adequate	N/A	Team shop relief louver. Bottom of louver is at 56" A.F.F.
M-158	Concourse	Exterior		Louver	2005	Adequate	N/A	Training entrance louver. Bottom of louver at 8'-8" A.F.F.
M-159	Concourse	Exterior		Louver	2005	Adequate	N/A	Training room OSA louvers. Bottom of louver at 6' A.F.G.
M-160	Concourse	Exterior		Louver	2005	Adequate	N/A	Workout room relief louvers with MD. Bottom of louver at 6' A.F.G. Coax cable routed thru louver to exterior.
M-242	Press Level	Roof		Misting Pump	1999	Poor	N/A	Fixed roof mounted pump for misting system. No label listed on equipment. Still in operation. Vendor maintained
M-061	Clubhouse	Visitor's Laundry		Mixing Valve	1991	Fair	N/A	
M-052	Clubhouse	Janitors		Mop sink	2005	Fair	N/A	
M-239	Press Level	Roof		OSA Intake Roof Cap	1991	Fair	N/A	Labels are not legible.
M-240	Press Level	Roof		OSA Intake Roof Cap	1991	Fair	N/A	Labels are not legible.
M-015	CF Restrooms	Janitors		Plumbing Fixtures	2005	Fair	N/A	
M-019	CF Restrooms	Restrooms		Plumbing Fixtures	2005	Fair	N/A	
M-031	Charros	Restroom		Plumbing Fixtures	2005	Fair	N/A	

**Item 3: MEP Assessment Summary - No Action Required**

Item No.	Building	Room	Equipment	Description	Year Instl'd	Observed Condition	Est. Remaining Life (Years)	Comments
M-032	Charros	Upper patio		Plumbing Fixtures	2005	Fair	N/A	
M-035	Clubhouse			Plumbing Fixtures		Adequate	N/A	
M-043	Clubhouse	Dugout Restrooms		Plumbing Fixtures	1991	Adequate	N/A	
M-051	Clubhouse	Janitor's Closet		Plumbing Fixtures	2005	Adequate	N/A	
M-059	Clubhouse	Locker Room		Plumbing Fixtures	1991	Poor	N/A	Facilities personnel state fixtures are difficult to service and maintain. No action required
M-060	Clubhouse	Locker Room		Plumbing Fixtures	1991	Adequate	N/A	
M-063	Clubhouse	Visitor Breakroom		Plumbing Fixtures	1991	Fair	N/A	
M-070	Clubhouse	Visitor Manager Sh		Plumbing Fixtures	1991	Poor	N/A	Facilities personnel state fixtures are difficult to service and maintain. No action required
M-071	Clubhouse	Visitors Clubhouse		Plumbing Fixtures	1991	Adequate	N/A	
M-081	Concourse			Plumbing Fixtures	1991	Adequate	N/A	
M-082	Concourse			Plumbing Fixtures	1991	Adequate	N/A	
M-083	Concourse			Plumbing Fixtures	1991	Adequate	N/A	
M-084	Concourse			Plumbing Fixtures	1991	Adequate	N/A	
M-085	Concourse			Plumbing Fixtures	2005	Good	N/A	Training room restroom
M-096	Concourse	3rd Base Mens RR		Plumbing Fixtures	1991	Adequate	N/A	
M-125	Concourse	Concessions		Plumbing Fixtures		Adequate	N/A	
M-126	Concourse	Concessions		Plumbing Fixtures		Adequate	N/A	
M-127	Concourse	Concessions		Plumbing Fixtures		Adequate	N/A	Some hand sinks are built into cabinets.
M-128	Concourse	Concessions		Plumbing Fixtures		Adequate	N/A	
M-161	Concourse	Exterior		Plumbing Fixtures	1991	Fair	N/A	
M-170	Concourse	Float Tank Room		Plumbing Fixtures	2005	Poor	N/A	Room is very humid. No exhaust or ventilation in room. No action required - room is being demoed.
M-171	Concourse	Home Base Conce		Plumbing Fixtures		Fair	N/A	Typical at all concessions 3-comp sinks.
M-174	Concourse	Janitors		Plumbing Fixtures	2005	Adequate	N/A	
M-187	Concourse	Women's		Plumbing Fixtures	1991	Fair	N/A	Restroom plumbing fixtures at outer 1st base.
M-190	LF RR Building			Plumbing Fixtures	1991	Adequate	N/A	
M-200	Maintenance	Maintenance Restr		Plumbing Fixtures	1991	Adequate	N/A	
M-241	Press Level	Roof		Pot Feeder	1999	Adequate	N/A	To be demoed
M-086	Concourse			Roof Drain	2005	Fair	N/A	
M-207	Press Level			Roof Drains	1991	Adequate	N/A	
M-208	Press Level			Roof Drains	1991	Adequate	N/A	
M-209	Press Level			Roof gutters	2013	Good	N/A	Gutter system along press level roof
M-211	Press Level	201		Sink	1991	Fair	N/A	
M-215	Press Level	202		Sink	1991	Adequate	N/A	

Item 3: MEP Assessment Summary - No Action Required								
Item No.	Building	Room	Equipment	Description	Year Instl'd	Observed Condition	Est. Remaining Life (Years)	Comments
M-172	Concourse	IT Room		Split IU		Adequate	N/A	No labels visible
M-210	Press Level			Sprinkler Heads	1991	Adequate	N/A	
M-001	CF Restrooms			Trench Drain	2005	Adequate	N/A	
M-130	Concourse	Concessions		Walk-in Cooler		Adequate	N/A	
M-164	Concourse	Exterior		Wall Caps	2005	Fair	N/A	Dryer flue at 12'-6" A.F.G.
M-058	Clubhouse	Laundry		Washer	2004	Adequate	N/A	
M-131	Concourse	Concessions		Water Heater		Adequate	N/A	No HWR line on system.
M-132	Concourse	Concessions		Water Heater		Fair	N/A	
M-088	Concourse			Water meter		Fair	N/A	
M-243	Press Level	Roof		Water Treatment System	1999	Fair	N/A	Water treatment for cooling tower. This will be demoed.

## Item 9 - Renovate Press Box Elevator (Finishes Only)

**Lincoln, Melanie**

---

**From:** Zarrella, Linda <LZarrella@scottsdaleaz.gov>  
**Sent:** Thursday, September 20, 2018 9:55 AM  
**To:** Lincoln, Melanie  
**Subject:** Giants Stadium Elevators

All four stadium elevators are functioning as intended and no service and/or upgrades required.

Please update the Assessment Worksheets to show that any elevator that is not modernized as part of the project does not require any modifications. Thanks. ljz

---

**From:** Kaleopa, Patricia  
**Sent:** Thursday, September 20, 2018 9:52 AM  
**To:** Zarrella, Linda; Cullens, Kevin  
**Subject:** Re: CORRECTION Orders for Elevators

No current deficiencies. The elevators are functioning as intended. All 4 stadium elevators have current certificates issued from the State Elevator Inspection.

Get [Outlook for iOS](#)

---

**From:** Zarrella, Linda <lzarrella@scottsdaleaz.gov>  
**Sent:** Thursday, September 20, 2018 9:49 AM  
**To:** Cullens, Kevin; Kaleopa, Patricia  
**Subject:** Re: CORRECTION Orders for Elevators

I'm over at the stadium talking about the elevators again.

The project will not touch the elevators at the Charro's Lodge or the Press Box. Are there existing deficiencies in these elevators that we should be addressing? ljz

## Item 13: Stadium Railing - Code Issues

### Guards and handrails

Summary of railing assessments and meeting 9/27/18 (site verified height of all rails on site 10/2/18):  
Numbers below correspond to numbers on attached diagrams.

- ~~1. Press level guards were constructed /compliant under the 1988 UBC code with 6" allowable openings 42" tall. All guards comply. Design team does not recommend replacing these guards.~~
- ~~2. Top perimeter guards at top of concrete bowl were constructed /compliant under the 1988 UBC code with 6" allowable openings 42" tall. All guards comply. Design team does not recommend replacing these guards.~~
- ~~3. 2 side guards at far edges of bowl were constructed /compliant under the 1988 UBC code with 6" allowable openings 42" tall. All guards comply. Design team does not recommend replacing these guards.~~
- ~~4. Bowl stairs leading up to each section has handrails and "railings" with 6" gaps and range from 37-39" tall. Drop offs do not exceed 30" therefore does not need to comply with 42" guard. Design team does not recommend replacing any of these railings.~~
5. Adjacent to each stair leading up into the bowl, there is a small stair aisle leading down to the front edge condition. There is a drop off greater than 30" therefore a 4' wide section of 42" tall guard is required. These guards were constructed /compliant under the 1988 UBC code with 6" allowable. We identified 10 conditions of the 4' section which were 40 to 41.5" tall. We do recommend cutting these rails and raising or adding a 2" tube steel welded to top.
6. In the bowl at the lower edge of the upper section the center portion is lower because it is constrained for viewing. Code allows this guard to be 26" min. All guards in this condition are taller than 26", however it is constructed of 2 piperails with approximately 1' gaps. The 4" sphere applies as the drop is greater than 30". This occurs at all 17 conditions. We recommend either removing and replacing with new 26" guards with less than 4" gaps, or welding 2 additional pipes to each condition.
7. Guards at all aluminum bleachers meet or exceed 42". These are chain link guards. Center rail at (3) isles for each of the 2 bleachers do not exist. We do recommend adding center rails if the bleachers remain.
8. At the lower bowl end conditions there are 2 locations with 22" wide steps. These need a wall mounted handrail added.
9. At upper and lower bowl all isles are 48" wide. Code requires a handrail. We recommend adding an aluminum center handrail at all conditions upper and lower bowl.
10. At press level stairs the railings have less than 6" gaps which complies with the 1988 UBC. At the top of these 2 stairs each has a 5' section where pipe rail gaps exceed 6". We recommend removing and replacing with new compliant rails with 4" gaps.
11. At charros lower rails, the top is at 44", but there is a 10" gap at the top. The rest of the guard below meets the 4" sphere rule. We recommend welding 2 tube steels in this gap so it is less 4".

## Item 13: Stadium Railing - Code Issues

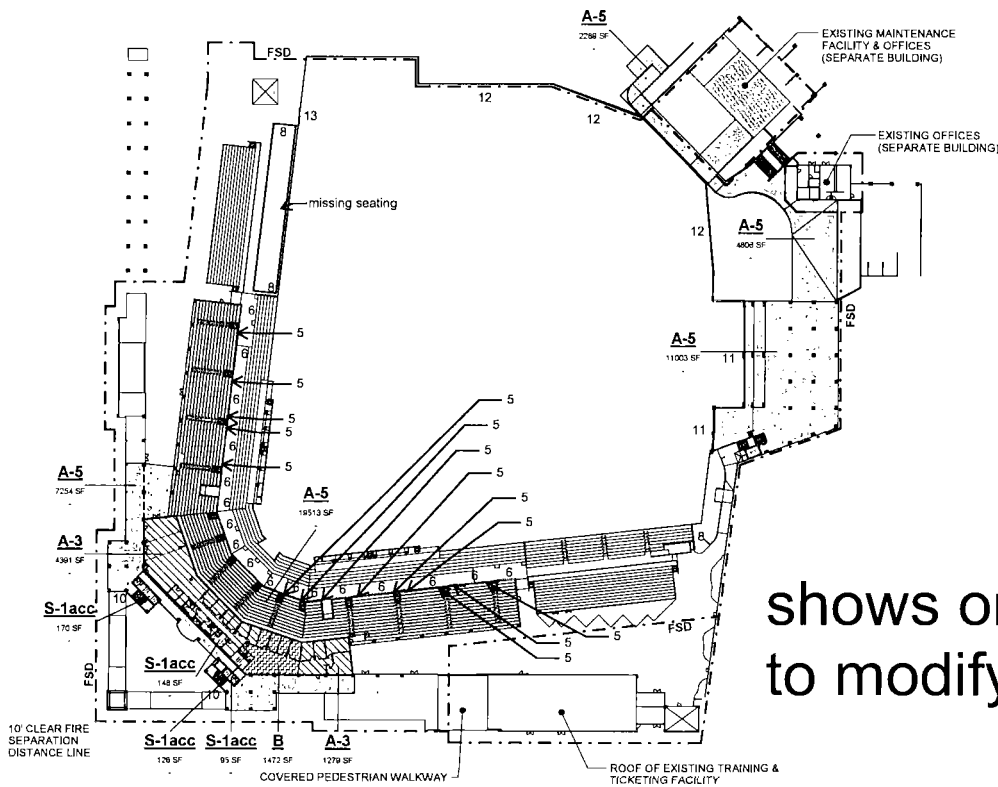
12. Outfield fence surrounding the playing field is chainlink with a yellow corrugated pipe on top. The top of this is 40 to 41" in a lot of locations. There is a 4' concrete slab at the edge with trench drains. This path is not a circulation path. Per IBC 1013.2 if the edge is not against a walking surface / walking path for circulation, then guards do not apply meaning they can be less than 42". This is a typical drop off condition seen in parks. The yellow corrugated pipe is old and deteriorating. Also it is not level. Design team recommends replacing the yellow corrugated pipe with spacers on top of the chain link pipe to keep the top greater than 42". This is an owners decision if to proceed.
13. There is one condition on the west edge of bowl where the chain link is 39" from top of grass. This is another condition where guard doesn't apply but we recommend raising or putting some padding on top of the rail. This is an owners decision.
14. At concourse level of the bowl there are angled rails apporxamety 42" tall, The angled top corners are an ada concern. Project can resolve the cane detection issue at corners by welding corner steel plate or remove and replace rails entirely. Owner to decide.

**Item 13: Stadium Railing - Code Issues**

#5 red= deficient 42" guard w/ 6" gaps - raise or add TS to top

#8, 11, 12, 13 purple =deficient see meeting minutes

#6 orange=deficient 26" guards 2 pipe rails with 1' gaps at sightlines. Demo and replace with 26" tall 4" sphere guards



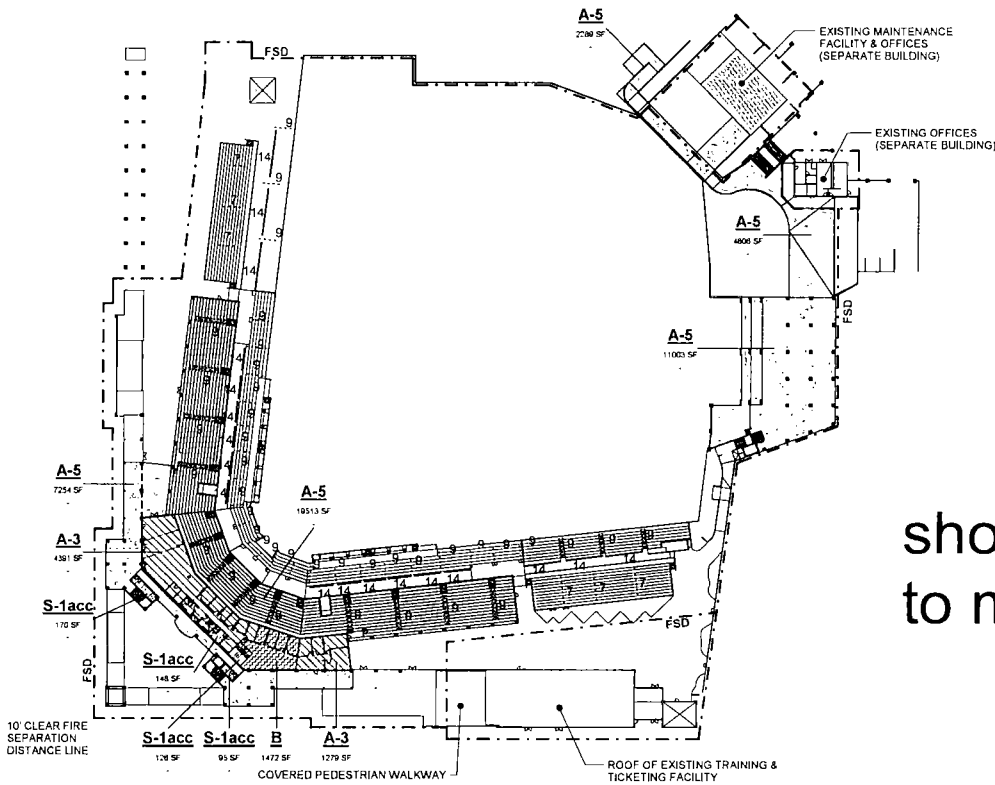
shows only guards to modify

PRESS LEVEL - EXISTING





### Item 13: Stadium Railing - Code Issues



#7 AND #9 red=(does not currently exist) add new center isle handrails (aluminum 34" tall (2) 1 1/2" pipes, rails break every few steps.)  
#14 blue=demo existing rails with 8" angled top. replace with a vertical only handrail, dropoff is less than 30". (4) horizontal 1 1/2" pipe rails typ. at 34" tall.

shows only guards to modify or add new

PRESS LEVEL - EXISTING



Item 14: ADA Assessment Summary - Design-Build Manager Responsibility

Drawing Package	Barrier % ID number	Room # or location	Internal ADA ID code	Criteria	Priority	Readily Achievable	10% Cost	Observation	Surveyor notes	Barrier's ADA text	ADA Reference #	Proposed Design Solution	Comments
<b>Site/Berm</b>													
PS	SITE-01		ADA 307.6	4	D	Yes	YES	Wall mounted object protrudes into a circulation path more than 4"	Identified site lighting and signage projections into the circulation path.	Objects with leading edges more than 27" and not more than 80" above the finish floor or ground shall protrude 4" maximum horizontally into the circulation path.	(307.2)	raise wall mounted light and maybe receptacle by generator yard to 80" clear to bottom. area may be demo'd and rebuilt depending on phase 2 outfield design.	area may be demo'd and rebuilt depending on phase 2 outfield design.
PS	SITE-05		ADA 403.2	1	D	No	YES	Cross slope at walking surface exceeds 1:48 (2%)	The walkway around the backside of the outfield berm has cross-slopes exceeding 2%. Measured slopes from 3% - 4%.	The running slope of walking surfaces shall not be steeper than 1:20. The cross slope of walking surfaces shall not be steeper than 1:48.	(403.3)	Side walk will be completely demo'd and rebuild with phase 2 berm area included in berm pricing - new sidewalk less than 1:48 cross slope.	
PS	SITE-05		ADA 403.2	1	D	No	YES	Cross slope at walking surface exceeds 1:48 (2%)	The walkway around the backside of the outfield berm has cross-slopes exceeding 2%. Measured slopes from 3% - 4%.	The running slope of walking surfaces shall not be steeper than 1:20. The cross slope of walking surfaces shall not be steeper than 1:48.	(403.3)	Side walk will be completely demo'd and rebuild with phase 2 berm area included in berm pricing - new sidewalk less than 1:48 cross slope.	
PS	SITE-5		ADA 403.2	1	D	No	YES	Cross slope at walking surface exceeds 1:48 (2%)	The walkway around the backside of the outfield berm has cross-slopes exceeding 2%. Measured slopes from 3% - 4%.	The running slope of walking surfaces shall not be steeper than 1:20. The cross slope of walking surfaces shall not be steeper than 1:48.	(403.3)	Side walk will be completely demo'd and rebuild with phase 2 berm area included in berm pricing - new sidewalk less than 1:48 cross slope.	
PS	SITE-05		ADA 403.2	1	D	No	YES	Cross slope at walking surface exceeds 1:48 (2%)	The walkway around the backside of the outfield berm has cross-slopes exceeding 2%. Measured slopes from 3% - 4%.	The running slope of walking surfaces shall not be steeper than 1:20. The cross slope of walking surfaces shall not be steeper than 1:48.	(403.3)	Side walk will be completely demo'd and rebuild with phase 2 berm area included in berm pricing - new sidewalk less than 1:48 cross slope.	
<b>Site Team Store</b>													
P1	SITE-02		ADA 403.2	1	D	No	YES	Cross slope at walking surface exceeds 1:48 (2%)	Identified various locations on the accessible route where there are cross slopes of the walkways measuring from 3% - 5%.	The running slope of walking surfaces shall not be steeper than 1:20. The cross slope of walking surfaces shall not be steeper than 1:48.	(403.3)	major re-pave sidewalk in front of team store to not exceed 1:48 cross slope.	
P1	SITE-7		ADA 403.2	1	D	No	YES	Cross slope at walking surface exceeds 1:48 (2%)	Identified various locations on the accessible route where there are cross slopes of the walkways measuring from 3% - 5%.	The running slope of walking surfaces shall not be steeper than 1:20. The cross slope of walking surfaces shall not be steeper than 1:48.	(403.3)	major re-pave sidewalk in front of team store to not exceed 1:48 cross slope.	
P1	SITE-03		ADA 406.7	1	D	No	YES	Curb ramp slope exceeds allowable slope	Accessible curb ramps measured in excess of 8%. Existing curb ramp measured - 11%.	Ramp runs shall not have a slope steeper than 1:12. Exception: in existing sites, buildings and facilities, ramps with a maximum 6" rise shall be permitted to have a slope not steeper than 1:12.	405.2; table 405.2, 406.1	demo and re-pour curb ramp not to exceed 1:10.	
P1	SITE-06		ADA 502.21	1	D	Yes	YES	Sign is mounted lower than 60" min. to the bottom of the sign. "Van Accessible" sign is mounted lower than 50" min. to the bottom of the sign.	Accessible parking space signs are mounted below 60".	Parking space identification signs shall include the International Symbol of Accessibility. Signs identifying van parking spaces shall contain the text "Van Accessible". Signs shall be 60" min. x 11" measured to the bottom of the sign.	(507.6)	remove existing sign poles. Replace with taller poles and remount signs to bottom is 60" clear - determine quantity.	
<b>SFGL Giants Clubhouse Ground Level - Demo'd (No Items)</b>													
<b>SFL Giants Clubhouse Lower Level (No Items)</b>													
<b>SSCL - Concourse Level</b>													
P1	SSCL-01		ADA 403.2	1	D	No	YES	Cross slope at walking surface exceeds 1:48 (2%)	The concourse walkway behind the right field seating has cross slopes up to 4% - 6%.	The running slope of walking surfaces shall not be steeper than 1:20. The cross slope of walking surfaces shall not be steeper than 1:48.	(403.3)	sidewalk north of existing clubhouse will be demo'd and replaced with clubhouse end right field seating.	
P1	SSCL-01		ADA 403.2	1	D	No	YES	Cross slope at walking surface exceeds 1:48 (2%)	The concourse walkway behind the right field seating has cross slopes up to 4% - 6%.	The running slope of walking surfaces shall not be steeper than 1:20. The cross slope of walking surfaces shall not be steeper than 1:48.	(403.3)	sidewalk north of existing clubhouse will be demo'd and replaced with clubhouse end right field seating.	
<b>SSOF - Out Field Buildings and RR by Clubhouse (No Items)</b>													

Item 14: ADA Assessment Summary - Design-Build Manager Responsibility

Drawing Package	Barrier ID number	Room # or location	Internal ADA ID code	Criteria	Priority	Readily Achievable	20% Cost	Observation	Surveyor notes	Barrier's ADA text	ADA Reference #	Proposed Design Solution	Comments
SSPL - Press level (No Items)													
SSS - Stadium Seating													
PS	SSS-01		ADA 221.1	4 C	No	NO	Assembly area does not provide the required number of accessible wheelchair spaces.	Preliminary estimates suggest that the number of wheelchair spaces provided are less than the number of wheelchair spaces required. (See building introduction.)	Assembly areas shall provide accessible wheelchair spaces and companion seats in accordance with Table 221.2.1.1.	(221; Table 221.2.1.1; A117.1; 802.10)	(221; Table 221.2.1.1; A117.1; 802.10)	needs review with owner. Could need major construction. Reevaluate with new standing room 1st and 3rd base platforms. Current about 44 includes reduction from 24 at home plate. Need 61.	
PS	SSS-01		ADA 221.1	4 C	No	NO	Assembly area does not provide the required number of accessible wheelchair spaces.	Preliminary estimates suggest that the number of wheelchair spaces provided are less than the number of wheelchair spaces required. (See building introduction.)	Assembly areas shall provide accessible wheelchair spaces and companion seats in accordance with Table 221.2.1.1.	(221; Table 221.2.1.1; A117.1; 802.10)	(221; Table 221.2.1.1; A117.1; 802.10)	needs review with owner. Could need major construction. Reevaluate with new standing room 1st and 3rd base platforms. Current about 44 includes reduction from 24 at home plate. Need 61.	
PS	SSS-01		ADA 221.1	4 C	No	NO	Assembly area does not provide the required number of accessible wheelchair spaces.	Preliminary estimates suggest that the number of wheelchair spaces provided are less than the number of wheelchair spaces required. (See building introduction.)	Assembly areas shall provide accessible wheelchair spaces and companion seats in accordance with Table 221.2.1.1.	(221; Table 221.2.1.1; A117.1; 802.10)	(221; Table 221.2.1.1; A117.1; 802.10)	needs review with owner. Could need major construction. Reevaluate with new standing room 1st and 3rd base platforms. Current about 44 includes reduction from 24 at home plate. Need 61.	
PS	SSS-01		ADA 221.1	4 C	No	NO	Assembly area does not provide the required number of accessible wheelchair spaces.	Preliminary estimates suggest that the number of wheelchair spaces provided are less than the number of wheelchair spaces required. (See building introduction.)	Assembly areas shall provide accessible wheelchair spaces and companion seats in accordance with Table 221.2.1.1.	(221; Table 221.2.1.1; A117.1; 802.10)	(221; Table 221.2.1.1; A117.1; 802.10)	needs review with owner. Could need major construction. Reevaluate with new standing room 1st and 3rd base platforms. Current about 44 includes reduction from 24 at home plate. Need 61.	
PS	SSS-01		ADA 221.1	4 C	No	NO	Assembly area does not provide the required number of accessible wheelchair spaces.	Preliminary estimates suggest that the number of wheelchair spaces provided are less than the number of wheelchair spaces required. (See building introduction.)	Assembly areas shall provide accessible wheelchair spaces and companion seats in accordance with Table 221.2.1.1.	(221; Table 221.2.1.1; A117.1; 802.10)	(221; Table 221.2.1.1; A117.1; 802.10)	needs review with owner. Could need major construction. Reevaluate with new standing room 1st and 3rd base platforms. Current about 44 includes reduction from 24 at home plate. Need 61.	
PS	SSS-01		ADA 221.1	4 C	No	NO	Assembly area does not provide the required number of accessible wheelchair spaces.	Preliminary estimates suggest that the number of wheelchair spaces provided are less than the number of wheelchair spaces required. (See building introduction.)	Assembly areas shall provide accessible wheelchair spaces and companion seats in accordance with Table 221.2.1.1.	(221; Table 221.2.1.1; A117.1; 802.10)	(221; Table 221.2.1.1; A117.1; 802.10)	needs review with owner. Could need major construction. Reevaluate with new standing room 1st and 3rd base platforms. Current about 44 includes reduction from 24 at home plate. Need 61.	
PS	SSS-02		ADA 221.9	4 C	No	NO	Wheelchair spaces are not properly dispersed vertically.	Wheelchair spaces are not dispersed vertically in proper proportion to the number of spaces required.	Wheelchair spaces shall be dispersed vertically at varying distances from the score, performance area or playing field. Wheelchair spaces shall be located in each balcony or mezzanine that is located on an accessible route.	(221.2.3.2)	(221.2.3.2)	needs review with owner. Could need major construction. Reevaluate with new standing room 1st and 3rd base platforms. Current about 44 includes reduction from 24 at home plate. Need 61.	
PS	SSS-02		ADA 221.9	4 C	No	NO	Wheelchair spaces are not properly dispersed vertically.	Wheelchair spaces are not dispersed vertically in proper proportion to the number of spaces required.	Wheelchair spaces shall be dispersed vertically at varying distances from the score, performance area or playing field. Wheelchair spaces shall be located in each balcony or mezzanine that is located on an accessible route.	(221.2.3.2)	(221.2.3.2)	needs review with owner. Could need major construction. Reevaluate with new standing room 1st and 3rd base platforms. Current about 44 includes reduction from 24 at home plate. Need 61.	
PS	SSS-02		ADA 221.9	4 C	No	NO	Wheelchair spaces are not properly dispersed vertically.	Wheelchair spaces are not dispersed vertically in proper proportion to the number of spaces required.	Wheelchair spaces shall be dispersed vertically at varying distances from the score, performance area or playing field. Wheelchair spaces shall be located in each balcony or mezzanine that is located on an accessible route.	(221.2.3.2)	(221.2.3.2)	needs review with owner. Could need major construction. Reevaluate with new standing room 1st and 3rd base platforms. Current about 44 includes reduction from 24 at home plate. Need 61.	
PS	SSS-02		ADA 221.9	4 C	No	NO	Wheelchair spaces are not properly dispersed vertically.	Wheelchair spaces are not dispersed vertically in proper proportion to the number of spaces required.	Wheelchair spaces shall be dispersed vertically at varying distances from the score, performance area or playing field. Wheelchair spaces shall be located in each balcony or mezzanine that is located on an accessible route.	(221.2.3.2)	(221.2.3.2)	needs review with owner. Could need major construction. Reevaluate with new standing room 1st and 3rd base platforms. Current about 44 includes reduction from 24 at home plate. Need 61.	

Item 14: ADA Assessment Summary - Design-Build Manager Responsibility

Drawing Package	Barrier's ID number	Room # or location	Internal ADA ID code	Criteria	Priority	Readily Achievable	20% Cost	Observation	Surveyor notes	Barrier's ADA text	ADA Reference #	Proposed Design Solution	Comments
PS	555-03		ADA 221.21	4 C	No	NO		Companion seating does not comply with accessibility requirements.	In the central seating area, wheelchair spaces are allotted a 48" width and 96" depth. These proportions do not allow companion seating to be placed side-by-side with WC spaces.	At least one companion seat shall be provided for each required wheelchair space. In row seating, companion seating shall be located to provide shoulder alignment with WC space and equivalent in size and amenities as nearby seating.	(221.3 ; 802.3)	needs review with owner. Could need major construction. Reevaluate with new standing room 1st and 3rd base platforms. Current about 44 includes reduction from 24 at home plate. Need 61.	
PS	555-03		ADA 221.21	4 C	No	NO		Companion seating does not comply with accessibility requirements.	In the central seating area, wheelchair spaces are allotted a 48" width and 96" depth. These proportions do not allow companion seating to be placed side-by-side with WC spaces.	At least one companion seat shall be provided for each required wheelchair space. In row seating, companion seating shall be located to provide shoulder alignment with WC space and equivalent in size and amenities as nearby seating.	(221.3 ; 802.3)	needs review with owner. Could need major construction. Reevaluate with new standing room 1st and 3rd base platforms. Current about 44 includes reduction from 24 at home plate. Need 61.	
PS	555-03		ADA 221.21	4 C	No	NO		Companion seating does not comply with accessibility requirements.	In the central seating area, wheelchair spaces are allotted a 48" width and 96" depth. These proportions do not allow companion seating to be placed side-by-side with WC spaces.	At least one companion seat shall be provided for each required wheelchair space. In row seating, companion seating shall be located to provide shoulder alignment with WC space and equivalent in size and amenities as nearby seating.	(221.3 ; 802.3)	needs review with owner. Could need major construction. Reevaluate with new standing room 1st and 3rd base platforms. Current about 44 includes reduction from 24 at home plate. Need 61.	
PS	555-03		ADA 221.21	4 C	No	NO		Companion seating does not comply with accessibility requirements.	In the central seating area, wheelchair spaces are allotted a 48" width and 96" depth. These proportions do not allow companion seating to be placed side-by-side with WC spaces.	At least one companion seat shall be provided for each required wheelchair space. In row seating, companion seating shall be located to provide shoulder alignment with WC space and equivalent in size and amenities as nearby seating.	(221.3 ; 802.3)	needs review with owner. Could need major construction. Reevaluate with new standing room 1st and 3rd base platforms. Current about 44 includes reduction from 24 at home plate. Need 61.	
PS	555-04		ADA 802.5	4 D	No	NO		Wheelchair spaces do not have views beyond standing spectators.	Wheelchair spaces in the center section of seating are not provided with sufficient height to see past standing persons. Stadiums are standing spectator venues.	Where spectators are expected to stand during events, spectators in wheelchairs shall be afforded lines of sight over the shoulders and between the heads of standing spectators in the row in front.	(802.2 ; 802.2.2)	needs review with owner. Could need major construction. Reevaluate with new standing room 1st and 3rd base platforms. Current about 44 includes reduction from 24 at home plate. Need 61.	
PS	555-04		ADA 802.5	4 D	No	NO		Wheelchair spaces do not have views beyond standing spectators.	Wheelchair spaces in the center section of seating are not provided with sufficient height to see past standing persons. Stadiums are standing spectator venues.	Where spectators are expected to stand during events, spectators in wheelchairs shall be afforded lines of sight over the shoulders and between the heads of standing spectators in the row in front.	(802.2 ; 802.2.2)	needs review with owner. Could need major construction. Reevaluate with new standing room 1st and 3rd base platforms. Current about 44 includes reduction from 24 at home plate. Need 61.	
PS	555-04		ADA 802.5	4 D	No	NO		Wheelchair spaces do not have views beyond standing spectators.	Wheelchair spaces in the center section of seating are not provided with sufficient height to see past standing persons. Stadiums are standing spectator venues.	Where spectators are expected to stand during events, spectators in wheelchairs shall be afforded lines of sight over the shoulders and between the heads of standing spectators in the row in front.	(802.2 ; 802.2.2)	needs review with owner. Could need major construction. Reevaluate with new standing room 1st and 3rd base platforms. Current about 44 includes reduction from 24 at home plate. Need 61.	
PS	555-05		ADA 405.1	4 C	No	NO		Ramp run exceeds 1:12.	Ramp to WC spaces has multiple barriers. Ramp run exceeds 1:12. Ramp lacks handrails on both sides.	Ramp runs shall have a running slope not steeper than 1:12 (8.33%).	-405-	demo concrete ramp and rebuild ramp at 1:12 max. At a minimum add handrails both sides of ramp.	
PS	555-06		ADA 307.6	4 D	Yes	YES		Wall mounted object protrudes into a circulation path more than 4".	Railing projects 8" into cross-aisle circulation path with no cane detection features.	Objects with leading edges more than 27" and not more than 80" above the finish floor or ground shall protrude 4" maximum horizontally into the circulation path.	-307-	simple semicircle welded to sides only down at 27". Or vert pipe and cane rail at ends only.	
PS	555-06		ADA 307.6	4 D	Yes	YES		Wall mounted object protrudes into a circulation path more than 4".	Railing projects 8" into cross-aisle circulation path with no cane detection features.	Objects with leading edges more than 27" and not more than 80" above the finish floor or ground shall protrude 4" maximum horizontally into the circulation path.	-307-	simple semicircle welded to sides only down at 27". Or vert pipe and cane rail at ends only.	

Item 14: ADA Assessment Summary - Design-Build Manager Responsibility

Drawing Package	Barrier's ID number	Room # or location	Internal ADA ID code	Criteria	Priority	Readily Achievable	20% Cost	Observation	Surveyor notes	Barrier's ADA text	ADA Reference #	Proposed Design Solution	Comments
PS	555-06		ADA-307.6	4-D	Yes	YES		Wall mounted object protrudes into a circulation path more than 4"	Wall mounted object protrudes into a circulation path more than 4"	Objects with leading edges more than 27" and not more than 80" above the finish floor or ground shall protrude 4" maximum horizontally into the circulation path.	-307.2	single semicircle welded to studs only down at 27". Or vent pipe and cane rail at ends only	
<b>VCH - Visitor Clubhouse Lower Level</b>													
PS		rails at accelerated stairs in bowl (code issue)										center 16" - 23" each side with 2" center rails acceptable - cone or anchor bolt into the poured concrete step which sits on the precast at the accelerated stairs	required code issue - see diagram for quantities
PS		red 5" sphere rails - code issue										option 1: demo and replace with new guards 4" max openings option 2: pad pickets or post needed to determine extent of revisions	some may remain as this was compliant under USC 1988 with 6" gaps. Building officials call as to what areas we are affecting with improvements and if we are grandfathered or must re-use

Item 14: ADA Assessment Summary - City of Scottsdale Responsibility

Barrier's ID number	Room # or location	Internal ADA ID code	Criteria	Priority	Readily Achievable	20% Cost	Observation	Surveyor notes	Barrier's ADA text	ADA Reference #	Proposed Design Solution	Comments
Site/Berm (No Items)												
Site Team Store												
SITE-01		ADA-307-6	4	D	Yes	YES	Wall mounted object protrudes into a circulation path more than 4".	Identified site lighting and signage projections into the circulation path.	Objects with leading edges more than 27" and not more than 80" above the finish floor or ground shall protrude 4" maximum horizontally into the circulation path.	(307.2)	raise team store signs to bottom clear 50"	
SFGL Giants Clubhouse Ground Level - Demo'd (No Items)												
SFLL - Giants Clubhouse Lower Level												
SFLL-01		ADA-604-16	2	B	Yes	YES	Door width is less than 32".	"Door between manager's office and private toilet room has a clear width opening of 27". Refer to SFLL Building introduction for additional information.	Door openings shall provide a clear width of 32" minimum. No projection into the required clear width lower than 34" a.f.f. Projections into clear width shall not exceed 4" for heights of 34" to 80" a.f.f..	(604.2.3)	Fix the glass door to stand at 32" clear. Adjust the barn door hardware.	No TI at lower clubhouse. Optional if to include ADA upgrade as part of this project.
SFLL-02		ADA-604-14	3	D	Yes	YES	Toilet compartment door location does not comply with accessibility standards.	Toilet compartment door aligns with the toilet instead of aligning with the clear floor space next to the toilet. This barrier occurs in both the player's and coaches' toilet rooms.	Doors shall be located in the front partition or in side wall or partition farthest from the water closet. Where located in the front partition, the door opening shall be 4 inches maximum from the side wall or partition farthest from the water closet.	(604.8.1.2)	replace toilet partitions front panels and door at this stall only	No TI at lower clubhouse. Optional if to include ADA upgrade as part of this project.
SFLL-02		ADA-604-14	3	D	Yes	YES	Toilet compartment door location does not comply with accessibility standards.	"Toilet compartment door aligns with the toilet instead of aligning with the clear floor space next to the toilet. This barrier occurs in both the player's and coaches' toilet rooms.	Doors shall be located in the front partition or in side wall or partition farthest from the water closet. Where located in the front partition, the door opening shall be 4 inches maximum from the side wall or partition farthest from the water closet.	(604.8.1.2)	replace toilet partitions front panels and door	No TI at lower clubhouse. Optional if to include ADA upgrade as part of this project.
SFLL-03		ADA-608-1	3	C	No	YES	No accessible shower in shower room.	Multiple barriers at coaches' shower. Insufficient clear floor space outside of shower. Uneven floor at clear floor space. No shower seat, etc.	Where showers are provided at least one shall be accessible. Showers can be either transfer type (36" x 36") or roll-in type (30" min. x 60" min.)	(608.2.1.3)	demo walls, replace floor to ada slopes, widen opening approach, replace showers and grab bars with accessible features/grab bars and ada seat.	No TI at lower clubhouse. Optional if to include ADA upgrade as part of this project.
SFLL-04		ADA-803-1	4	C	No	NO	Accessible lockers are not provided in the locker room.	No accessible lockets in locker rooms. Player's locker room has 81 lockers. (15 are required to be accessible). Coaches' locker room has 27 lockers. (2 are required to be accessible).	Where dressing rooms, fitting rooms, or locker rooms are provided at least 5% but no fewer than 1 of each type of use in each cluster shall be accessible.	(222.803.5)	players locker room - retrofit or replace 5 existing lockers to ADA lockers	No TI at lower clubhouse. Optional if to include ADA upgrade as part of this project.
SFLL-04		ADA-803-1	4	C	No	NO	Accessible lockers are not provided in the locker room.	No accessible lockers in locker rooms. Player's locker room has 81 lockers. (15 are required to be accessible). Coaches' locker room has 27 lockers. (2 are required to be accessible).	Where dressing rooms, fitting rooms, or locker rooms are provided at least 5% but no fewer than 1 of each type of use in each cluster shall be accessible.	(222.803.5)	coaches locker room - retrofit or replace 2 existing lockers to ADA lockers or add inserts. And add 3 ada benches.	No TI at lower clubhouse. Optional if to include ADA upgrade as part of this project.
SFLL-05		ADA-604-5	3	C	No	YES	No ambulatory toilet, no ambulatory toilet compartment.	Player's toilet room has 5 toilets and 6 urinals. No ambulatory compartment in the toilet room. See "Ambulatory Toilet Stalls" in the main introduction to this study for additional info.	In addition to an accessible toilet compartment, where six or more toilet compartments or combined toilets & urinals are provided, at least one shall be ambulatory. Ambulatory compartments require 60" clear depth and 35"-37" clear width.	(604.2.604.8.2.1.2.1.3.2)	players toilet room - replace partitions on 1 small stall to ambulatory disin, door, add side and vert grab bars. Sawing door outward. Demo toilet and replace with ADA height toilet	No TI at lower clubhouse. Optional if to include ADA upgrade as part of this project.

Item 14: ADA Assessment Summary - City of Scottsdale Responsibility

Barrier's ID number	Room # or location	Internal ADA ID code	Criteria	Priority	Readily Achievable	20% Cost	Observation	Surveyor notes	Barrier's ADA text	ADA Reference #	Proposed Design Solution	Comments
SFLL-06		ADA-609-4		3 D	Yes	YES	Space between grab bar and projecting elements above, or below, the bar is not ADA compliant.	A bracket has been permanently affixed to the toilet partition at a location immediately above the grab bar.	The space between the grab bar and projecting elements below and at the ends shall be 1-1/2" minimum. The space between the grab bar and projecting elements above shall be 12" minimum. (Except shower controls above)	609.3	pin screw and throw away angle bracket above grab bar	No TI at lower clubhouse. Optional if to include ADA upgrade as part of this project.
SFLL-07		ADA-404-10		2 C	Yes	YES	The force required to open the door exceeds the allowable 5 lbs limit.	Doors throughout the Giants clubhouse require between 7 and 15 lbs of force to open.	The force for pushing or pulling open a door or gate other than fire doors shall be 5 lbs maximum for interior hinged, sliding or folding doors and gates. Fire doors and exterior hinged doors by AHJ.	(ADA 2.9)	option 1: adjust door closer strength to less than 5psi. Option 2: replace closer. The mech air pressure sometimes makes closer adjustment difficult	No TI at lower clubhouse. Optional if to include ADA upgrade as part of this project.
SFLL-07		ADA-404-10		2 C	Yes	YES	The force required to open the door exceeds the allowable 5 lbs limit.	Doors throughout the Giants clubhouse require between 7 and 15 lbs of force to open.	The force for pushing or pulling open a door or gate other than fire doors shall be 5 lbs maximum for interior hinged, sliding or folding doors and gates. Fire doors and exterior hinged doors by AHJ.	(ADA 2.9)	option 1: adjust door closer strength to less than 5psi. Option 2: replace closer. The mech air pressure sometimes makes closer adjustment difficult	No TI at lower clubhouse. Optional if to include ADA upgrade as part of this project.
SFLL-07		ADA-404-10		2 C	Yes	YES	The force required to open the door exceeds the allowable 5 lbs limit.	Doors throughout the Giants clubhouse require between 7 and 15 lbs of force to open.	The force for pushing or pulling open a door or gate other than fire doors shall be 5 lbs maximum for interior hinged, sliding or folding doors and gates. Fire doors and exterior hinged doors by AHJ.	(ADA 2.9)	option 1: adjust door closer strength to less than 5psi. Option 2: replace closer. The mech air pressure sometimes makes closer adjustment difficult	No TI at lower clubhouse. Optional if to include ADA upgrade as part of this project.
<b>SSCL - Concourse Level:</b>												
SSCL-02		ADA-302-6		1 D	Yes	YES	Walk surface openings at gratings or drain covers exceed opening sizes allowed by accessibility standards.	Grating used at catch basins have 1" openings.	Openings in floor and ground surfaces shall not allow passage of a sphere more than 1/2" diameter. Elongated openings shall be placed so that the long dimension is perpendicular to the dominant direction of travel.	302.3	remove existing grate, install new grate with slots to not allow passage of 1/2" sphere	
SSCL-02		ADA-302-6		1 D	Yes	YES	Walk surface openings at gratings or drain covers exceed opening sizes allowed by accessibility standards.	Grating used at catch basins have 1" openings.	Openings in floor and ground surfaces shall not allow passage of a sphere more than 1/2" diameter. Elongated openings shall be placed so that the long dimension is perpendicular to the dominant direction of travel.	302.3	remove existing grate, install new grate with slots to not allow passage of 1/2" sphere	
SSCL-03		ADA-307-6		4 D	Yes	YES	Wall mounted object protrudes into a circulation path more than 4".	Protruding objects occur in multiple locations. Barriers include and are not limited to: Drinking fountains, Electrical boxes, service counters and signage	Objects with leading edges more than 27" and not more than 80" above the finish floor or ground shall protrude 4" maximum horizontally into the circulation path.	307.2	lower the low drinking fountain top to 27"	
SSCL-03		ADA-307-6		4 D	Yes	YES	Wall mounted object protrudes into a circulation path more than 4".	Protruding objects occur in multiple locations. Barriers include and are not limited to: Drinking fountains, Electrical boxes, service counters and signage	Objects with leading edges more than 27" and not more than 80" above the finish floor or ground shall protrude 4" maximum horizontally into the circulation path.	307.2	add a side panel that that extend down to 27". front edge cannot extend more than 4" beyond side panel.	
SSCL-03		ADA-307-6		4 D	Yes	YES	Wall mounted object protrudes into a circulation path more than 4".	Protruding objects occur in multiple locations. Barriers include and are not limited to: Drinking fountains, Electrical boxes, service counters and signage	Objects with leading edges more than 27" and not more than 80" above the finish floor or ground shall protrude 4" maximum horizontally into the circulation path.	307.2	lower AED box to bottom below 27"	

Item 14: ADA Assessment Summary - City of Scottsdale Responsibility

Barrier's ID number	Room # or location	Internal ADA ID code	Criteria	Priority	Readily Achievable	20% Cost	Observation	Surveyor notes	Barrier's ADA text	ADA Reference #	Proposed Design Solution	Comments
SSCL-03		ADA-307.6		4 D	Yes	YES	Wall mounted object protrudes into a circulation path more than 4".	"Protruding objects occur in multiple locations. Barriers include and are not limited to: Drinking fountains, Electrical boxes, service counters and signage.	Objects with leading edges more than 27" and not more than 80" above the finish floor or ground shall protrude 4" maximum horizontally into the circulation path.	-307.2	at pipe on wall add a fin below edge to below 27"	
SSCL-03		ADA-307.6		4 D	Yes	YES	Wall mounted object protrudes into a circulation path more than 4".	"Protruding objects occur in multiple locations. Barriers include and are not limited to: Drinking fountains, Electrical boxes, service counters and signage.	Objects with leading edges more than 27" and not more than 80" above the finish floor or ground shall protrude 4" maximum horizontally into the circulation path.	-307.2	add a side panels that that extend down to 27". front edge cannot extend more than 4" beyond side panel.	
SSCL-03		ADA-307.6		4 D	Yes	YES	Wall mounted object protrudes into a circulation path more than 4".	"Protruding objects occur in multiple locations. Barriers include and are not limited to: Drinking fountains, Electrical boxes, service counters and signage.	Objects with leading edges more than 27" and not more than 80" above the finish floor or ground shall protrude 4" maximum horizontally into the circulation path.	-307.2	add a side panels that that extend down to 27". front edge cannot extend more than 4" beyond side panel.	
SSCL-04		ADA-904.1		4 D	No	YES	Existing sales or service counter is too high.	Multiple Service/Sales counters measured 40.5" high from finish floor. This condition occurs at all concessions counters throughout the facility.	Sales or service counter shall be 38" high max. (+2" counter edge, if needed). Counter for parallel approach shall be 36" long minimum and 36" high maximum. A clear ground space 48" long and 30" wide shall be adjacent to the accessible counter.	(904.4 : 227.3)	option 1: dutch door, option 2: lower 36" service counter public side and and remove at employee side.	County Health Department OK to serve through door. Address through program and/or operations
SSCL-04		ADA-904.1		4 D	No	YES	Existing sales or service counter is too high.	Multiple Service/Sales counters measured 40.5" high from finish floor. This condition occurs at all concessions counters throughout the facility.	Sales or service counter shall be 38" high max. (+2" counter edge, if needed). Counter for parallel approach shall be 36" long minimum and 36" high maximum. A clear ground space 48" long and 30" wide shall be adjacent to the accessible counter.	(904.4 : 227.3)	option 1: dutch door, option 2: lower 36" service counter public side and and remove at employee side.	County Health Department OK to serve through door. Address through program and/or operations
SSCL-04		ADA-904.1		4 D	No	YES	Existing sales or service counter is too high.	Multiple Service/Sales counters measured 40.5" high from finish floor. This condition occurs at all concessions counters throughout the facility.	Sales or service counter shall be 38" high max. (+2" counter edge, if needed). Counter for parallel approach shall be 36" long minimum and 36" high maximum. A clear ground space 48" long and 30" wide shall be adjacent to the accessible counter.	(904.4 : 227.3)	option 1: dutch door, option 2: lower 36" service counter public side and and remove at employee side.	County Health Department OK to serve through door. Address through program and/or operations
SSCL-04		ADA-904.1		4 D	No	YES	Existing sales or service counter is too high.	Multiple Service/Sales counters measured 40.5" high from finish floor. This condition occurs at all concessions counters throughout the facility.	Sales or service counter shall be 38" high max. (+2" counter edge, if needed). Counter for parallel approach shall be 36" long minimum and 36" high maximum. A clear ground space 48" long and 30" wide shall be adjacent to the accessible counter.	(904.4 : 227.3)	option 1: dutch door, option 2: lower 36" service counter public side and and remove at employee side.	County Health Department OK to serve through door. Address through program and/or operations
SSCL-04		ADA-904.1		4 D	No	YES	Existing sales or service counter is too high.	Multiple Service/Sales counters measured 40.5" high from finish floor. This condition occurs at all concessions counters throughout the facility.	Sales or service counter shall be 38" high max. (+2" counter edge, if needed). Counter for parallel approach shall be 36" long minimum and 36" high maximum. A clear ground space 48" long and 30" wide shall be adjacent to the accessible counter.	(904.4 : 227.3)	option 1: dutch door, option 2: lower 36" service counter public side and and remove at employee side.	County Health Department OK to serve through door. Address through program and/or operations



Item 14: ADA Assessment Summary - City of Scottsdale Responsibility

Barrier's ID number	Room # or location	Internal ADA ID code	Criteria	Priority	Readily Achievable	20% Cost	Observation	Surveyor notes	Barrier's ADA text	ADA Reference #	Proposed Design Solution	Comments
SSCL-05		ADA-303-7	4 D	Yes	NO		Objects on floor result in non-ADA compliant level changes within the circulation path of a room or space.	Pitches around feature in the circulation path of the main concourse has a excessive change in level.	Changes in level greater than 1/2 inch high shall be ramped.	303.4	place raised dots - detectable warnings around the circle or cone rail or remove entirely.	
SSCL-06		ADA-405-11	1 C	No	YES		Ramp does not have ADA-compliant handrails.	Vomitories have a slope greater than 5% and a rise greater than 6". Therefore handrails are required.	Ramp runs with a rise greater than 6" shall have handrails.	405.8	add handrails continuous both sides attached to walls at 34" aff.	
SSCL-06		ADA-405-11	1 C	No	YES		Ramp does not have ADA-compliant handrails.	Vomitories have a slope greater than 5% and a rise greater than 6". Therefore handrails are required.	Ramp runs with a rise greater than 6" shall have handrails.	405.8	add handrails continuous both sides attached to walls at 34" aff.	
SSCL-07		ADA-404-19	3 D	Yes	YES		Threshold at door is non-compliant.	Multiple locations on the west side of the main stadium have door threshold with a change in level greater than 3/4". Barrier occurs Maintenance office and Concessions office.	Thresholds shall be 1/2" high maximum. Changes in level between 1/4" high minimum and 1/2" high maximum shall be beveled with a slope not steeper than 1:2.	(404.2.4.4)	maybe sawcut and replace concrete landing about 25ft or go to a ramp threshold but it will be about 12" long.	
SSCL-07		ADA-404-19	3 D	Yes	YES		Threshold at door is non-compliant.	Multiple locations on the west side of the main stadium have door threshold with a change in level greater than 3/4". Barrier occurs Maintenance office and Concessions office.	Thresholds shall be 1/2" high maximum. Changes in level between 1/4" high minimum and 1/2" high maximum shall be beveled with a slope not steeper than 1:2.	(404.2.4.4)	maybe sawcut and replace concrete landing about 25ft or go to a ramp threshold but it will be about 12" long, maybe grind the interior concrete.	
SSCL-07		ADA-404-19	3 D	Yes	YES		Threshold at door is non-compliant.	Multiple locations on the west side of the main stadium have door threshold with a change in level greater than 3/4". Barrier occurs Maintenance office and Concessions office.	Thresholds shall be 1/2" high maximum. Changes in level between 1/4" high minimum and 1/2" high maximum shall be beveled with a slope not steeper than 1:2.	(404.2.4.4)	maybe sawcut and replace concrete landing about 25ft or go to a ramp threshold but it will be about 12" long, maybe grind the interior concrete.	
SSCL-08		ADA-306-1	3 C	Yes	YES		Combined knee and toe clearance below accessible lavatory does not extend 17" minimum under the element.	There is no accessible lavatory in both Mens and Womens, right and left stadium restroom. Lavatory does not provide proper knee and toe clearance.	Where toe clearance is required at an element as part of a clear floor space, the toe clearance shall extend 17" minimum under the element.	(306.2.3; 904.4.2)	demo existing fixtures and replace with multi-user ada compliant lavatories. Each restroom has different quantities or add 1 ada height lavatory and mirror.	
SSCL-08		ADA-306-1	3 C	Yes	YES		Combined knee and toe clearance below accessible lavatory does not extend 17" minimum under the element.	There is no accessible lavatory in both Mens and Womens, right and left stadium restroom. Lavatory does not provide proper knee and toe clearance.	Where toe clearance is required at an element as part of a clear floor space, the toe clearance shall extend 17" minimum under the element.	(306.2.3; 904.4.2)	demo existing fixtures and replace with multi-user ada compliant lavatories. Each restroom has different quantities or add 1 ada height lavatory and mirror.	
SSCL-08		ADA-306-1	3 C	Yes	YES		Combined knee and toe clearance below accessible lavatory does not extend 17" minimum under the element.	There is no accessible lavatory in both Mens and Womens, right and left stadium restroom. Lavatory does not provide proper knee and toe clearance.	Where toe clearance is required at an element as part of a clear floor space, the toe clearance shall extend 17" minimum under the element.	(306.2.3; 904.4.2)	demo existing fixtures and replace with multi-user ada compliant lavatories. Each restroom has different quantities or add 1 ada height lavatory and mirror.	
SSCL-08		ADA-306-1	3 C	Yes	YES		Combined knee and toe clearance below accessible lavatory does not extend 17" minimum under the element.	There is no accessible lavatory in both Mens and Womens, right and left stadium restroom. Lavatory does not provide proper knee and toe clearance.	Where toe clearance is required at an element as part of a clear floor space, the toe clearance shall extend 17" minimum under the element.	(306.2.3; 904.4.2)	demo existing fixtures and replace with multi-user ada compliant lavatories. Each restroom has different quantities or add 1 ada height lavatory and mirror.	
SSCL-09		ADA-604-3	3 C	Yes	YES		No accessible toilet, no accessible toilet compartment.	There are no fully accessible toilet stalls in the large-size mens and womens restrooms. Barriers range from high toilet seats, stall size, etc.	Where water closets are provided, at least one shall be accessible. Compartments with accessible water closets require 60" min. clear width and 59" min. clear depth.	(604.3; 604.8.1.1; 213.3.2)	demo existing and provide new toilet partitions and new ada height water closet (combine 2 into 1)	review on site each toilet ada stall condition

Item 14: ADA Assessment Summary - City of Scottsdale Responsibility

Barrier's ID number	Room # or location	Internal ADA ID code	Criteria	Priority	Readily Achievable	20% Cost	Observation	Surveyor notes	Barrier's ADA text	ADA Reference #	Proposed Design Solution	Comments
SSCL-09		ADA-604.3	3.C	C	Yes	YES	No accessible toilet, no accessible toilet compartment.	There are no fully accessible toilet stalls in the large size mens and womens restrooms. Barriers range from high toilet seats, stall size, etc.	Where water closets are provided, at least one shall be accessible. Compartments with accessible water closets require 60" min. clear width and 59" min. clear depth.	(604.3 : 604.8.1.1 : 213.3.2)	demo existing and provide new toilet partitions and new ada height water closet (combine 2 into 1)	review on site each toilet ada stall condition
SSCL-09		ADA-604.3	3.C	C	Yes	YES	No accessible toilet, no accessible toilet compartment.	There are no fully accessible toilet stalls in the large size mens and womens restrooms. Barriers range from high toilet seats, stall size, etc.	Where water closets are provided, at least one shall be accessible. Compartments with accessible water closets require 60" min. clear width and 59" min. clear depth.	(604.3 : 604.8.1.1 : 213.3.2)	demo existing and provide new toilet partitions and new ada height water closet (combine 2 into 1)	review on site each toilet ada stall condition
SSCL-09		ADA-604.3	3.C	C	Yes	YES	No accessible toilet, no accessible toilet compartment.	There are no fully accessible toilet stalls in the large size mens and womens restrooms. Barriers range from high toilet seats, stall size, etc.	Where water closets are provided, at least one shall be accessible. Compartments with accessible water closets require 60" min. clear width and 59" min. clear depth.	(604.3 : 604.8.1.1 : 213.3.2)	demo existing and provide new toilet partitions and new ada height water closet (combine 2 into 1)	review on site each toilet ada stall condition
SSCL-09		ADA-604.3	3.C	C	Yes	YES	No accessible toilet, no accessible toilet compartment.	There are no fully accessible toilet stalls in the large size mens and womens restrooms. Barriers range from high toilet seats, stall size, etc.	Where water closets are provided, at least one shall be accessible. Compartments with accessible water closets require 60" min. clear width and 59" min. clear depth.	(604.3 : 604.8.1.1 : 213.3.2)	demo existing and provide new toilet partitions and new ada height water closet (combine 2 into 1)	review on site each toilet ada stall condition
SSCL-10		ADA-604.5	3.C	C	No	YES	No ambulatory toilet, no ambulatory toilet compartment.	There are no ambulatory toilet compartments in both Mens and Womens, right and left stadium restroom. More than 6 toilets and/or urinals occur in all restrooms.	In addition to an accessible toilet compartment, where six or more toilet compartments or combined toilets & urinals are provided, at least one shall be ambulatory. Ambulatory compartments require 60" clear depth and 35"-37" clear width.	(604.2 : 604.8.2.1 : 213.3.2)	demo existing toilet partitions Provide new toilet partitions for ambulatory stall, double horizontal and vertical handrails	
SSCL-10		ADA-604.5	3.C	C	No	YES	No ambulatory toilet, no ambulatory toilet compartment.	There are no ambulatory toilet compartments in both Mens and Womens, right and left stadium restroom. More than 6 toilets and/or urinals occur in all restrooms.	In addition to an accessible toilet compartment, where six or more toilet compartments or combined toilets & urinals are provided, at least one shall be ambulatory. Ambulatory compartments require 60" clear depth and 35"-37" clear width.	(604.2 : 604.8.2.1 : 213.3.2)	demo existing toilet partitions Provide new toilet partitions for ambulatory stall, double horizontal and vertical handrails	
SSCL-10		ADA-604.5	3.C	C	No	YES	No ambulatory toilet, no ambulatory toilet compartment.	There are no ambulatory toilet compartments in both Mens and Womens, right and left stadium restroom. More than 6 toilets and/or urinals occur in all restrooms.	In addition to an accessible toilet compartment, where six or more toilet compartments or combined toilets & urinals are provided, at least one shall be ambulatory. Ambulatory compartments require 60" clear depth and 35"-37" clear width.	(604.2 : 604.8.2.1 : 213.3.2)	demo existing toilet partitions Provide new toilet partitions for ambulatory stall, double horizontal and vertical handrails	
SSCL-10		ADA-604.5	3.C	C	No	YES	No ambulatory toilet, no ambulatory toilet compartment.	There are no ambulatory toilet compartments in both Mens and Womens, right and left stadium restroom. More than 6 toilets and/or urinals occur in all restrooms.	In addition to an accessible toilet compartment, where six or more toilet compartments or combined toilets & urinals are provided, at least one shall be ambulatory. Ambulatory compartments require 60" clear depth and 35"-37" clear width.	(604.2 : 604.8.2.1 : 213.3.2)	demo existing toilet partitions Provide new toilet partitions for ambulatory stall, double horizontal and vertical handrails	

SSOF - Out Field Buildings and RR by Clubhouse

Item 14: ADA Assessment Summary - City of Scottsdale Responsibility

Barrier's ID number	Room # or location	Internal ADA ID code	Criteria	Priority	Readily Achievable	20% Cost	Observation	Surveyor notes	Barrier's ADA text	ADA Reference #	Proposed Design Solution	Comments
SSOF-01		ADA-604-10		D	Yes	YES	Urinal encroaches into the required water closet clearance.	"Urinal encroaches into the toilets required clearance."	Required clearance around water closet shall be permitted to overlap the water closet, associated grab bars, dispensers, sanitary napkin disposal units, coat hooks, and shelves. No other fixtures or obstructions shall be located within the required water closet clearance.	(604.3.2)	remove the urinal?	No TI at outfield maintenance building or batting cages. Optional if to include ADA upgrade as part of this project.
SSOF-02		ADA-303.3		D	Yes	YES	Accessible route has level change greater than 1/4" but less than 1/2".	"Rubberized flooring transition to concrete is not beveled."	Changes in level between 1/4" high minimum and 1/2" high maximum shall be beveled with a slope not steeper than 1:2.	303.3	provide beveled transition strip at rubber flooring step to adjacent rubber flooring at 1:12 to its 1' long	No TI at outfield maintenance building or batting cages. Optional if to include ADA upgrade as part of this project.
SSOF-02		ADA-303.3		D	Yes	YES	Accessible route has level change greater than 1/4" but less than 1/2".	"Rubberized flooring transition to concrete is not beveled."	Changes in level between 1/4" high minimum and 1/2" high maximum shall be beveled with a slope not steeper than 1:2.	303.3	provide beveled transition strip at rubber flooring edges surrounding floor drain covers or raise the grate with spacers. Or add a second grate over the top.	No TI at outfield maintenance building or batting cages. Optional if to include ADA upgrade as part of this project.
SSOF-03		ADA-307-1		D	Yes	YES	Fire extinguisher cabinet protrudes into a circulation path more than 4".	Fire Extinguisher cabinet protrudes 8".	Objects with leading edges more than 27" and not more than 80" above the finish floor or ground shall protrude 4" maximum horizontally into the circulation path.	307.2	lower fire extinguisher cabinet and data sheets to bottom is at 27"	No TI at outfield maintenance building or batting cages. Optional if to include ADA upgrade as part of this project.
SSOF-04		ADA-603-1		D	Yes	YES	Bottom edge of mirror not above a lavatory or counter has a reflecting surface higher than 40" above the floor.	"Mirrors in Mens and Womens Restrooms were mounted at 41".	Mirrors above accessible lavatories/counters shall be installed with bottom edge of the reflecting surface 40" max. above the floor. Toilet room mirrors not located above lavatories or counters: bottom = 35" max. above the floor. Where mirrors in toilet rooms are provided, at least one shall comply.	(603.3 : 213.3.5 : A117.1:603.3)	place a full height mirror on end wall	No TI at outfield maintenance building or batting cages. Optional if to include ADA upgrade as part of this project.
SSOF-04		ADA-603-1		D	Yes	YES	Bottom edge of mirror not above a lavatory or counter has a reflecting surface higher than 40" above the floor.	"Mirrors in Mens and Womens Restrooms were mounted at 41".	Mirrors above accessible lavatories/counters shall be installed with bottom edge of the reflecting surface 40" max. above the floor. Toilet room mirrors not located above lavatories or counters: bottom = 35" max. above the floor. Where mirrors in toilet rooms are provided, at least one shall comply.	(603.3 : 213.3.5 : A117.1:603.3)	place a full height mirror on end wall	No TI at outfield maintenance building or batting cages. Optional if to include ADA upgrade as part of this project.
SSOF-05		ADA-604-5		C	No	YES	No ambulatory toilet, no ambulatory toilet compartment	"Mens restroom has 4 toilets and 3 urinals. Womens restroom has 7 toilets. No ambulatory compartment in either restroom."	In addition to an accessible toilet compartment, where six or more toilet compartments or combined toilets & urinals are provided, at least one shall be ambulatory. Ambulatory compartments require 60" clear depth and 35"-37" clear width.	(504.2 : 604.8.2.1 : 213.3.2)	demo existing toilet partitions. Provide new toilet partitions for ambulatory stall, double horizontal and vertical handrails	No TI at outfield maintenance building or batting cages. Optional if to include ADA upgrade as part of this project.
SSOF-05		ADA-604-5		C	No	YES	No ambulatory toilet, no ambulatory toilet compartment.	"Mens restroom has 4 toilets and 3 urinals. Womens restroom has 7 toilets. No ambulatory compartment in either restroom."	In addition to an accessible toilet compartment, where six or more toilet compartments or combined toilets & urinals are provided, at least one shall be ambulatory. Ambulatory compartments require 60" clear depth and 35"-37" clear width.	(604.2 : 604.8.2.1 : 213.3.2)	demo existing toilet partitions. Provide new toilet partitions for ambulatory stall, double horizontal and vertical handrails	No TI at outfield maintenance building or batting cages. Optional if to include ADA upgrade as part of this project.

Item 14: ADA Assessment Summary - City of Scottsdale Responsibility

Barrier's ID number	Room # or location	Internal ADA ID code	Criteria	Priority	Readily Achievable	20% Cost	Observation	Surveyor notes	Barrier's ADA text	ADA Reference #	Proposed Design Solution	Comments
SSOF-05		ADA 604.5	J.C	No	Yes		No ambulatory toilet, no ambulatory toilet compartment.	Mens restroom has 4 toilets and 3 urinals. Womens restroom has 7 toilets. No ambulatory compartment in either restroom.	In addition to an accessible toilet compartment, where six or more toilet compartments or combined toilets & urinals are provided, at least one shall be ambulatory. Ambulatory compartments require 60" clear depth and 35"-37" clear width.	(604.2 ; 604.8.2.1 ; 213.3.2)	demo existing toilet partitions. Provide new toilet partitions for ambulatory stall, double horizontal and vertical handrails	No TI at outfield maintenance building or batting cages. Optional if to include ADA upgrade as part of this project.
SSOF-06		ADA-213-1	J.B	Yes	Yes		Toilet room is not accessible.	Multiple barriers present in both restrooms.	Where toilet rooms are provided, each toilet room shall be accessible.	(713.2 ; 602)	demo toilet, lav and accessories. Provide new ada lav ada water closet, accessories and grab bars for this single hole RR.	
SSOF-06		ADA-213-1	J.B	Yes	Yes		Toilet room is not accessible.	Multiple barriers present in both restrooms.	Where toilet rooms are provided, each toilet room shall be accessible.	(713.2 ; 602)	demo toilet, lav and accessories. Provide new ada lav ada water closet, accessories and grab bars for this single hole RR.	
SSOF-07		ADA 606.5	J.C	Yes	Yes		Hot water line, cold water line and drain pipes below accessible lavatory are not insulated.	Piping under lavatory was not insulated in Men and Womens restroom.	Water supply and drain pipes under lavatories and sinks shall be insulated or otherwise configured to protect against contact. There shall be no sharp or abrasive surfaces below lavatories and sinks.	606.5	provide insulated guards for lines under 2 lavatories	No TI at outfield maintenance building or batting cages. Optional if to include ADA upgrade as part of this project.
SSOF-07		ADA 606.5	J.C	Yes	Yes		Hot water line, cold water line and drain pipes below accessible lavatory are not insulated.	Piping under lavatory was not insulated in Men and Womens restroom.	Water supply and drain pipes under lavatories and sinks shall be insulated or otherwise configured to protect against contact. There shall be no sharp or abrasive surfaces below lavatories and sinks.	606.5	provide insulated guards for lines under 2 lavatories	No TI at outfield maintenance building or batting cages. Optional if to include ADA upgrade as part of this project.
SSOF-08		ADA 603.1	J.D	Yes	Yes		Bottom edge of mirror not above a lavatory or counter has a reflecting surface higher than 40" above the floor.	Mirrors mounted too high in Men and Womens restrooms.	Mirrors above accessible lavatories/counters shall be installed with bottom edge of the reflecting surface 40" max. above the floor. Toilet room mirrors not located above lavatories or countertops. Bottom = 35" max. above the floor. Where mirrors in toilet rooms are provided, at least one shall comply.	(603.3 ; 213.3.5 ; A117.1-603.3)	place a full height mirror on end wall	No TI at outfield maintenance building or batting cages. Optional if to include ADA upgrade as part of this project.
SSOF-08		ADA 603.1	J.D	Yes	Yes		Bottom edge of mirror not above a lavatory or counter has a reflecting surface higher than 40" above the floor.	Mirrors mounted too high in Men and Womens restrooms.	Mirrors above accessible lavatories/counters shall be installed with bottom edge of the reflecting surface 40" max. above the floor. Toilet room mirrors not located above lavatories or countertops. Bottom = 35" max. above the floor. Where mirrors in toilet rooms are provided, at least one shall comply.	(603.3 ; 213.3.5 ; A117.1-603.3)	place a full height mirror on end wall	No TI at outfield maintenance building or batting cages. Optional if to include ADA upgrade as part of this project.
SSOF-09		ADA 604.1	J.C	No	Yes		Existing water closet is located a non-compliant distance from the centerline of the toilet to the side wall or partition.	Accessible toilet offset if 19.5 inches in Men and Womens restroom.	The centerline of the water closet shall be 15" minimum to 18" maximum from the side wall or partition.	604.2	modify position of toilet partition min 1.5" closer to water closet or provide new partitions and cut door, adjust rear wall grab bar	No TI at outfield maintenance building or batting cages. Optional if to include ADA upgrade as part of this project.
SSOF-09		ADA 604.1	J.C	No	Yes		Existing water closet is located a non-compliant distance from the centerline of the toilet to the side wall or partition.	Accessible toilet offset if 19.5 inches in Men and Womens restroom.	The centerline of the water closet shall be 15" minimum to 18" maximum from the side wall or partition.	604.2	modify position of toilet partition min 1.5" closer to water closet or provide new partitions and cut door, adjust rear wall grab bar	No TI at outfield maintenance building or batting cages. Optional if to include ADA upgrade as part of this project.

Item 14: ADA Assessment Summary - City of Scottsdale Responsibility.

Barrier's ID number	Room # or location	Internal ADA ID code	Criteria	Priority	Readily Achievable	20% Cost	Observation	Surveyor notes	Barrier's ADA text	ADA Reference #	Proposed Design Solution	Comments
SSOF-10		ADA-604-7		C	Yes	YES	Toilet paper dispenser is located outside of accessible reach range.	"Distance from grab bar to toilet paper dispenser is 6" to 8". (12" is required - See "Equivalent Facilitation" in Introduction. Barrier occurs in Men's and Women's restrooms.)	Toilet paper dispensers shall be installed 37" to 51" (centerline) in front of the accessible toilet. Outlet of the dispenser shall be installed 15" to 48" above the finish floor. (See "Equivalent Facilitation" for additional options.)	604.7	unscrew and reinstall toilet paper dispenser at ada height and distance	No T1 at outfield maintenance building or batting cages. Optional if to include ADA upgrade as part of this project.
SSOF-10		ADA-604-7		C	Yes	YES	Toilet paper dispenser is located outside of accessible reach range.	"Distance from grab bar to toilet paper dispenser is 6" to 8". (12" is required - See "Equivalent Facilitation" in Introduction. Barrier occurs in Men's and Women's restrooms.)	Toilet paper dispensers shall be installed 37" to 51" (centerline) in front of the accessible toilet. Outlet of the dispenser shall be installed 15" to 48" above the finish floor. (See "Equivalent Facilitation" for additional options.)	604.7	unscrew and reinstall toilet paper dispenser at ada height and distance	No T1 at outfield maintenance building or batting cages. Optional if to include ADA upgrade as part of this project.
SSOF-11		ADA-404-20		C	No	YES	Maneuvering clearance at door is not accessible.	"Maneuvering clearance at door is 48" on the pull side. Occurs in Men's and Women's restroom.	Manually operated doors shall comply with 2010 ADA Standards Table 404.2.4.1 or Figure 404.2.4.1 for maneuvering clearance to be accessible.	(404.2.4 Table 404.2.4.1; Figure 404.2.4.1)	auto door opener or remove closer	No T1 at outfield maintenance building or batting cages. Optional if to include ADA upgrade as part of this project.
SSOF-11		ADA-404-20		C	No	YES	Maneuvering clearance at door is not accessible.	"Maneuvering clearance at door is 48" on the pull side. Occurs in Men's and Women's restroom.	Manually operated doors shall comply with 2010 ADA Standards Table 404.2.4.1 or Figure 404.2.4.1 for maneuvering clearance to be accessible.	(404.2.4 Table 404.2.4.1; Figure 404.2.4.1)	auto door opener or remove closer	No T1 at outfield maintenance building or batting cages. Optional if to include ADA upgrade as part of this project.
SSOF-12		ADA-404-20		C	No	YES	Maneuvering clearance at door is not accessible.	Maneuvering clearance at door is 51" on the pull side. Occurs in Men's and Women's restroom.	Manually operated doors shall comply with 2010 ADA Standards Table 404.2.4.1 or Figure 404.2.4.1 for maneuvering clearance to be accessible.	(404.2.4 Table 404.2.4.1; Figure 404.2.4.1)	auto door opener or remove closer	No T1 at outfield maintenance building or batting cages. Optional if to include ADA upgrade as part of this project.
SSOF-12		ADA-404-20		C	No	YES	Maneuvering clearance at door is not accessible.	Maneuvering clearance at door is 58" on the pull side. Occurs in Men's and Women's restroom.	Manually operated doors shall comply with 2010 ADA Standards Table 404.2.4.1 or Figure 404.2.4.1 for maneuvering clearance to be accessible.	(404.2.4 Table 404.2.4.1; Figure 404.2.4.1)	auto door opener or remove closer	No T1 at outfield maintenance building or batting cages. Optional if to include ADA upgrade as part of this project.
SSOF-13		ADA-404-20		C	No	YES	Maneuvering clearance at door is not accessible.	Maneuvering clearance at door is 51" on the pull side. Occurs in Men's and Women's restroom.	Manually operated doors shall comply with 2010 ADA Standards Table 404.2.4.1 or Figure 404.2.4.1 for maneuvering clearance to be accessible.	(404.2.4 Table 404.2.4.1; Figure 404.2.4.1)	auto door opener or remove closer	No T1 at outfield maintenance building or batting cages. Optional if to include ADA upgrade as part of this project.
SSOF-13		ADA-404-20		C	No	YES	Maneuvering clearance at door is not accessible.	Maneuvering clearance at door is 58" on the pull side. Occurs in Men's and Women's restroom.	Manually operated doors shall comply with 2010 ADA Standards Table 404.2.4.1 or Figure 404.2.4.1 for maneuvering clearance to be accessible.	(404.2.4 Table 404.2.4.1; Figure 404.2.4.1)	auto door opener or remove closer	No T1 at outfield maintenance building or batting cages. Optional if to include ADA upgrade as part of this project.
SSOF-14		ADA-904-2		D	No	YES	Existing sales or service counter is too high.	Sales or Service counter top measures 44 inches to finish floor.	NW ticketing building. Sales or service counter shall be 38" high max. (+2" counter edge, if needed). Counter for forward approach shall be 30" for 8" minimum and 36" high maximum. Accessible knee and toe clearance shall be provided under the counter.	(904.4; 306; 227.3)	lower 1" window to 34" and cut counter to lower 36" of counter to 34"	

Item 14: ADA Assessment Summary - City of Scottsdale Responsibility

Barrier's ID number	Room # or location	Internal ADA ID code	Criteria	Priority	Readily Achievable	20% Cost	Observation	Surveyor notes	Barrier's ADA text	ADA Reference #	Proposed Design Solution	Comments
SSOP-16		ADA-302-4	1 C	No	YES		Joints in door maneuvering space at landing exceed 1/2" in width and has changes in level greater than 1/4".	Threshold at Ticketing office door has a gap that exceeds 1/2" and also has a change in level.	NW Ticketing building Openings in floor or ground surfaces shall not allow passage of a sphere more than 1/2". Change in level is not permitted at turning spaces, clear floor spaces, door maneuvering spaces and landings.	(302.3; 305.2; 404.2.4.4)	maybe to cut and replace concrete landing about 25sf or go to a ramp threshold but it will be about 12' long. Maybe grind concrete.	
SSPL - Press level (No Items)												
SSS - Stadium Seating (No Items)												
VCH - Visitor Clubhouse Lower Level												
VCH-01		ADA-206-3	2 C	Yes	YES		No accessible route throughout the facility.	No accessible route to Visitor Clubhouse. Stair access and egress only.	At least one accessible route shall connect accessible buildings or facility entrances with all accessible spaces and elements within the building or facility which are otherwise connected by a circulation path.	(206.2.4)	add an elevator or wheelchair lift. Existing conditions make both of these very intrusive and expensive. To accomplish either it would require major demo and wall reconstruction.	No TI at visiting clubhouse lower. Optional if to include ADA upgrade as part of this project. - programming option is preferred. See Report.
VCH-01		ADA-206-3	2 C	Yes	YES		No accessible route throughout the facility.	No accessible route to Visitor Clubhouse. Stair access and egress only.	At least one accessible route shall connect accessible buildings or facility entrances with all accessible spaces and elements within the building or facility which are otherwise connected by a circulation path.	(206.2.4)	add an elevator or wheelchair lift. Existing conditions make both of these very intrusive and expensive. To accomplish either it would require major demo and wall reconstruction.	No TI at visiting clubhouse lower. Optional if to include ADA upgrade as part of this project. - programming option is preferred. See Report.
VCH-01		ADA-206-3	2 C	Yes	YES		No accessible route throughout the facility.	No accessible route to Visitor Clubhouse. Stair access and egress only.	At least one accessible route shall connect accessible buildings or facility entrances with all accessible spaces and elements within the building or facility which are otherwise connected by a circulation path.	(206.2.4)	add an elevator or wheelchair lift. Existing conditions make both of these very intrusive and expensive. To accomplish either it would require major demo and wall reconstruction.	No TI at visiting clubhouse lower. Optional if to include ADA upgrade as part of this project. - programming option is preferred. See Report.
VCH-02		ADA-604-3	3 C	Yes	YES		No accessible toilet, no accessible toilet compartment.	There are no accessible toilets or toilet stalls in the player's toilet room, coaches' toilet room, umpire's toilet room or dugout area of the Visitor Clubhouse.	Where water closets are provided, at least one shall be accessible. Compartments with accessible water closets require 60" min. clear width and 59" min. clear depth.	(604.3; 604.8.1.1; 713.3.2)	demo 1 water closet, replace with ada height water closet, potentially demo 1 urinal, demo 1 lav and replace with ada height lav and reinstall prior to ada height, demo toilet partitions provide new to meet ADA stall dimensions.	No TI at visiting clubhouse lower. Optional if to include ADA upgrade as part of this project.
VCH-02		ADA-604-3	3 C	Yes	YES		No accessible toilet, no accessible toilet compartment.	There are no accessible toilets or toilet stalls in the player's toilet room, coaches' toilet room, umpire's toilet room or dugout area of the Visitor Clubhouse.	Where water closets are provided, at least one shall be accessible. Compartments with accessible water closets require 60" min. clear width and 59" min. clear depth.	(604.3; 604.8.1.1; 713.3.2)	demo 1 water closet, replace with ada height water closet, potentially demo 1 urinal, demo 1 lav and replace with ada height lav and reinstall prior to ada height, demo toilet partitions provide new to meet ADA stall dimensions.	No TI at visiting clubhouse lower. Optional if to include ADA upgrade as part of this project.
VCH-02		ADA-604-3	3 C	Yes	YES		No accessible toilet, no accessible toilet compartment.	There are no accessible toilets or toilet stalls in the player's toilet room, coaches' toilet room, umpire's toilet room or dugout area of the Visitor Clubhouse.	Where water closets are provided, at least one shall be accessible. Compartments with accessible water closets require 60" min. clear width and 59" min. clear depth.	(604.3; 604.8.1.1; 713.3.2)	demo 1 water closet, replace with ada height water closet, potentially demo 1 urinal, demo 1 lav and replace with ada height lav and reinstall prior to ada height, demo toilet partitions provide new to meet ADA stall dimensions.	No TI at visiting clubhouse lower. Optional if to include ADA upgrade as part of this project.

Item 14: ADA Assessment Summary - City of Scottsdale Responsibility

Barrier's ID number	Room # or location	Internal ADA ID code	Criteria	Priority	Readily Achievable	20% Cost	Observation	Surveyor notes	Barrier's ADA text	ADA Reference #	Proposed Design Solution	Comments
VCH-02		ADA-604-3	3C	Yes	YES	No accessible toilet, no accessible toilet compartment.	There are no accessible toilets or toilet stalls in the player's toilet room, coaches' toilet room, umpire's toilet room, or dugout area of the Visitor Clubhouse.	Where water closets are provided, at least one shall be accessible. Compartments with accessible water closets require 60" min. clear width and 59" min. clear depth.	(604.3-604.8.1.1; 213.3.2)	demo 1 water closet, replace with ada height water closet, potentially demo 1 urinal; demo 1 lav and replace with ada height lav and re-install urinal to ada height, demo toilet partitions provide new to meet ADA stall dimensions	No TI at visiting clubhouse lower. Optional if to include ADA upgrade as part of this project.	
VCH-03		ADA-608-1	3C	No	YES	No accessible shower in shower room.	There are no accessible showers in the player's toilet room; coaches' toilet room or umpire's toilet room of the Visitor Clubhouse. Most shower entrances have raised curbs.	Where showers are provided at least one shall be accessible. Showers can be either transfer type (36" x 36") or roll-in type (30" min. x 60" min.).	(608 : 213.6)	discuss with Dave. Demo 1 shower, rebuild with ada shower controls, walls, bench ect.	No TI at visiting clubhouse lower. Optional if to include ADA upgrade as part of this project.	
VCH-03		ADA-608-1	3C	No	YES	No accessible shower in shower room.	There are no accessible showers in the player's toilet room, coaches' toilet room or umpire's toilet room of the Visitor Clubhouse. Most shower entrances have raised curbs.	Where showers are provided at least one shall be accessible. Showers can be either transfer type (36" x 36") or roll-in type (30" min. x 60" min.).	(608 : 213.6)	Demo 1 shower, rebuild with ada shower controls, walls, bench ect.	No TI at visiting clubhouse lower. Optional if to include ADA upgrade as part of this project.	
VCH-03		ADA-608-1	3C	No	YES	No accessible shower in shower room.	There are no accessible showers in the player's toilet room, coaches' toilet room or umpire's toilet room of the Visitor Clubhouse. Most shower entrances have raised curbs.	Where showers are provided at least one shall be accessible. Showers can be either transfer type (36" x 36") or roll-in type (30" min. x 60" min.).	(608 : 213.6)	Demo 1 shower, rebuild with ada shower controls, walls, bench ect.	No TI at visiting clubhouse lower. Optional if to include ADA upgrade as part of this project.	
VCH-04		ADA-803-1	4C	No	NO	Accessible lockers are not provided in the locker room.	No accessible lockers in locker rooms. Player's locker room has 41 lockers. (3 are required to be accessible.) Coaches (6 lockers, 1 accessible req'd.) Umpires (4 lockers, 1 accessible req'd.)	Where dressing rooms, fitting rooms, or locker rooms are provided at least 5%, but no fewer than 1 of each type of use in each cluster shall be accessible.	(772.; 803.5)	players locker room - retrofit or replace 3 existing lockers to ADA lockers with ada bench	No TI at visiting clubhouse lower. Optional if to include ADA upgrade as part of this project.	
VCH-04		ADA-803-1	4C	No	NO	Accessible lockers are not provided in the locker room.	No accessible lockers in locker rooms. Player's locker room has 41 lockers. (3 are required to be accessible.) Coaches (6 lockers, 1 accessible req'd.) Umpires (4 lockers, 1 accessible req'd.)	Where dressing rooms, fitting rooms, or locker rooms are provided at least 5%, but no fewer than 1 of each type of use in each cluster shall be accessible.	(772.; 803.5)	coaches locker room - retrofit or replace 1 existing locker to ADA locker with ada bench	No TI at visiting clubhouse lower. Optional if to include ADA upgrade as part of this project.	
VCH-04		ADA-803-1	4C	No	NO	Accessible lockers are not provided in the locker room.	No accessible lockers in locker rooms. Player's locker room has 41 lockers. (3 are required to be accessible.) Coaches (6 lockers, 1 accessible req'd.) Umpires (4 lockers, 1 accessible req'd.)	Where dressing rooms, fitting rooms, or locker rooms are provided at least 5%, but no fewer than 1 of each type of use in each cluster shall be accessible.	(772.; 803.5)	umpires locker room - retrofit or replace 1 existing locker to ADA locker with ada bench	No TI at visiting clubhouse lower. Optional if to include ADA upgrade as part of this project.	
VCH-05		ADA-606-1	4D	No	NO	Sink is installed on a counter with a surface 36" high (or greater) above the finish floor.	Sink & countertop height exceeds 34". (Actual height is 36")	Lavatories and sinks shall be installed with the front of the higher of the rim or counter surface 34" maximum above the finish floor. (Applicable to 5% of sinks in a room, but no less than 1)	(606.3; 213.3)	demo lower cabinets and counter, Reinstall sink into new ada height counter and lower cabinets	No TI at visiting clubhouse lower. Optional if to include ADA upgrade as part of this project.	
VCH-06		ADA-404-9	3A	No	YES	Door does not have 18" maneuvering clearance on the pull side of the door.	Vending machine obstructs pull-side maneuvering clearance at door. (18" wide clearance is required.)	Door maneuvering clearance for front approach, pull side door requires 18" minimum clearance beyond latch side of door.	(Figure 404.7.4.1 (a))	relocate the vending machine to location that does not restrict the 18" latch side clearance.	No TI at visiting clubhouse lower. Optional if to include ADA upgrade as part of this project.	

Item 14: ADA Assessment Summary - City of Scottsdale Responsibility

Barrier's ID number	Room # or location	Internal ADA ID code	Criteria	Priority	Readily Achievable	20% Cost	Observation	Surveyor notes	Barrier's ADA text	ADA Reference #	Proposed Design Solution	Comments
VCH-07		ADA-603.1		D	Yes	YES	Bottom edge of mirror not above a lavatory or counter has a reflecting surface higher than 40" above the floor.	No accessible mirrors in player's toilet room, coaches toilet room or umpire's toilet room. Existing mirrors mounted above lavatories exceed 40" a 11. (144" actual height).	Mirrors above accessible lavatories/counters shall be installed with bottom edge of the reflecting surface 40" max. above the floor. Toilet room mirrors not located above lavatories or countertops: bottom = 35" max. above the floor. Where mirrors in toilet rooms are provided, at least one shall comply.	(603.3; 213.3.5; A117.1-603.3)	place a full height mirror on end wall	No TI at visiting clubhouse lower. Optional if to include ADA upgrade as part of this project.
VCH-07		ADA-603.1		D	Yes	YES	Bottom edge of mirror not above a lavatory or counter has a reflecting surface higher than 40" above the floor.	No accessible mirrors in player's toilet room, coaches toilet room or umpire's toilet room. Existing mirrors mounted above lavatories exceed 40" a 11. (144" actual height).	Mirrors above accessible lavatories/counters shall be installed with bottom edge of the reflecting surface 40" max. above the floor. Toilet room mirrors not located above lavatories or countertops: bottom = 35" max. above the floor. Where mirrors in toilet rooms are provided, at least one shall comply.	(603.3; 213.3.5; A117.1-603.3)	place a full height mirror on end wall	No TI at visiting clubhouse lower. Optional if to include ADA upgrade as part of this project.
VCH-07		ADA-603.1		D	Yes	YES	Bottom edge of mirror not above a lavatory or counter has a reflecting surface higher than 40" above the floor.	No accessible mirrors in player's toilet room, coaches toilet room or umpire's toilet room. Existing mirrors mounted above lavatories exceed 40" a 11. (144" actual height).	Mirrors above accessible lavatories/counters shall be installed with bottom edge of the reflecting surface 40" max. above the floor. Toilet room mirrors not located above lavatories or countertops: bottom = 35" max. above the floor. Where mirrors in toilet rooms are provided, at least one shall comply.	(603.3; 213.3.5; A117.1-603.3)	place a full height mirror on end wall	No TI at visiting clubhouse lower. Optional if to include ADA upgrade as part of this project.
VCH-08		ADA-606.5		C	Yes	YES	Hot water line, cold water line and drain pipe below accessible lavatory are not insulated.	Lavatories in player's toilet room, coaches toilet room and umpire's toilet room do not have insulated coverings at piping below the lavatory.	Water supply and drain pipes under lavatories and sinks shall be insulated or otherwise configured to protect against contact. There shall be no sharp or abrasive surfaces below lavatories and sinks.	606.5	provide insulated guards for lines under 4 lavatories	No TI at visiting clubhouse lower. Optional if to include ADA upgrade as part of this project.
VCH-08		ADA-606.5		C	Yes	YES	Hot water line, cold water line and drain pipe below accessible lavatory are not insulated.	Lavatories in player's toilet room, coaches toilet room and umpire's toilet room do not have insulated coverings at piping below the lavatory.	Water supply and drain pipes under lavatories and sinks shall be insulated or otherwise configured to protect against contact. There shall be no sharp or abrasive surfaces below lavatories and sinks.	606.5	provide insulated guards for lines under 2 lavatories	No TI at visiting clubhouse lower. Optional if to include ADA upgrade as part of this project.
VCH-08		ADA-606.5		C	Yes	YES	Hot water line, cold water line and drain pipe below accessible lavatory are not insulated.	Lavatories in player's toilet room, coaches toilet room and umpire's toilet room do not have insulated coverings at piping below the lavatory.	Water supply and drain pipes under lavatories and sinks shall be insulated or otherwise configured to protect against contact. There shall be no sharp or abrasive surfaces below lavatories and sinks.	606.5	provide insulated guards for lines under 1 lavatory	No TI at visiting clubhouse lower. Optional if to include ADA upgrade as part of this project.
VCH-09		ADA-404.19		D	Yes	YES	Threshold at door is non-compliant.	Threshold at top landing of stairway leading from concourse to the Main Clubhouse has a level change that is too high to comply with accessibility requirements.	Thresholds shall be 1/2" high maximum. Changes in level between 1/4" high minimum and 1/2" high maximum shall be beveled with a slope not steeper than 1:2.	(404.2.4.4)	maybe seal cut and replace concrete landing about 25sf or go to a ramp threshold but it will be about 12' long	No TI at visiting clubhouse lower. Optional if to include ADA upgrade as part of this project.
VCH-10		ADA-307.1		D	Yes	YES	Fire extinguisher cabinet protrudes into a circulation path more than 4".	Surface mounted fire extinguisher & cabinet has multiple barriers. Cabinet projects 6" into circulation path. Cabinet is mounted too high outside of proper reach limits.	Objects with leading edges more than 27" and not more than 80" above the finish floor or ground shall protrude 4" maximum horizontally into the circulation path.	307.2	remove existing fire extinguisher cabinet. Provide new semi-recessed cabinet into wall	No TI at visiting clubhouse lower. Optional if to include ADA upgrade as part of this project.



Item 14: ADA Assessment Summary - City of Scottsdale Responsibility

Barrier's ID number	Room # or location	Internal ADA ID code	Criteria	Priority	Readily Achievable	20% Cost	Observation	Surveyor notes	Barrier's ADA text	ADA Reference #	Proposed Design Solution	Comments
VCH-11		ADA-404-10	2	C	Yes	YES	The force required to open the door exceeds the allowable 5 lbs limit.	Doors throughout the Visitor Clubhouse require between 7-9 lbs of force to open.	The force for pushing or pulling open a door or gate other than fire doors shall be 5 lbs maximum for interior hinged, sliding or folding doors and gates. Fire doors and exterior hinged doors by AHJ.	(404.2.9)	option 1: adjust door closer strength to less than 5psi. Option 2: replace closer. The mech air pressure sometimes makes closer adjustment difficult	No TI at visiting clubhouse lower. Optional if to include ADA upgrade as part of this project.
VCH-11		ADA-404-10	2	C	Yes	YES	The force required to open the door exceeds the allowable 5 lbs limit.	Doors throughout the Visitor Clubhouse require between 7-9 lbs of force to open.	The force for pushing or pulling open a door or gate other than fire doors shall be 5 lbs maximum for interior hinged, sliding or folding doors and gates. Fire doors and exterior hinged doors by AHJ.	(404.2.9)	option 1: adjust door closer strength to less than 5psi. Option 2: replace closer. The mech air pressure sometimes makes closer adjustment difficult	No TI at visiting clubhouse lower. Optional if to include ADA upgrade as part of this project.
VCH-11		ADA-404-10	2	C	Yes	YES	The force required to open the door exceeds the allowable 5 lbs limit.	Doors throughout the Visitor Clubhouse require between 7-9 lbs of force to open.	The force for pushing or pulling open a door or gate other than fire doors shall be 5 lbs maximum for interior hinged, sliding or folding doors and gates. Fire doors and exterior hinged doors by AHJ.	(404.2.9)	option 1: adjust door closer strength to less than 5psi. Option 2: replace closer. The mech air pressure sometimes makes closer adjustment difficult	No TI at visiting clubhouse lower. Optional if to include ADA upgrade as part of this project.
VCH-11		ADA-404-10	2	C	Yes	YES	The force required to open the door exceeds the allowable 5 lbs limit.	Doors throughout the Visitor Clubhouse require between 7-9 lbs of force to open.	The force for pushing or pulling open a door or gate other than fire doors shall be 5 lbs maximum for interior hinged, sliding or folding doors and gates. Fire doors and exterior hinged doors by AHJ.	(404.2.9)	option 1: adjust door closer strength to less than 5psi. Option 2: replace closer. The mech air pressure sometimes makes closer adjustment difficult	No TI at visiting clubhouse lower. Optional if to include ADA upgrade as part of this project.

Item 14: ADA Assessment Summary - No Action Required

Barrier's ID number	Room # or location	Internal ADA ID code	Criteria	Priority	Readily Achievable	20% Cost	Observation	Surveyor notes	Barrier's ADA text	ADA Reference #	Proposed Design Solution	Comments
<b>Site/Berm</b>												
SFGL-04		ADA 202.4	2.B	No	NO		Public facility rooms are not accessible.	Garage had interior floor slopes greater than 2%. Cross and running slopes observed.	Each service program, or activity conducted by a public entity, when the and its entry, shall be readily accessible to and usable by individuals with disabilities.	(304.1.75 CFR 35.150 (a) 1)		Garage will be demold with phase 2 storm work.
<b>Site Team Store (No Items)</b>												
<b>SFGL Giants Clubhouse Ground Level - Demo'd</b>												
SFGL-01		ADA 304.12	2.D	No	NO		For a net reach obstruction greater than 25" in depth.	Ticketing Office contains 6 sliding bollards non-accessible to employees and a single ticketing station with a 26.5" forward reach over its work surface.	Where the height between such two levels in an obstruction the width depth should be 21" maximum.	(304.2.3)		Clubhouse (including this barrier) will be demold entirely at ground level and replaced with new accessible clubhouse.
SFGL-02		ADA 404.9	1.C	No	YES		Door does not have 19" maneuvering clearance on the pull side of the door.	Entrance to Ticketing cash office has 4 degree wall with no 18" toe pull side.	Clear maneuvering clearance for front approach, full side door requires 18" minimum clearance beyond width of door.	(Figure 404.2.4 (1))		Clubhouse (including this barrier) will be demold entirely at ground level and replaced with new accessible clubhouse.
SFGL-03		ADA 404.10	2.C	Yes	YES		The force required to open the door exceeds the allowable 5 lbs force.	Opening force from entry door from Lobby to Ticketing office measures 3 pounds. An opening force greater than 5 pounds exist at door throughout this facility.	The force for pushing or pulling open a door or gate other than fire doors shall be 5 lbs maximum for interior hinged, sliding or folding doors and gates. Fire doors and exterior hinged doors by 80%.	(ADA 2.9)		Clubhouse (including this barrier) will be demold entirely at ground level and replaced with new accessible clubhouse.
SFGL-04		ADA 404.10	2.C	Yes	YES		The force required to open the door exceeds the allowable 5 lbs force.	Opening force from entry door from Lobby to Ticketing office measures 8 pounds. An opening force greater than 5 pounds exist at door throughout this facility.	The force for pushing or pulling open a door or gate other than fire doors shall be 5 lbs maximum for interior hinged, sliding or folding doors and gates. Fire doors and exterior hinged doors by 80%.	(ADA 2.9)		Clubhouse (including this barrier) will be demold entirely at ground level and replaced with new accessible clubhouse.
SFGL-05		ADA 404.10	2.C	Yes	YES		The force required to open the door exceeds the allowable 5 lbs force.	Opening force from entry door from Lobby to Ticketing office measures 8 pounds. An opening force greater than 5 pounds exist at door throughout this facility.	The force for pushing or pulling open a door or gate other than fire doors shall be 5 lbs maximum for interior hinged, sliding or folding doors and gates. Fire doors and exterior hinged doors by 80%.	(ADA 2.9)		Clubhouse (including this barrier) will be demold entirely at ground level and replaced with new accessible clubhouse.
SFGL-06		ADA 404.10	2.C	Yes	YES		The force required to open the door exceeds the allowable 5 lbs force.	Opening force from entry door from Lobby to Ticketing office measures 6 pounds. An opening force greater than 5 pounds exist at door throughout this facility.	The force for pushing or pulling open a door or gate other than fire doors shall be 5 lbs maximum for interior hinged, sliding or folding doors and gates. Fire doors and exterior hinged doors by 80%.	(ADA 2.9)		Clubhouse (including this barrier) will be demold entirely at ground level and replaced with new accessible clubhouse.
SFGL-07		ADA 404.10	2.C	Yes	YES		The force required to open the door exceeds the allowable 5 lbs force.	Opening force from entry door from Lobby to Ticketing office measures 8 pounds. An opening force greater than 5 pounds exist at door throughout this facility.	The force for pushing or pulling open a door or gate other than fire doors shall be 5 lbs maximum for interior hinged, sliding or folding doors and gates. Fire doors and exterior hinged doors by 80%.	(ADA 2.9)		Clubhouse (including this barrier) will be demold entirely at ground level and replaced with new accessible clubhouse.
SFGL-08		ADA 404.10	2.C	Yes	YES		The force required to open the door exceeds the allowable 5 lbs force.	Opening force from entry door from Lobby to Ticketing office measures 8 pounds. An opening force greater than 5 pounds exist at door throughout this facility.	The force for pushing or pulling open a door or gate other than fire doors shall be 5 lbs maximum for interior hinged, sliding or folding doors and gates. Fire doors and exterior hinged doors by 80%.	(ADA 2.9)		Clubhouse (including this barrier) will be demold entirely at ground level and replaced with new accessible clubhouse.
SFGL-09		ADA 404.10	2.C	Yes	YES		The force required to open the door exceeds the allowable 5 lbs force.	Opening force from entry door from Lobby to Ticketing office measures 8 pounds. An opening force greater than 5 pounds exist at door throughout this facility.	The force for pushing or pulling open a door or gate other than fire doors shall be 5 lbs maximum for interior hinged, sliding or folding doors and gates. Fire doors and exterior hinged doors by 80%.	(ADA 2.9)		Clubhouse (including this barrier) will be demold entirely at ground level and replaced with new accessible clubhouse.
SFGL-01		ADA 304.4	1.C	No	YES		Where a door maneuvering clearance is not provided.	Entrance to the clubhouse has a cross slope of 3%. Compliant cross slopes are 2% or less.	Shows that steeper than 1% shall be permitted at turning streets, clear floor spaces, clear maneuvering spaces and landings.	(304.2.1, 305.2.1.1, 305.2.1.1, 304.4)		Clubhouse (including this barrier) will be demold entirely at ground level and replaced with new accessible clubhouse.

Item 14: ADA Assessment Summary - No Action Required												
Barrier's ID number	Room # or location	Internal ADA ID code	Criteria	Priority	Readily Achievable	20% Cost	Observation	Surveyor notes	Barrier's ADA text	ADA Reference #	Proposed Design Solution	Comments
SFGL-05		ADA 608-1	C	No	Yes	Yes	No accessible shower in shower room.	Transfer type shower is missing grab bars and seat. Shower correctly measures 36" x 36".	Where showers are provided at least one shall be accessible. Showers can be either transfer type (36" x 36") or roll-in type (50" min. x 60" min.).	609.2(2)(4)	Clubhouse including this barrier will be demolished entirely, a new level will be installed with new accessible clubhouse.	
SFGL-06		ADA 603-1	D	No	Yes	Yes	Bottom edge of mirror not above a lavatory or toilet has a maximum surface higher than 40" above the floor.	Mirror measures 21.5" from floor to the reflecting surface.	Where above accessible lavatories/counters shall be installed with bottom edge of the reflecting surface 40" max. above the finish floor at most points not to exceed above lavatories or counter tops. Bottom 36" max. above the floor. Where mirrors in toilet rooms are provided, at least one shall comply.	603.2(2)(9), 5.5, 4.11(1), 603.3	Clubhouse including this barrier will be demolished entirely, a new level will be installed with new accessible clubhouse.	
SFGL-07		ADA 608-1	C	No	Yes	Yes	No accessible shower in shower room.	Shower in floor room has no accessible features. Entrance to the shower has a curb.	Where showers are provided at least one shall be accessible. Showers can be either transfer type (36" x 36") or roll-in type (50" min. x 60" min.).	609.2(2)(4)	Clubhouse including this barrier will be demolished entirely, a new level will be installed with new accessible clubhouse.	
<b>SFLU - Glants Clubhouse Lower Level (No Items)</b>												
<b>SSCL - Concourse Level (No Items)</b>												
<b>SSDF - Out Field Buildings and RR by Clubhouse (No Items)</b>												
<b>SSPL - Press Level</b>												
SSPL-01		ADA 604-3	C	No	Yes	Yes	No accessible toilet, no accessible toilet compartment.	Toilet seat height is 15" from finish floor. (17" to 19" seat height is required at accessible toilets.)	Where water closets are provided, at least one shall be accessible. Compartments with accessible water closets require 50" min. clear width and 50" min. clear depth.	604.3(6)(1), 1.1, 2(1), 3(2)	Remove water closet and replace with 2 ADA compliant water closet. Rebuild toilet partitions.	Project will rebuild RR
SSPL-02		ADA 605-6	C	No	Yes	Yes	Lavatories are too high and do not have pipe insulation, drain pipes and sanitary type restrict lines and toe clearance. Mirror measured 44".	Lavatories are too high and do not have pipe insulation, drain pipes and sanitary type restrict lines and toe clearance. Mirror measured 44".	Where lavatories are provided, at least one shall comply with 605 and shall not be located in a toilet compartment.	2(1), 3(4), 605	Remove counter and 2 low height ADA compliant counter and 2 ADA accessible lav. Remove mirrors at 60" height.	Project will rebuild RR
SSPL-03		ADA 604-1	D	No	Yes	Yes	Ases. No urinal is located in an above. Despite that 24". An accessible urinal does not have a clear floor space 36" wide or greater.	Urinal located in an above, less than 30" width. ADA requires 36" clearance at this above.	Where more than 1 urinal is provided at least one shall be accessible. A clear floor space 30" wide shall be provided around an accessible urinal in an above. Clear floor space 36" wide shall be provided where an accessible urinal is in an above despite that 24".	605.2(1)(3), 1.1, 3(5), 7	Project will rebuild RR partitions and new urinals.	Project will rebuild RR
SSPL-04		ADA 604-11	D	No	Yes	Yes	Toilet compartment door location does not comply with accessibility standards.	Accessible compartment door is 6 inches from wall.	Doors shall be located in the front part of a lavatory or in side wall or partition farthest from the water closet. Where located in the front part only, the door opening shall be 4 inches minimum from the side wall or partition closest to the water closet.	604.6(1)(2)	Project will rebuild RR partition and new fixtures.	Project will rebuild RR
SSPL-05		ADA 605-6	C	No	Yes	Yes	No accessible lavatory or sink.	Lavatories are too high and do not have pipe insulation, drain pipes and sanitary type restrict lines and toe clearance. Mirror measured 44".	Where lavatories are provided, at least one shall comply with 605 and shall not be located in a toilet compartment.	2(1), 3(4), 605	Remove counter and 2 low height ADA compliant counter and 2 ADA accessible lav. Remove mirrors at 60" height. Rebuild sanitary restrict lines with one that only has 24" projection.	Project will rebuild RR

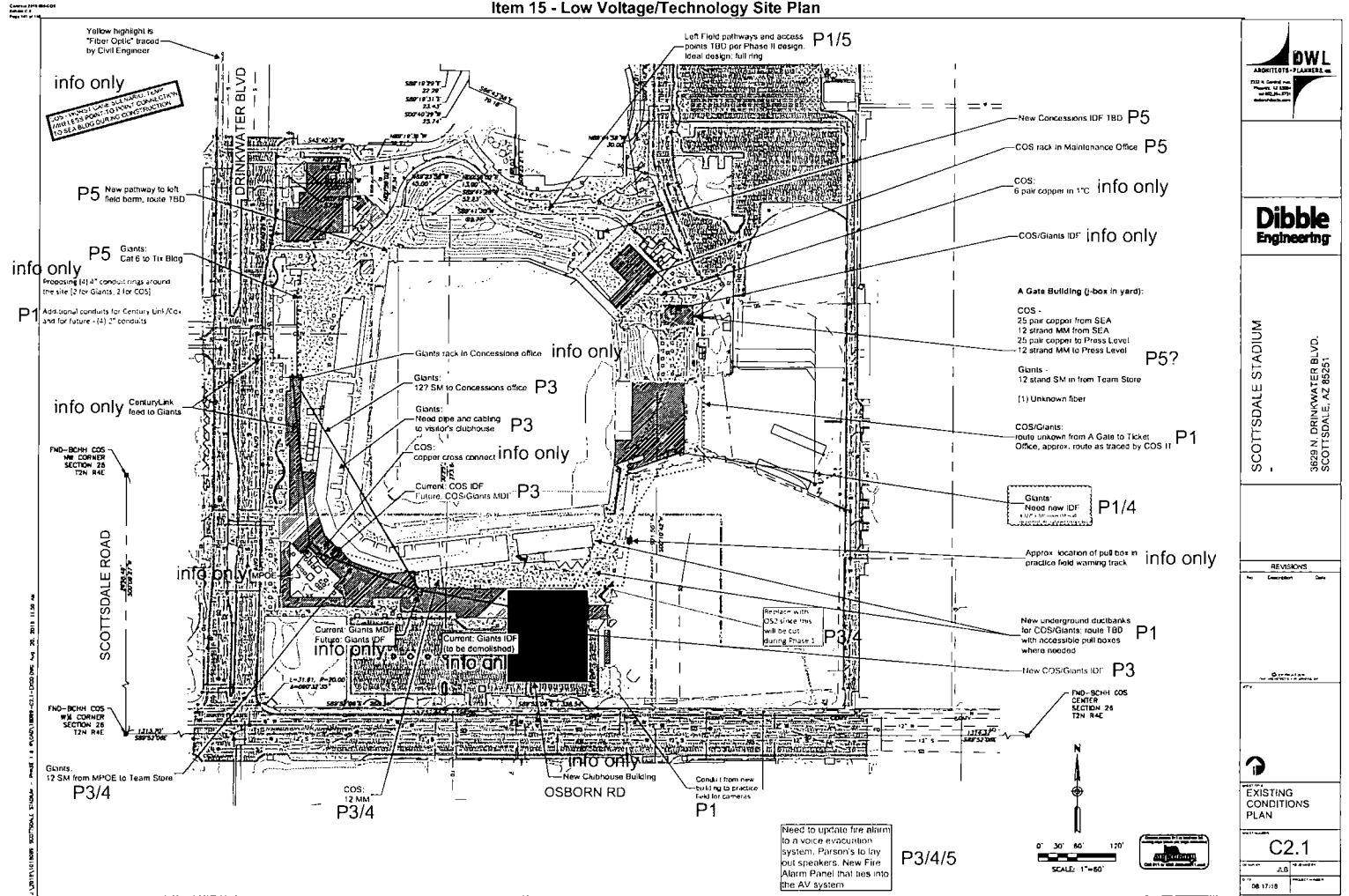
Item 14: ADA Assessment Summary - No Action Required

Barrier's ID number	Room # or location	Internal ADA ID code	Criteria	Priority	Readily Achievable	20% Cost	Observation	Surveyor notes	Barrier's ADA text	ADA Reference #	Proposed Design Solution	Comments
SSPL-06		ADA-213-1		B	Yes	YES	Toilet room is not accessible.	Single user toilet room is not accessible. No grab bars, too far from side wall, Mirror too high, No insulation under lavatory, Etc.	Where toilet rooms are provided, each toilet room shall be accessible.	(213.2 - 601)	Single toilet, lav and accessories. Provide new ADA lav with a grab bar, 2' door swing and grab bars for this single toilet. Build side wall closer to toilet to 16" from CL.	Project will rebuild RL
SSPL-07		ADA-213-1		B	Yes	YES	Toilet room is not accessible.	Single user toilet room is not accessible. No grab bars, too far from side wall, Mirror too high, No insulation under lavatory, Etc.	Where toilet rooms are provided, each toilet room shall be accessible.	(213.2 - 602)	Single toilet, lav and accessories. Provide new ADA lav with a grab bar, 2' door swing and grab bars for this single toilet. Build side wall closer to toilet to 16" from CL.	Project will rebuild RB
SSPL-08		ADA-404-5		A	No	YES	Door does not have 18" maneuvering clearance on the pull side of the door.	Door does not have 18" maneuvering clearance on the pull side of the door.	Door maneuvering clearance for front approach, push side door requires 18" minimum clearance on both sides of door.	(Figure 404.2.4.1 (a))	Intersect walls and door are dem'd.	
SSPL-09		ADA-404-7		A	No	YES	Door does not have 17" maneuvering clearance on the push side of the door.	Door does not have 17" maneuvering clearance on the push side of the door.	Door maneuvering clearance for front approach, push side door with both a push and pull requires 17" minimum clearance behind latch side of door.	(Figure 404.2.4.1 (a))	Intersect walls and door are dem'd. Frame with existing door with panel, but hinge side to the wall. This is also a code existing issue.	Per code door needs to go outward.
SSPL-10		ADA-404-8		A	No	YES	Door does not have 18" maneuvering clearance on the pull side of the door.	Door pull side not compliant. Automatic door opener not working. (Note: Building Code requires door to swing outward).	Door maneuvering clearance for front approach, pull side door requires 18" minimum clearance behind latch side of door.	(Figure 404.2.4.1 (a))	Remove and replace door and frame with existing door with panel, but hinge side to the wall. This is also a code existing issue.	per code door needs to go outward.
SSPL-11		ADA-405-3		C	Yes	YES	Hot water line, cold water line and drain pipe below accessible lavatory are not insulated.	Hot water line, cold water line and drain pipe below accessible lavatory are not insulated. Sink missing insulation.	Water supply and drain pipes under lavatories and sinks shall be insulated in accordance with the following: (1) pipes shall be wrapped against contact. There shall be no sharp or abrasive surfaces below lavatories and sinks.	405-3	Provide insulated guards for lavatory. Verify this counter is dem'd.	
SSPL-12		ADA-404-9		A	No	YES	Door does not have 18" maneuvering clearance on the pull side of the door.	Door pull side not compliant. (Note: Building Code requires door to swing outward).	Door maneuvering clearance for front approach, pull side door requires 18" minimum clearance behind latch side of door.	(Figure 404.2.4.1 (a))	Remove and replace door and frame with existing door with panel, but hinge side to the wall. This is also a code existing issue.	
SSPL-13		ADA-405-3		C	Yes	YES	Hot water line, cold water line and drain pipe below accessible lavatory are not insulated.	Hot water line, cold water line and drain pipe below accessible lavatory are not insulated. Sink missing insulation.	Water supply and drain pipes under lavatories and sinks shall be insulated in accordance with the following: (1) pipes shall be wrapped against contact. There shall be no sharp or abrasive surfaces below lavatories and sinks.	405-3	Provide insulated guards for lavatory. Verify this counter is dem'd.	
SSPL-14		ADA-404-7		A	No	YES	Door does not have 17" maneuvering clearance on the push side of the door.	Corridor, Janitor Booth, Executive Suite and Conference Room door push side not compliant. Vending machine in the 12 inch maneuvering clearance of the Corridor door.	Door maneuvering clearance for front approach, push side door with both a push and pull requires 17" minimum clearance behind latch side of door.	(Figure 404.2.4.1 (a))	Corridor door is dem'd from new pane.	
SSPL-14		ADA-404-7		A	No	YES	Door does not have 17" maneuvering clearance on the push side of the door.	Corridor, Janitor Booth, Executive Suite and Conference Room door push side not compliant. Vending machine in the 12 inch maneuvering clearance of the Corridor door.	Door maneuvering clearance for front approach, push side door with both a push and pull requires 17" minimum clearance behind latch side of door.	(Figure 404.2.4.1 (a))	Single user toilet, lav and accessories. Provide new ADA lav with a grab bar, 2' door swing and grab bars for this single toilet. Build side wall closer to toilet to 16" from CL.	
SSPL-15		ADA-404-7		A	No	YES	Door does not have 17" maneuvering clearance on the push side of the door.	Corridor, Janitor Booth, Executive Suite and Conference Room door push side not compliant. Vending machine in the 12 inch maneuvering clearance of the Corridor door.	Door maneuvering clearance for front approach, push side door with both a push and pull requires 17" minimum clearance behind latch side of door.	(Figure 404.2.4.1 (a))	Single user toilet, lav and accessories. Provide new ADA lav with a grab bar, 2' door swing and grab bars for this single toilet. Build side wall closer to toilet to 16" from CL.	

**Item 14: ADA Assessment Summary - No Action Required**

Barrier's ID number	Room # or location	Internal ADA ID code	Criteria	Priority	Readily Achievable	20% Cost	Observation	Surveyor notes	Barrier's ADA text	ADA Reference #	Proposed Design Solution	Comments
SSPL-15		ADA-501.9	3.A	No	Yes		Door does not have 18" minimum clearance on the pull side of the door.	Corridor, Executive Suite door pull side not compliant. Does not provide 18 inch maneuvering clearance.	Door maneuvering clearance for front approach, pull side door requires 18" minimum clearance beyond latch side of door.	Figure 404.2.1.1(4)	Door will walk on exit end air demand	
SSPL-15		ADA-501.9	4.A	No	Yes		Door does not have 18" minimum clearance on the pull side of the door.	Corridor, Executive Suite door pull side not compliant. Does not provide 18 inch maneuvering clearance.	Door maneuvering clearance for front approach, pull side door requires 18" minimum clearance beyond latch side of door.	Figure 404.2.1.1(4)	Corridor door is closed on new plan	
SSPL-16		ADA-307.1	4.B	No	Yes		Fire extinguisher cabinet protrudes into a circulation path more than 4".	Fire extinguisher cabinet projects into the circulation path in the walkway corridor.	Objects with leading edges more than 27" and not more than 90" above the finish floor or ground shall protrude 4" maximum horizontally into the circulation path.	307.2	Remove existing fire doors and frames, install fire exit door and frames. Remove and salvage fire extinguisher cabinet. Bottom of fire extinguisher cabinet is lower than	
<b>SSS - Stadium Seating (No Items)</b>												
<b>VCH - Visitor Clubhouse Lower Level (No Items)</b>												

Item 15 - Low Voltage/Technology Site Plan



SCOTTSDALE STADIUM  
 3828 N. DRINKWATER BLVD.  
 SCOTTSDALE, AZ 85251

REVISIONS		
No.	Description	Date

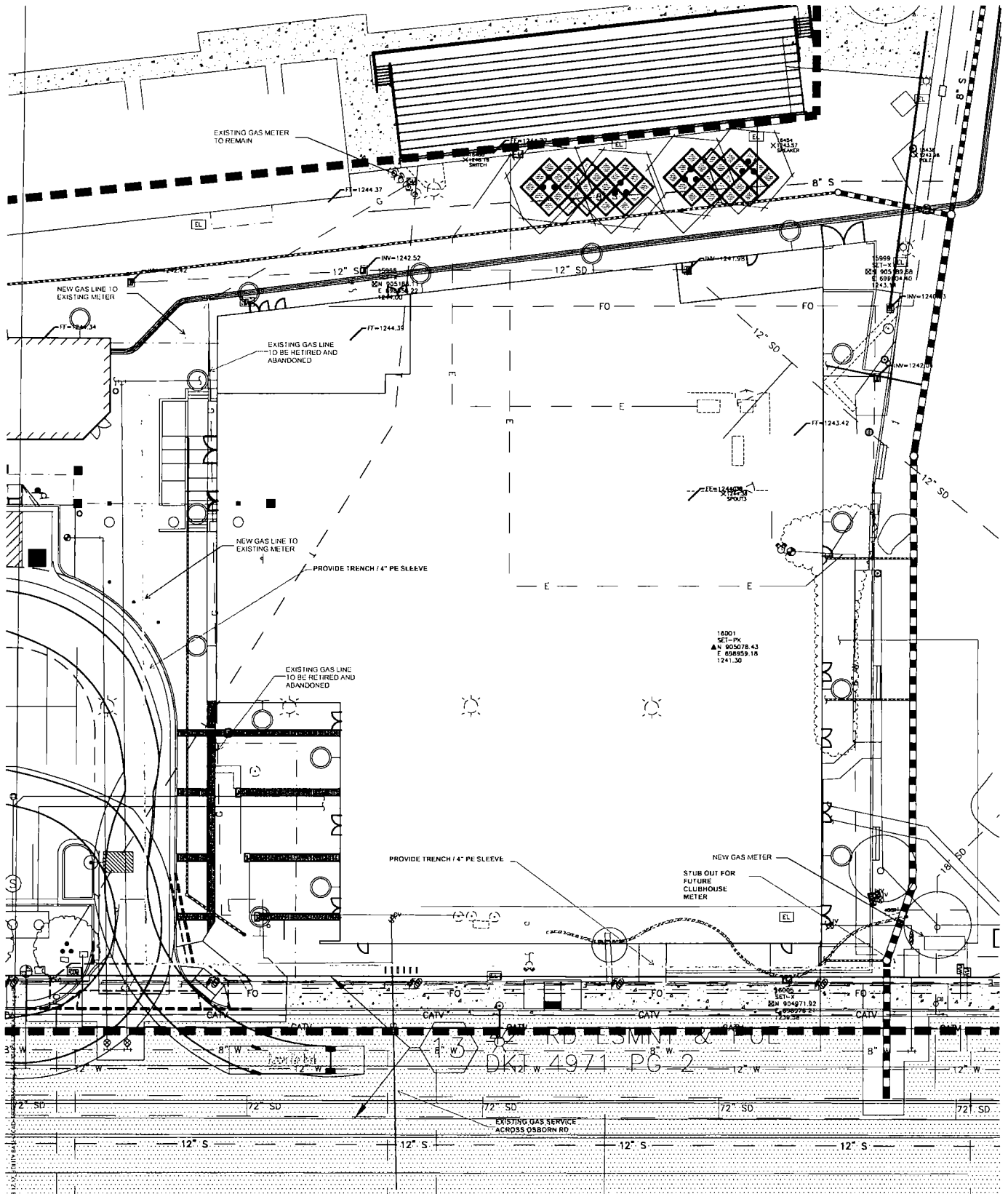


EXISTING CONDITIONS PLAN  
**C2.1**  
 08/17/18

Need to update fire alarm to a voice evacuation system. Parsons to lay out speakers. New Fire Alarm Panel that ties into the AV system

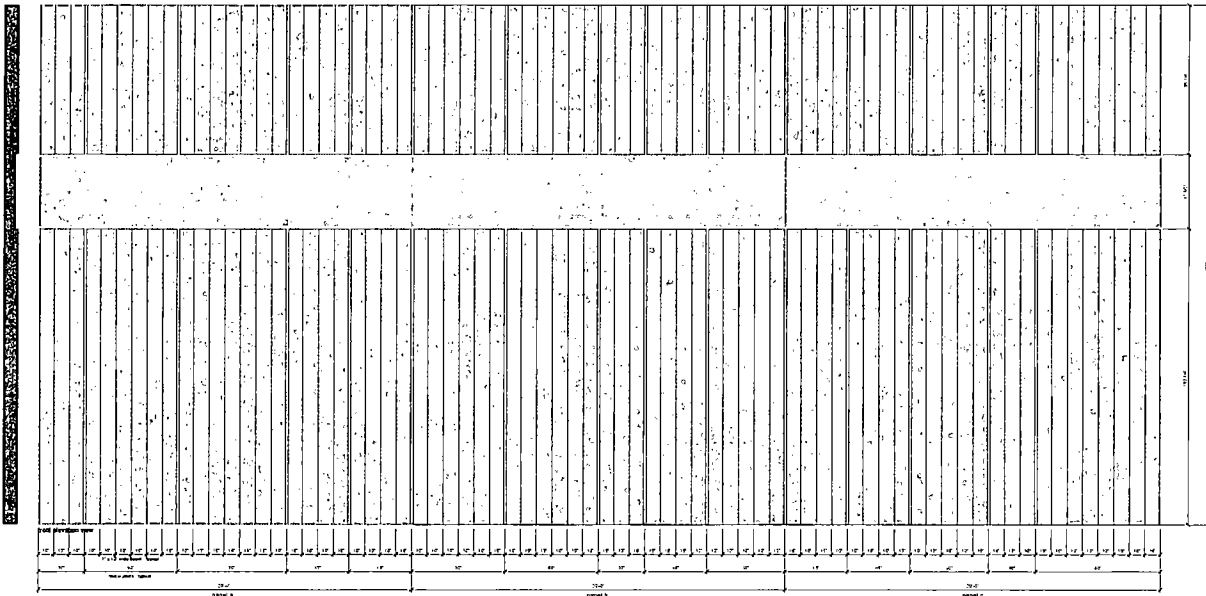
P3/4/5

# SW Gas Proposed Gas Line Routing Sleeve Design 2/11/2019



1:\projects\2011-006-C04\142.dwg (1/11/2019 10:58:11 AM) 142

# PROPOSED BOARD FORMED CONCRETE DETAILS





---

## SCHEDULE NARRATIVE

The attached schedule, dated 3/14/2019, has been updated to include the project detail for the Scottsdale Stadium Multi-Use Event Center Phase 1 scope. This schedule identifies bid packages, drawing packages and GMP packages that were reviewed and approved with the Project Team. In order for the Project to be successful, the entire Project Team must support and execute their part of the schedule. The proposed schedule includes two design phases, five design packages, four GMP packages, and two construction phases.

### Design Phases

- *Design Phase 1* – This phase includes CD Packages 1, 2, 3, and 4, which are described in more detail below.
- *Design Phase 2* – This phase includes CD package 5, which contains all of the Phase 2, which is described in more detail below.

### Design Packages

Per the City of Scottsdale planning department the project has been broken up into five separate drawing packages to submit for permit.

- *Design Package 1* – Design Phase 1 Demo and Site Improvements.
- *Design Package 2* – Design Phase 1 Clubhouse Core and Shell, Long Lead MEP Equipment.
- *Design Package 3* – Design Phase 1 Clubhouse Buildout
- *Design Package 4* – Design Phase 1 Stadium Interiors, Demo, and Buildout
- *Design Package 5* – Design Phase 2 Demo & New Scope

### GMP Packages

The four GMP packages outlined in the attached schedule are described below.

- *GMP Package 1* – Design Packages 1 & 2, Phase 1 long lead items from design packages 3 & 4
- *GMP Package 2* – Remainder of Design Packages 1 & 2
- *GMP Package 2* – Remainder of Design Packages 3 & 4
- *GMP Package 3* – Design Package 5

### Construction Phases

*Construction Phase 1* includes the New Clubhouse/Multi-use Building, Main Entry Plaza and Parking, City Offices & New Ticketing, Right Field Seating, Charros Deck, Press Club Level and A/V Broadcast Conduits. A/V Broadcast area will be completed in Phase 2. Phase 1 will also pick up the non-compliant code issue items that are in the areas listed.

Phase 1 is currently scheduled for construction to start on March 25, 2019; substantially complete by February 15, 2020; and final complete by March 31, 2020.

---

## SCHEDULE NARRATIVE

After Phase 1 is complete, Hunt will demobilize from the project for 10 weeks and then re-mobilize on March 30, 2020 for Phase 2.

*Construction Phase 2* includes the Left Field Berm & Center Field Building, Gate A, Premium Seating Areas, Press Level Restrooms and Broadcast Truck Docking Station. Phase 2 will also pick up the remaining non-compliant code items that are in the areas listed. The Shade Canopies, Outfield Restrooms, and Left Field Seating are all options to be included in Phase 2, but are currently listed as add alternates.

Phase 2 is currently tentatively scheduled to start construction on March 30, 2020 and substantially complete on December 31, 2020. The construction schedule will be developed further and issued in the Design Development package for Phase 2. The current schedule issued with this package shows summary bars for Phase 2 scope of work.

Note that Phase 2 design has been placed on hold by the City of Scottsdale, until directed otherwise. This may affect the construction dates listed above.

### Long Lead Equipment

The schedule has been updated to include the requirements for submittal preparation, submittal review, and procurement of the major long lead materials and equipment for Phase 1. The major long lead items that are included in this GMP package and consist of the following items:

- Structural Steel & Decking
- Masonry
- Elevator
- Wheelchair Lift
- Mechanical Equipment
- Electrical Equipment

This schedule assumes that a Notice to Proceed is provided from the City of Scottsdale by March 20, 2019. These long lead items are on the critical path, so the overall schedule will be affected if a notice to proceed is provided beyond March 20, 2019.

### Phase 2 Design

Note that per the City of Scottsdale the Phase 2 design is currently on hold. The latest schedule reflects previously agreed upon dates with Phase 2 design, so this will need to be updated once the City of Scottsdale provides confirmation to proceed with Phase 2 design.

END OF DOCUMENT



Scottsdale Stadium Drawing Packages

Package 1
<b>Revit Phase(s)</b>
Demo Phase 1 Site Improvements
<b>Elements</b>
Site Demo Stadium Elements Demo Underground Utilities Broadcast Conduit Roughin Civil Grading and Drainage Landscape

Package 2
<b>Revit Phase(s)</b>
Clubhouse Core and Shell
<b>Elements</b>
Clubhouse Foundations Clubhouse Structure Clubhouse Exterior Walls Clubhouse Roof Clubhouse Ground Floor Slab Clubhouse 2nd and 3rd Floor Assemblies Clubhouse Under Slab Utilities Clubhouse Elevator Shafts Clubhouse Stairs Clubhouse Exterior Doors Clubhouse Windows and Storefronts Long Lead MEP Equipment

Package 3
<b>Revit Phase(s)</b>
Clubhouse Buildout
<b>Elements</b>
Clubhouse Interior Walls Clubhouse Interior Doors Clubhouse Electrical Clubhouse Mechanical Clubhouse Plumbing Clubhouse Finishes Clubhouse Casework Clubhouse Fire Alarm and Sprinklers

Package 4
<b>Revit Phase(s)</b>
Stadium Interiors Demo Stadium Buildout
<b>Elements</b>
Concourse Interiors Demo Press Level Ineriors Demo Concourse New Construction (ticketing, city offices) Press Level New Construction Entry Canopy Charros Right Field Bleachers MPE For Buildouts Associated w/ New Construction FFE

Package 5
<b>Revit Phase(s)</b>
Phase 2 Demo Phase 2 New
<b>Elements</b>
Demo for Phase 2 Left Field Bleachers Gate A Premium Seating New Visitors Bullpen Berm Shade Structures Civil (Phase 2) Landscape (Phase 2) MPE (Phase 2) Fire Alarm and Sprinklers (Phase 2) FFE (Phase 2)

**Scottsdale Stadium Multi-use Event Center**  
**Proposed Schedule for Design Services**  
 Run Date: 14-Mar-19/Time: 16:32

CD Packages  
 CD Package 1 = Phase 1 Demo and Site Improvements  
 CD Package 2 = Phase 1 Clubhouse Core and Shell, Long Lead MEP Equipment  
 CD Package 3 = Phase 1 Clubhouse Building  
 CD Package 4 = Phase 1 Stadium Interiors, Demo, and Buildout  
 CD Package 5 = Phase 2 Demo and New Scope

**Owner Move-out Date**  
 3/19/2019 - Giants to vacate the team store  
 4/7/2019 - Giants to vacate existing clubhouse, training room, ticket office, and tent removed  
 5/1/2019 - Giants to vacate the Press Box  
 5/1/2019 - Charros/COS to vacate the Charros Lodge  
**Equipment/Supply Move-in Dates**  
 1/15/2020 - Clubhouse: Weight Room, Hydrotherapy, Training Room, Kitchen, Press Box - East side  
 1/18/2020 - Locker Rooms, Offices, Laundry Room, Equipment Storage  
 2/1/2020 - Team Store (Hunt to vacate by 2/1/2020)  
 2/1/2020 - Charros Lodge  
**Turn Over for Occupancy (TCO)**  
 2/1/2020 - Clubhouse, all areas: Parking lot - TCO  
 2/11/2020 - All Remaining Phase 1 Areas - TCO



Activity ID	Activity Name	Orig Dur	Rev Dur	Start	Finish	Total Float	2019												2020					
							Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May
<b>Scottsdale Stadium Multi-use Event Center</b>																								
<b>Design</b>																								
<b>Design Phase #1</b>																								
SS-D121	1st Permit Submittal CD Packages 1 & 2	110	90	15-Jan-19 A	18-Jun-19	368																		
SS-D126	Pick-up & Revise CD Package 1 & 2	15	11	31-Jan-19 A	26-Feb-19	22																		
SS-D118	GMP 1 Due to City of Scottsdale	0	0		14-Mar-19	24																		
SS-D132	City Council Approval GMP 1	0	0		19-Mar-19	25																		
SS-D135	CD Package 1 & 2 Permit Issued	0	0		19-Mar-19	22																		
SS-D134	Award/Release Bid Packages 1 & 2 for Construction / GMP 1	18	18	20-Mar-19 A	12-Apr-19	25																		
SS-D136	CD Package 3 & 4 1st Permit Submittal	15	15	15-Apr-19	03-May-19	42																		
SS-D138	Pick-up & Revise CD Package 3 & 4	15	15	06-May-19	24-May-19	42																		
SS-D140	GMP 2 Due to City of Scottsdale	0	0		17-May-19	24																		
SS-D141	Scottsdale City Review GMP 2 (CD Packages 3 & 4)	9	9	20-May-19	31-May-19	24																		
SS-D142	Resubmit CD Packages 3 & 4 for COS Permit	15	15	28-May-19	17-Jun-19	42																		
SS-D143	City Council GMP 2 Approval	0	0		11-Jun-19	17																		
SS-D144	Award/Release Bid Package 3 for Construction / GMP2	5	5	12-Jun-19	18-Jun-19	17																		
SS-D145	Package 3 & 4 Permit Issued	0	0		18-Jun-19	41																		
<b>Design Phase #2</b>																								
SS-WBS01	Summary-Design Phase #2	327	205	17-Aug-18 A	02-Dec-19	274																		
<b>Summary</b>																								
SS-S101	PHASE #1--DESIGN	243	90	05-Jul-18 A	18-Jun-19	41																		
SS-S102	Overall Design Schedule	384	252	05-Jul-18 A	07-Feb-20	0																		
SS-S103	PHASE #2--DESIGN	305	205	17-Aug-18 A	02-Dec-19	77																		
SS-S104	PORTION OF BROADCAST TRUCK DECKING STATION	90	90	20-Mar-19	25-Jul-19	121																		
SS-S105	PORTION OF FACILITY WIDE MAINTENANCE, SCOPE KSSUES & UPGRADES	90	90	20-Mar-19	25-Jul-19	121																		
SS-S106	CLUB HOUSE	194	194	09-Apr-19	14-Jan-20	18																		
SS-S107	MAIN ENTRANCE ENTRY PLAZA	65	65	28-Apr-19	29-Jun-19	127																		
SS-S108	PRESS TOWER	61	61	19-Jun-19	13-Sep-19	86																		
SS-S109	CITY OFFICES	83	83	19-Jun-19	15-Oct-19	64																		
SS-S110	CHARROS LODGE	56	56	19-Jun-19	18-Oct-19	41																		
SS-S111	RIGHT FIELD SEATING	67	67	01-Jul-19	03-Oct-19	77																		
<b>Key Milestones &amp; Activities</b>																								
SS-C111	Giants to Vacate Team Store	0	0		29-Mar-19	0																		
SS-C112	Giant to Vacate Exst. Clubhouse, Training Rm, Ticket Office, & Tent Removed	0	0		07-Apr-19	0																		
SS-C113	Giants to Vacate Press Tower	0	0		01-May-19	0																		
SS-C114	Charros / COS to Vacate Charros Lodge	0	0		01-May-19	0																		
SS-C102	Commissioning of Equipment	20	20	25-Oct-19	21-Nov-19	37																		
SS-C103	Clubhouse Punchlist	15	15	23-Dec-19	14-Jan-20	18																		
SS-C101	Project Punchlist (Ticketing, Office, Charros, Press Tower, & Bleachers)	15	15	23-Dec-19	14-Jan-20	18																		

**Notes:**

- Submittal to Bldg. Safety Must Wait for DRB Approval
- DRB process must start before completion of SD's (Requires Materials, Draining Report, Site Photometrics)
- Actual duration for DRB not fully known - It is dependent on City review and Requirements
- Building Safety Review times are estimated
- Each Design phase will proceed on approval from Hunt & COS (duration shown is estimated)
- There is a risk starting CD's before DRB Approval.



**POPULOUS**

**AECOM HUNT**





















**METADATA**

**PROJECT NAME: SCOTTSDALE STADIUM**

**PROJECT NUMBER: 1018089**

1. COORDINATES WERE VERIFIED IN THE FIELD USING REAL TIME KINEMATIC GPS OBSERVATIONS RELATIVE TO NGS PUBLISHED CONTROL POINTS.

2. SURVEYED DURING THE MONTH OF AUGUST 2018.

3. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL CONTROLS IN THE FIELD PRIOR TO CONSTRUCTION.

4. PROJECT META DATA

UNITS:

COORDINATES, DISTANCES AND ELEVATIONS ARE SHOWN IN INTERNATIONAL FEET.

HORIZONTAL DATUM:

CITY OF SCOTTSDALE COORDINATE SYSTEM

VERTICAL DATUM:

CITY OF SCOTTSDALE (NAVD '88)

PROJECT BENCHMARKS:

POINT NUMBER 1001

COS #4273 (BCHH) AT SCOTTSDALE RD AND OSBORN RD.

PUBLISHED ELEVATION = 1246.82

POINT NUMBER 1002

COS #4264 (BCHH) AT MILLER RD. AND OSBORN RD.

PUBLISHED ELEVATION = 1235.43

POINT NUMBER 1003

COS #4261 (BCHH) AT MILLER RD. AND INDIAN SCHOOL RD.

PUBLISHED ELEVATION = 1246.32

POINT NUMBER 1004

COS #4272 (BCHH) AT INDIAN SCHOOL RD. AND SCOTTSDALE RD.

PUBLISHED ELEVATION = 1260.34

5. THE COORDINATES PRESENTED ARE SHOWN TO THREE DECIMAL PLACES FOR CALCULATION PURPOSES AND ARE NOT REPRESENTATIVE OF THE PRECISION OF THE SURVEY MEASUREMENTS

6. THIS IS NOT A PROPERTY BOUNDARY SURVEY.

## City of Scottsdale Noise Mitigation Plan

March 11, 2019  
Scottsdale Stadium Multi-Use Event Center  
7408 E Osborn Road  
Scottsdale, AZ 85251

To Whom It May Concern:

**Project on-site contacts:**

Project Superintendent – David Giannetta 602-909-1074  
Project Manager – Martin Sanchez 480-540-5513

**Anticipated date of job completion:** February 15, 2020

**Anticipated date of concrete pours:** April – August 2019, refer to the attached schedule for anticipated durations

**Location and type of sound barriers:** None anticipated

**Noise mitigation strategies:**

- Use flagmen, flashers, and/or smart alarms for trucks in lieu of backup beepers.
- Jobsite lighting to be aimed inwards towards jobsite to avoid light pollution in surrounding neighborhoods.
- Observe Sundays as “quiet days” with no work taking place.

**Keeping affected persons updated and informed:**

- Fliers will be distributed to surrounding neighborhoods notifying residents of upcoming work and off-hours concrete pours.
- Hunt will submit variances for the approval of these activities to City of Scottsdale at least seven (7) days before work is scheduled to be begin.

**Work proposed to be performed outside authorized working hours:**

- Concrete Pours: Early start between 3:00 AM to 6:00 AM (April 25<sup>th</sup> – August 9<sup>th</sup>). Activities will include equipment noise from concrete placement and finishing.

**EXHIBIT D**

**STATUTORY PERFORMANCE BOND**

PURSUANT TO TITLE 34, CHAPTER 6,  
OF THE ARIZONA REVISED STATUTES

(Penalty of this bond must be 100% of the Contract Amount)

KNOW ALL MEN BY THESE PRESENTS:

That, \_\_\_\_\_ (hereinafter called the Principal) as Principal, and \_\_\_\_\_, a corporation organized and existing under the laws of the State of \_\_\_\_\_ with its principal office in the City of \_\_\_\_\_, (hereinafter called the Surety), as Surety, are held and firmly bound unto the City of Scottsdale, County of Maricopa, State of Arizona in the amount of \_\_\_\_\_ Dollars (\$ \_\_\_\_\_), for the payment whereof, the said Principal and Surety bind themselves, and their heirs, administrators, executors, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, the Principal has entered into a certain written contract with the City of Scottsdale, dated the \_\_\_\_\_ day of \_\_\_\_\_, 2019 for Bid No. (bid number), Project No. (project number), (project name), which contract is hereby referred to and made a part hereof as fully and to the same extent as if copied at length herein.

NOW, THEREFORE, the condition of this obligation is such, that if the Principal faithfully performs and fulfills all of the undertakings, covenants, terms, conditions and agreements of the contract during the original term of the contract and any extension of the contract, with or without notice to the surety, and during the life of any guaranty required under the contract, and also performs and fulfills all of the undertakings, covenants, terms, conditions and agreements of all duly authorized modifications of the contract that may hereafter be made, notice of which modifications to the surety being hereby waived, the above obligation is void. Otherwise it remains in full force and effect.

PROVIDED, HOWEVER, that this Bond is executed pursuant to the provisions of Title 34, Chapter 6, Arizona Revised Statutes, and all liabilities on this Bond shall be determined in accordance with the provisions of Title 34, Chapter 6, Arizona Revised Statutes, to the extent as if it were copied at length in this agreement. The prevailing party in a suit on this bond shall recover as part of the judgment reasonable attorney fees that may be fixed by a Judge of the Court. The performance under this bond is limited to the construction to be performed under the contract and does not include any design services, preconstruction services, financial services, maintenance services, operations services or any other related services included in the contract.



**Exhibit D**

WITNESS our hand the \_\_\_\_\_ day of \_\_\_\_\_, 2019

\_\_\_\_\_  
PRINCIPAL

\_\_\_\_\_  
BY:

\_\_\_\_\_  
SURETY (SEAL)

\_\_\_\_\_  
AGENCY OF RECORD

\_\_\_\_\_  
AGENCY ADDRESS

EXHIBIT E

STATUTORY PAYMENT BOND

PURSUANT TO TITLE 34, CHAPTER 6,  
OF THE ARIZONA REVISED STATUTES

(Penalty of this bond must be 100% of the Contract Amount)

KNOW ALL MEN BY THESE PRESENTS:

That, \_\_\_\_\_ (hereinafter called the Principal) as Principal, and \_\_\_\_\_, a corporation organized and existing under the laws of the State of \_\_\_\_\_ with its principal office in the City of \_\_\_\_\_, (hereinafter called the Surety), as Surety, are held and firmly bound unto the City of Scottsdale, County of Maricopa, State of Arizona in the amount of \_\_\_\_\_ Dollars (\$ \_\_\_\_\_), for the payment whereof, the said Principal and Surety bind themselves, and their heirs, administrators, executors, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, the Principal has entered into a certain written contract with the City of Scottsdale, dated the \_\_\_\_\_ day of \_\_\_\_\_, 2019 for Bid No. (bid number), Project No. (project number), (project name), which contract is hereby referred to and made a part hereof as fully and to the same extent as if copied at length herein.

NOW, THEREFORE, the condition of this obligation is such that if the Principal promptly pays all monies due to all persons supplying labor or materials to the Principal or the Principal's subcontractors in the prosecution of the work provided for in the contract, this obligation is void. Otherwise it remains in full force and effect.

PROVIDED, HOWEVER, that this Bond is executed pursuant to the provisions of Title 34, Chapter 6, of the Arizona Revised Statutes, and all liabilities on this Bond shall be determined in accordance with the provisions, conditions and limitations of Title 34, Chapter 6, Arizona Revised Statutes, to the same extent as if they were copied at length in this agreement.

The prevailing party in a suit on this Bond shall recover as a part of the judgment reasonable attorney fees that may be fixed by a Judge of the Court.

WITNESS our hands the \_\_\_\_\_ day of \_\_\_\_\_, 2019.

\_\_\_\_\_  
PRINCIPAL

\_\_\_\_\_  
BY:

**Exhibit E**

---

SURETY (SEAL)

---

AGENCY OF RECORD

---

AGENCY ADDRESS

CITY OF SCOTTSDALE PUBLISHED BENCHMARKS

CERTIFICATE OF USE

CONTRACT NAME:

CONTRACT NO.:

PROJECT NO.:

To the City of Scottsdale:

In compliance with the City of Scottsdale's Design Standards & Policies Manual (DS&PM), Sections 9-1.1 and 9-1.301, it is the City's intent that the \_\_\_\_\_ must use both horizontal and vertical benchmarks with City of Scottsdale published values for any survey on all public works projects. Those published values are available for public use at the following City website: <http://eservices.scottsdaleaz.gov/landsurvey/>. AT LEAST ONE HORIZONTAL AND ONE VERTICAL BENCHMARK MUST MATCH THE NORTHING, EASTING AND/OR ELEVATION VALUES PUBLISHED ON THE CITY OF SCOTTSDALE'S WEBSITE.

Having read and understood Sections 9-1.1 and 9-1.301 of the DS&PM, and as a Land Surveyor registered in the State of Arizona, I certify that we will be using the following City of Scottsdale horizontal and vertical datum to perform the topographic survey for the above named contract and project. These benchmarks will be **shown** on the cover sheet of the design and construction plans.

Benchmark No. 1:

Horizontal datum:

Vertical datum:

GPS Point: \_\_\_\_\_

GPS Point: \_\_\_\_\_

N: \_\_\_\_\_

Elevation: \_\_\_\_\_

E: \_\_\_\_\_

Benchmark No. 2:

Horizontal datum:

Vertical datum:

GPS Point: \_\_\_\_\_

GPS Point: \_\_\_\_\_

N: \_\_\_\_\_

Elevation: \_\_\_\_\_

E: \_\_\_\_\_

\_\_\_\_\_  
Certified By: \_\_\_\_\_

(Seal in Area Below)

Print Name: \_\_\_\_\_

Title: \_\_\_\_\_

# **Citizen Review and Neighborhood Involvement Report**

## **48-DR-2018 – Scottsdale Stadium Multi-Use Event Center**

### **Overview**

This Citizen Review report is being performed for a Development Review Board Request for Site Plan and Elevation approvals for Phase I of the Scottsdale Stadium Multi-Use Event center. Located at the north east corner of Osborn and Drinkwater Boulevard, the revisions to the existing stadium complex will include 24, 000 square feet of indoor multi-use event spaces that will compliment the various existing and revised outdoor stadium spaces and enhancements to professional baseball training facilities.

This public facility design has been developed with a sensitivity to neighborhood involvement and creating and maintaining positive relationships with residential and commercial property owners, interested citizens and user groups of the stadium. Communications have been on-going at various levels since the start of master planning efforts over 30 months ago and will continue through the phase 2 design, construction and on-going operations and event staging at the facility.

### **Community Involvement**

The outreach for this project has included communicating with neighboring property owners, community members, business owners, citizens and user groups by telephone, one on one meetings, public meetings and outreach for the past 30 months. City staff and design team members have continued to be available to all interested parties with questions, comments, concerns, etc. related to this project and that will be continued through all phases and ultimately on-going operations at the stadium.

Surrounding residential and business owners and other interested parties were noticed via first class mail regarding the project and included over 2,500 mailings. This distribution exceeded the City's requirements as specified in the Citizen Review Checklist and included information about the project, contact information and opportunity for on-going feedback. The notification also included information about a neighborhood open house that was held on November 15, 2018 at the Stadium for all interested parties who wished to learn more about the project.

Over 30 interested parties attended the open house, with 16 registering. Attendees were very supportive of the project concept and goals and they provided a variety of input on design details, colors, materials and general comments about project elements and preferences. Questions by attendees were addressed at the open house and their feedback was provided to the design team for consideration and incorporation as appropriate into the project design.

Staff and design team members continue to provide input and outreach opportunities to a variety of interested citizens and users groups related to final design detailing, construction sequencing and prioritization of upcoming phasing elements. As the Multi-use aspect of the project has benefits to the tourism and economic development goals of the community and downtown, it has been and will continue to be a featured presentation/discussion element for the Tourism Development Commission and the final project financing and timing will be reviewed and approved by the City Council, thus allowing for continued public input.

### **Attachments**

Notification mailing

Notification list

Sign-in sheets

Comment sheets



# PROJECT UPDATE



---

## **Come View Plans for Scottsdale Stadium Renovation**

The City of Scottsdale is moving forward with plans to update portions of Scottsdale Stadium. Join us for an open house on Thursday, November 15 to let us know what you think about the proposed improvements. Stop by anytime between 5 – 6:30 p.m. to view the proposed plans and have your questions answered.

A master plan for the stadium was completed earlier this year. The renovations will address several areas within the master plan such as improved seating and shade at the stadium, additional viewing areas, plus expansions to the clubhouse, player training areas and special event spaces. Final construction costs are not yet known but the elements included in the master plan are estimated to be between \$40-\$60 million.

The stadium is the spring training home of the San Francisco Giants and hosts a variety of other development leagues and community events. The proposed renovations will boost the stadium's position as a premier spring training venue and add features to make it a year-round multiuse event center that takes advantage of its location in the heart of Old Town Scottsdale.



# PROJECT UPDATE



---

## Come View Plans for Scottsdale Stadium Renovation

### Open House

5-6:30 p.m., Thursday, November 15  
Scottsdale Stadium Team Shop  
7408 E. Osborn Rd., Scottsdale

### For More Information

Visit [ScottsdaleAZ.gov](http://ScottsdaleAZ.gov), search “stadium renovations” or call 480-312-2722.



Owners Name	Mailing Address	Mail City	Mail State	Mail Zip	Site Address	City	State	Zip Code
Business or Resident	428 E THUNDERBIRD RD 445	PHOENIX	AZ	85022				
Business or Resident	10 CONWAY ST	ROSLINDALE	MA	02131				
Business or Resident	10 TIMBER RIDGE LN	SCOTTS VALLEY	CA	95066				
Business or Resident	1000 1/2 B CANYON RD	SANTA FE	NM	87501				
Business or Resident	1000 N GREEN VALLEY PKY UNIT 440-185	HENDERSON	NV	89074				
Business or Resident	10015 RIVER RANCH CT	OAKDALE	CA	95361-7635				
Business or Resident	10040 E WINDROSE DR	SCOTTSDALE	AZ	85260				
Business or Resident	1005 ARNO RD	KANSAS CITY	MO	64113				
Business or Resident	101 N TRYON ST - NC10010381	CHARLOTTE	NC	28255				
Business or Resident	101 N TRYON ST	CHARLOTTE	NC	28255-0001				
Business or Resident	1010 NW SKYLINE DR	PENDLETON	OR	97801				
Business or Resident	10105 E VIA LINDA SUITE 103-359	SCOTTSDALE	AZ	85258				
Business or Resident	10138 66TH AVE S	SEATTLE	WA	98178				
Business or Resident	10188 E CORTEZ DR	SCOTTSDALE	AZ	85260				
Business or Resident	1021 PATKANIM AVE SE	NORTH BEND	WA	98045				
Business or Resident	10245 E SAHUARO DR	SCOTTSDALE	AZ	85260				
Business or Resident	1037 W 10TH ST	TEMPE	AZ	85281				
Business or Resident	1040 NW CRESTBROOK CT	MCMINNVILLE	OR	97128-2476				
Business or Resident	1049 GOFF RD	FOREST GROVE	OR	97116				
Business or Resident	106 RIDGEVIEW CT	SANTA CRUZ	CA	95060				
Business or Resident	1061 POPPYFIELD PL	SCHERERVILLE	IN	46375-1755				
Business or Resident	107 WILDERWOOD DR	GUILFORD	CT	06437				
Business or Resident	10769 E TERRA DR	SCOTTSDALE	AZ	85258				
Business or Resident	1080 BRICKELL AVE UNIT 2008	MIAMI	FL	33131				
Business or Resident	10876 E PARADISE DR	SCOTTSDALE	AZ	85259				
Business or Resident	10940 S PARKER RD NO 782	PARKER	CO	80134				
Business or Resident	10943 E COSMOS CIR	SCOTTSDALE	AZ	85255				
Business or Resident	10951 E WINCHOMB DR	SCOTTSDALE	AZ	85255				
Business or Resident	10963 N 129TH WAY	SCOTTSDALE	AZ	85259				
Business or Resident	11 LAUDER AVE	WINNIPEG	MB	R2K0E4				
Business or Resident	1101 DEER RIVER CIR SE	CALGARY	AB	T2J6Y9				
Business or Resident	110-40 SYLVAN VALLEYWAY	TORONTO	ON	M5M4M3				
Business or Resident	11069 PYRAMID PEAK	LITTLETON	CO	80127				
Business or Resident	11070 OLD LAKESHORE RD	IRVING	NY	14081				
Business or Resident	11091 E PALOMINO RD	SCOTTSDALE	AZ	85259				
Business or Resident	111 BRIXWORTH LN UNIT 5	NASHVILLE	TN	37205				
Business or Resident	111 CHESTNUT ST	LYNBROOK	NY	11563				
Business or Resident	1111 POLARIS PARKWAY SUITE 1E	COLUMBUS	OH	43240				
Business or Resident	11136 LEO COLLINS DR	EL PASO	TX	79936-4631				
Business or Resident	1116 SO EL CAMINO REAL	SAN MATEO	CA	94402				
Business or Resident	1121 W WARNER RD STE 110	TEMPE	AZ	85284				
Business or Resident	11231 N E 97TH ST	KIRKLAND	WA	98033				
Business or Resident	1132 KRIEDEMAN DR	STOUGHTON	WI	53589				
Business or Resident	11325 67TH ST	EDMONTON	AB	T5B1L2				
Business or Resident	1135 QUAYFIDE DRIVE APT #506	NEW WESTMINSTER	BC	V3M6J4				
Business or Resident	11425 E WHISPERING WIND DR	SCOTTSDALE	AZ	85255				
Business or Resident	11445 E VIA LINDA NO 2 PMB 194	SCOTTSDALE	AZ	85259				
Business or Resident	11485 N 103RD PL	SCOTTSDALE	AZ	85260				
Business or Resident	11525 E BUTTERCREEK RD	MOORPARK	CA	93021				
Business or Resident	1155 NE 23RD	GRESHAM	OR	97030				
Business or Resident	1157 GARRETT CT	SAN JOSE	CA	95120-5424				
Business or Resident	11828 N 67TH ST	SCOTTSDALE	AZ	85254				
Business or Resident	1189 FOUR WINDS WAY	HARTLAND	WI	53029				
Business or Resident	119 MERIDAN LN	TOWSON	MD	21286				
Business or Resident	12 HAMILTON TER	NEW YORK	NY	10031				
Business or Resident	12 WINGATE LN	DOVER	NH	03820				
Business or Resident	120 N STONE	TUCSON	AZ	85701				
Business or Resident	120 S ASH AVE	TEMPE	AZ	85281				
Business or Resident	1200 NEWELL HILL PL NO 339	WALNUT CREEK	CA	94596				
Business or Resident	1206 BIRCH ST	SAN MATEO	CA	94401				
Business or Resident	12100 WILSHIRE BLVD SUITE 250	LOS ANGELES	CA	90025				
Business or Resident	1211 49TH ST N	VELVA	ND	58790				
Business or Resident	12117 BRANICOLE LN	SAN DIEGO	CA	92129-5002				
Business or Resident	1215 PIERCE ST	STEILACOOM	WA	98388-3859				
Business or Resident	1216 HIGHCREST LN	COLORADO SPRINGS	CO	80921				
Business or Resident	12271 E MARY KATHERINE DR	SCOTTSDALE	AZ	85259				
Business or Resident	12345 LAKE CITY WY NORTHEAST NO 1024	SEATTLE	WA	98125				
Business or Resident	1236 E MYRTLE AVE	PHOENIX	AZ	85020				
Business or Resident	124 E 7TH AVE	ANCHORAGE	AK	99501				
Business or Resident	1243 E CAVALRY RD	NEW RIVER	AZ	85087-8680				
Business or Resident	12501 E DOUBLETREE RANCH RD	SCOTTSDALE	AZ	85251				
Business or Resident	1253 LERIDA WAY	PACIFICO	CA	94044				
Business or Resident	1273 E VERMONT DR	GILBERT	AZ	85295				
Business or Resident	12752 TOPAZ ST	GARDEN GROVE	CA	92845				
Business or Resident	1294 COLLEEN WAY	CAMPBELL	CA	95008				
Business or Resident	12972 N 137TH ST	SCOTTSDFALE	AZ	85259				
Business or Resident	12991 N 130TH WY	SCOTTSDALE	AZ	85259				
Business or Resident	130 S PINEVIEW PL	CHANDLER	AZ	85226				
Business or Resident	1300 RALEIGH ST	DENVER	CO	80204				
Business or Resident	1300 VINE MAPLE LN	SHOW LOW	AZ	85901				
Business or Resident	1303 E UNIVERSITY BLVD UNIT 20802	TUCSON	AZ	85719				
Business or Resident	13065 TIMBERLINE DR	BAXTER	MN	56425				
Business or Resident	1307 N WALNUT AVE	ARLINGTON HEIGHTS	IL	60004				
Business or Resident	1311 NE 147TH AVE	VANCOUVER	WA	98684				
Business or Resident	1313 N RITCHIE CT APT 2104	CHICAGO	IL	60610				
Business or Resident	13140 RADO DRIVE S	SAN LEANDRO	CA	94577				
Business or Resident	1318 121ST AVE SOUTHEAST	BELLEVUE	WA	98005				
Business or Resident	13430 N 80TH PL	SCOTTSDALE	AZ	85260				
Business or Resident	1352 PENNSYLVANIA AVE SE	WASHINGTON	DC	20003				
Business or Resident	13525 BURMA ROAD S W	VASHION ISLAND	WA	98070				
Business or Resident	1353 W CRYSTAL SPRINGS DR	GILBERT	AZ	85233				
Business or Resident	13611 N 82ND ST	SCOTTSDALE	AZ	85260				
Business or Resident	14 4701 LOCHSIDE DR	VICTORIA	BC	V8Y3E2				
Business or Resident	140 MONTROSE ST	WINNIPEG	MB	R3M3M6				
Business or Resident	14013 MORRISON ST	SHERMAN OAKS	CA	91423				

Business or Resident	14020 N NORTHSIGHT BLVD	SCOTTSDALE	AZ	85260
Business or Resident	1405 E GLENHAVEN DR	PHOENIX	AZ	85048
Business or Resident	141 SPYGLASS LN	HALF MOON BAY	CA	94019
Business or Resident	14111 S 22ND ST	BELLEVUE	NE	68123
Business or Resident	14141 E MELANIE DR	SCOTTSDALE	AZ	85262
Business or Resident	14201 N HAYDEN RD SUITE B4	SCOTTSDALE	AZ	85260
Business or Resident	14290 N CHOCTAW DR	TUCSON	AZ	85737
Business or Resident	14315 E GERONIMO RD	SCOTTSDALE	AZ	85259
Business or Resident	1432 PREMIER WAY SW	CALGARY	AB	T2T1L9
Business or Resident	1433 3RD ST	CALISTOGA	CA	94515
Business or Resident	14548 SE 51ST ST	BELLEVUE	WA	98006
Business or Resident	14738 CAMINITO VISTA ESTRELLADO	DEL MAR	CA	92014
Business or Resident	14879 WACO ST NW	RAMSEY	MN	55303-6187
Business or Resident	14948 CLAYTON ST	THORNTON	CO	80602
Business or Resident	15 MEADOW PARK CT	ORINDA	CA	94563
Business or Resident	15 SHELBY CIR	HAVERHILL	MA	01832
Business or Resident	1502 E MARCO POLO RD	PHOENIX	AZ	85024
Business or Resident	1503 - 1560 HOMER MEWS	VANCOUVER	BC	V6Z 00A5
Business or Resident	1508 E TREASURE COVE DR	GILBERT	AZ	85234
Business or Resident	1517 LING CT	JUNEAU	AK	99801-9545
Business or Resident	15215 S 48TH ST	PHOENIX	AZ	85044
Business or Resident	1531 INSPIRATION DR APT 3060	DALLAS	TX	75207
Business or Resident	1536 MULLOWNEY LN UNIT 300	BILLINGS	MT	59101
Business or Resident	1537 WILSON AVE	CHAMBERSBURG	PA	17201
Business or Resident	15436 S 46TH PL	PHOENIX	AZ	85044
Business or Resident	1549 LEISURE WORLD	MESA	AZ	85206
Business or Resident	15544 N PIMA RD	SCOTTSDALE	AZ	85260
Business or Resident	15559 GOLDEN EAGLE BLVD	FOUNTAIN HILLS	AZ	85268
Business or Resident	157 TANOAK LN	NAPERVILLE	IL	60540
Business or Resident	157 VIMY ST	THUNDER BAY	ON	P7G1N3
Business or Resident	15709 GREENWOOD AVE N	SHORELINE	WA	98133-5913
Business or Resident	15740 E JACKRABBIT LN	FOUNTAIN HILLS	AZ	85268
Business or Resident	15833 N 49TH PL	SCOTTSDALE	AZ	85251
Business or Resident	15899 HWY 105 W	MONTGOMERY	TX	77356
Business or Resident	159 RIDEAU AVE	SMITH FALLS	ON	K7A2T9
Business or Resident	15916 HIGH KNOLL RD	ENCINO	CA	91436
Business or Resident	15918 LAMP CIR	OMAHA	NE	68118
Business or Resident	16006 NE 6TH CIR	VANCOUVER	WA	98684
Business or Resident	1601 BENCHLEY CT	HENDERSON	NV	89052
Business or Resident	1608 W AMBERWOOD DR	PHOENIX	AZ	85045
Business or Resident	16122 W TONTO ST	GOODYEAR	AZ	85338
Business or Resident	16130 VENTURA BLVD STE 420	ENCINO	CA	91436
Business or Resident	16162 BLUEBONNET DR	PARKER	CO	80134
Business or Resident	1621 WHITE MESQUITE PL	HENDERSON	NV	89012
Business or Resident	1623 E MARYLAND AVE	PHOENIX	AZ	85016
Business or Resident	1640 W GERANIUM PL	TUCSON	AZ	85737
Business or Resident	16638 N 33RD WY	PHOENIX	AZ	85032
Business or Resident	1683 WALNUT GROVE AVE	ROSEMead	CA	91770
Business or Resident	16856 124TH AVE S E	RENTON	WA	98058
Business or Resident	16870 OUTBACK TRL	SONORA	CA	95370-8134
Business or Resident	17030 N 49TH ST	SCOTTSDALE	AZ	85254
Business or Resident	1706 N FRACE ST	TACOMA	WA	98406
Business or Resident	1707 E WEBER DR NO 10	TEMPE	AZ	85281
Business or Resident	17203 KINGS FAIRWAY LN	GRAND BLANC	MI	48439
Business or Resident	1730 DELAFORD STREET	CARROLLTON	TX	75007
Business or Resident	1739 PALACE AVE	ST PAUL	MN	55105
Business or Resident	17458 PLAZA CERADO STE 79	SAN DIEGO	CA	92128
Business or Resident	1771 NW JORDAN CT	TERREBONNE	OR	97760
Business or Resident	1777 OAKLAND BLVD STE 110	WALNUT CREEK	CA	94596
Business or Resident	17983 N 94TH WY	SCOTTSDALE	AZ	85255
Business or Resident	18 VAR BROOK PL N W	CALGARY	AB	T3A0A2
Business or Resident	1800 N BRISTOL C-250	SANTA ANA	CA	92706
Business or Resident	1803 WALNUT AVE	WILMETTE	IL	60091
Business or Resident	1832 CRESTVIEW DR	DURANGO	CO	81301
Business or Resident	185 GREEN ST	WOODBIDGE	NE	07095
Business or Resident	18814 W MARLOWE PL	MORRISON	CO	80465
Business or Resident	1883 W ARTLEY DR	NOGALES	AZ	85621
Business or Resident	19025 LIZZIE LN	TWAIN HARTE	CA	95383
Business or Resident	1924 N BRIGHTON PL	ARLINGTON HEIGHTS	IL	60004
Business or Resident	1940 DRIFTWOOD CIR	PALMER	AK	99645
Business or Resident	1948 E CITATION LN	TEMPE	AZ	85284
Business or Resident	19499 N 98TH PL	SCOTTSDALE	AZ	85255
Business or Resident	1951 N JACKSON ST	CHANDLER	AZ	85225
Business or Resident	1979 E ALAMEDA DR	TEMPE	AZ	85292
Business or Resident	1ST GEORGES CRESCENT	EDMONTON	AB	T5N3M7
Business or Resident	2 WOODS CRESCENT	LEDUC	AB	T9E8K3
Business or Resident	20 HIDDEN CREEK TERRACE NW	CALGARY	AB	T3A6H5
Business or Resident	200 CONNELL DR	BERKELEY HEIGHTS	NJ	07922
Business or Resident	2004 WOODHAVEN LN	DULUTH	MN	55803
Business or Resident	2017 ALSOP LN	LARAMIE	WY	82072
Business or Resident	202 WILLIAMS WY	ASPEN	CO	81612
Business or Resident	2025 E STATE AVE	PHOENIX	AZ	85020
Business or Resident	2039 26 STREET SW	CALGARY	AB	T2E2A3
Business or Resident	2040 4TH ST NW	ALBUQUERQUE	NM	87102
Business or Resident	20588 BRADEY ST	DAVENPORT	IA	52804
Business or Resident	2081 LUNDA FLORA DR	LOS ANGELES	CA	90077
Business or Resident	20875 N 88TH LN	PEORIA	AZ	85382
Business or Resident	2109 BERKLEY DR	WICHITA FALLS	TX	76308
Business or Resident	2111 SHADY LN	GREEN BAY	WI	54313
Business or Resident	2117 W VALENCIA DR	PHOENIX	AZ	85041
Business or Resident	212 BUCKSKIN RD	HUTCHINSON	KS	67502
Business or Resident	2136 OCEAN HEIGHTS AVE	EGG HARBOR TOWNSHIP	NJ	08234
Business or Resident	215 E 24TH STREET APT 521	NEW YORK	NY	10010-3806
Business or Resident	2170 W 40TH ST	CASPER	WY	82604
Business or Resident	218 W 70TH TER	KANSAS CITY	MO	64113-2560
Business or Resident	220 E AST AVE P O BOX 14001-326	KETCHUM	ID	83340

Business or Resident	2201 HOBSON AVE	HOT SPRINGS	AR	71913
Business or Resident	2206-4 FOREST LANEWAY	TORONTO	ON	M2N5Y8
Business or Resident	2219 PLATT CLINE	FLAGSTAFF	AZ	86005
Business or Resident	222 ADAMS RD	KELOWNA	BC	V1X7R2
Business or Resident	222 N SEPULVEDA BLVD SUITE 2000	EL SEGUNDO	CA	90245
Business or Resident	2234 COLONIAL BLVD	FORT MYERS	FL	33907
Business or Resident	22346 WOODBLUFF	EL TORO	CA	92630
Business or Resident	2236 KALARAMA AVE	PORTAGE	MI	49024
Business or Resident	22380 MURRAY ST	SHOREWOOD	MN	55331
Business or Resident	224 S OAK PARK NO 1B	OAK PARK	IL	60302
Business or Resident	2240 JEFFS RD	NANAIMO	BC	V9S5P7
Business or Resident	22508 NW BROOKSIDE WY	BARRINGTON	IL	60010
Business or Resident	2280 BRYANT DR	CARLSBAD	CA	92008
Business or Resident	22881 VIA SAN REMO	DANA POINT	CA	92629
Business or Resident	23 HARVEST LANE VILLAS NE	CALGARY	AB	T3K4K5
Business or Resident	23000 W LASSO LN	BUCKEYE	AZ	85326
Business or Resident	2304 E AVE NW	CALGARY	AB	T2N0K8
Business or Resident	23114 SE 40TH PL	SAMMAMISH	WA	98075
Business or Resident	2312 N 58TH ST	SCOTTSDALE	AZ	85257
Business or Resident	232 HUGO ST	SAN FRANCISCO	CA	94122
Business or Resident	2323 W UNIVERSITY DR	TEMPE	AZ	85281
Business or Resident	2333 KAPIOLANI BLVD UNIT 2909	HONOLULU	HI	96826
Business or Resident	235 107TH AVE	KIMBERLEY	BC	V1A1C3
Business or Resident	235 W VAN BUREN ST UNIT 1414	CHICAGO	IL	60607-3926
Business or Resident	236 WOODBRIAR CIR SOUTHWEST	CALGARY	AB	T2W6
Business or Resident	238 E IVY ST	MESA	AZ	85201
Business or Resident	24 W CAMELBACK RD	PHOENIX	AZ	85013
Business or Resident	2401 NW 23RD ST SUITE 1A1	OKLAHOMA CITY	OK	73107
Business or Resident	2402 E 5TH ST UNIT 1671	TEMPE	AZ	85281
Business or Resident	244 W WHITING AVE	FULLERTON	CA	92832
Business or Resident	24495 WESTERN WY	LAGUNA NIGUEL	CA	92677
Business or Resident	2461 CALLE SIN CONTROVERSA	TUCSON	AZ	85718
Business or Resident	249 RIVER ST	WHITE BIRD	ID	83554
Business or Resident	2505 CONGRESS ST STE 100	SAN DIEGO	CA	92110
Business or Resident	2525 E CAMELBACK #810	PHOENIX	AZ	85016
Business or Resident	2545 W FRYE RD STE 5	CHANDLER	AZ	85224
Business or Resident	2599 E ALASKA AVE	PORT ORCHARD	WA	98366
Business or Resident	2602 E CRITTENDEN LN	PHOENIX	AZ	85016
Business or Resident	2607 S EVERGREEN RD	TEMPE	AZ	85282
Business or Resident	2642 N 31ST STREET	PHOENIX	AZ	85008
Business or Resident	2649 E ARROYO CHICO	TUCSON	AZ	85716
Business or Resident	2663 FILBERT ST	SAN FRANCISCO	CA	94123
Business or Resident	268 BUSH ST UNIT 2100	SAN FRANCISCO	CA	94104
Business or Resident	26835 N 150TH ST	SCOTTSDALE	AZ	85262-7721
Business or Resident	2701 UNIVERSITY AVE SE	MINNEAPOLIS	MN	55414-3238
Business or Resident	272 RANCHOVIEW MEWS NW	CALGARY	AB	T3G1M7
Business or Resident	27306 N 24TH DR	PHOENIX	AZ	85085-8731
Business or Resident	2760 GREGORY DRIVE S	BILLINGS	MT	59102
Business or Resident	27999 SW LADD HILL RD	SHERWOOD	OR	97140
Business or Resident	2800 CRABTREE LN	NORTHBROOK	IL	60062
Business or Resident	2809 W DOLORIS RD	PHOENIX	AZ	85086
Business or Resident	2810 W BRIARWOOD TER	PHOENIX	AZ	85045
Business or Resident	2819 CHARLESTON CT	EAU CLAIRE	WI	54703
Business or Resident	2852 RAE ST	REGINA	SK	S4S1R3
Business or Resident	2901 N 78TH ST	Scottsdale	AZ	85251
Business or Resident	2901 N CENTRAL AVE STE 160	PHOENIX	AZ	85012
Business or Resident	2901 N MILLER RD	SCOTTSDALE	AZ	85251
Business or Resident	2911 N MILLER RD	SCOTTSDALE	AZ	85251
Business or Resident	2913 N 75TH PL	SCOTTSDALE	AZ	85251
Business or Resident	2917 N MILLER RD	Scottsdale	AZ	85251
Business or Resident	2918 N CIVIC CENTER PZ	Scottsdale	AZ	85251
Business or Resident	2919 N 73RD ST	SCOTTSDALE	AZ	85251
Business or Resident	2919 N 75TH PL	SCOTTSDALE	AZ	85251
Business or Resident	2920 N 76TH PL	Scottsdale	AZ	85251
Business or Resident	2922 E ORIOLE DR	GILBERT	AZ	85297
Business or Resident	2923 N MILLER RD	Scottsdale	AZ	85251
Business or Resident	2924 N 76TH PL	SCOTTSDALE	AZ	85251
Business or Resident	2925 N SCOTTSDALE RD	Scottsdale	AZ	85251
Business or Resident	2926 N CIVIC CENTER PZ	SCOTTSDALE	AZ	85251
Business or Resident	2929 N 73RD ST	Scottsdale	AZ	85251
Business or Resident	2931 N SCOTTSDALE RD	Scottsdale	AZ	85251
Business or Resident	2939 N 73RD ST	Scottsdale	AZ	85251
Business or Resident	2940 N 73RD ST	SCOTTSDALE	AZ	85251
Business or Resident	2946 S ESTRELLA CIR	MESA	AZ	85202
Business or Resident	2980 N 73RD ST	SCOTTSDALE	AZ	85251
Business or Resident	2990 N CIVIC CENTER PZ	Scottsdale	AZ	85251
Business or Resident	2992 N MILLER RD UNIT 221 A	SCOTTSDALE	AZ	85268
Business or Resident	2992 N MILLER RD UNIT 110	SCOTTSDALE	AZ	85251
Business or Resident	2992 N MILLER RD #113	SCOTTSDALE	AZ	85251
Business or Resident	2992 N MILLER RD 204A	SCOTTSDALE	AZ	85251
Business or Resident	2992 N MILLER RD 210B	SCOTTSDALE	AZ	85251
Business or Resident	2992 N MILLER RD 216A	SCOTTSDALE	AZ	85251
Business or Resident	2992 N MILLER RD 218A	SCOTTSDALE	AZ	85251
Business or Resident	2992 N MILLER RD 221B	SCOTTSDALE	AZ	85251
Business or Resident	2992 N MILLER RD 222A	SCOTTSDALE	AZ	85251
Business or Resident	2992 N MILLER RD BLDG 1 UNIT 101	Scottsdale	AZ	85251
Business or Resident	2992 N MILLER RD BLDG 1 UNIT 102	Scottsdale	AZ	85251
Business or Resident	2992 N MILLER RD BLDG 1 UNIT 201A	Scottsdale	AZ	85251
Business or Resident	2992 N MILLER RD BLDG 1 UNIT 201B	Scottsdale	AZ	85251
Business or Resident	2992 N MILLER RD BLDG 1 UNIT 202A	Scottsdale	AZ	85251
Business or Resident	2992 N MILLER RD BLDG 1 UNIT 202B	Scottsdale	AZ	85251
Business or Resident	2992 N MILLER RD BLDG 10 UNIT 119	Scottsdale	AZ	85251
Business or Resident	2992 N MILLER RD BLDG 10 UNIT 219A	Scottsdale	AZ	85251
Business or Resident	2992 N MILLER RD BLDG 10 UNIT 219B	Scottsdale	AZ	85251
Business or Resident	2992 N MILLER RD BLDG 10 UNIT 220B	Scottsdale	AZ	85251
Business or Resident	2992 N MILLER RD BLDG 11 UNIT 122	Scottsdale	AZ	85252















Business or Resident	3031 N CIVIC CENTER PZ BLDG L UNIT 363	Scottsdale	AZ	85251
Business or Resident	3031 N CIVIC CENTER PZ BLDG M UNIT 164	Scottsdale	AZ	85251
Business or Resident	3031 N CIVIC CENTER PZ BLDG M UNIT 166	Scottsdale	AZ	85251
Business or Resident	3031 N CIVIC CENTER PZ BLDG M UNIT 264	SCOTTSDALE	AZ	85251
Business or Resident	3031 N CIVIC CENTER PZ BLDG M UNIT 265	Scottsdale	AZ	85251
Business or Resident	3031 N CIVIC CENTER PZ BLDG M UNIT 267	Scottsdale	AZ	85251
Business or Resident	3031 N CIVIC CENTER PZ BLDG M UNIT 364	Scottsdale	AZ	85251
Business or Resident	3031 N CIVIC CENTER PZ BLDG M UNIT 365	Scottsdale	AZ	85251
Business or Resident	3031 N CIVIC CENTER PZ BLDG M UNIT 366	Scottsdale	AZ	85251
Business or Resident	3031 N CIVIC CENTER UNIT 216	SCOTTSDALE	AZ	85251
Business or Resident	3031 N CIVIC CENTER UNIT 336	SCOTTSDALE	AZ	85251
Business or Resident	3031 N CIVIC CENTER PLZ UNIT 212	SCOTTSDALE	AZ	85251
Business or Resident	3031 N CIVIC CTR BLVD #257	SCOTTSDALE	AZ	85251
Business or Resident	3031 N CIVIC CTR BLVD #323	SCOTTSDALE	AZ	85251
Business or Resident	3031 NORTH CIVIC CENTER PL #148	SCOTTSDALE	AZ	85251
Business or Resident	3033 N SCOTTSDALE RD	Scottsdale	AZ	85251
Business or Resident	30333 VIA RIVERA	RANCHO PALOS VERDES	CA	90275
Business or Resident	3035 N SCOTTSDALE RD	Scottsdale	AZ	85251
Business or Resident	3039 N SCOTTSDALE RD	Scottsdale	AZ	85251
Business or Resident	304 1100 HARWOOD ST	VANCOUVER	BC	V6E1R7
Business or Resident	304B E BASELINE RD SUITE 102	MESA	AZ	85204
Business or Resident	30506 N 60TH ST	CAVE CREEK	AZ	85331
Business or Resident	3065 N 86TH PL	SCOTTSDALE	AZ	85251
Business or Resident	308 VARSITY ESTATES MEW NW	CALGARY	AB	T2P0X4
Business or Resident	3080 N CIVIC CENTER PZ	Scottsdale	AZ	85251
Business or Resident	3080 N CIVIC CENTER PZ STE 100	Scottsdale	AZ	85251
Business or Resident	3080 N CIVIC CENTER PZ STE 101	Scottsdale	AZ	85251
Business or Resident	3080 N CIVIC CENTER PZ STE 102	Scottsdale	AZ	85251
Business or Resident	3080 N CIVIC CENTER PZ STE 103	Scottsdale	AZ	85251
Business or Resident	3099 N CIVIC CENTER PZ	Scottsdale	AZ	85251
Business or Resident	3101 N SCOTTSDALE RD	Scottsdale	AZ	85251
Business or Resident	3103 W 46TH AVE	KENNEWICK	WA	99337
Business or Resident	3109 N LOS ALTOS DR	CHANDLER	AZ	85224
Business or Resident	3123 N SCOTTSDALE RD	Scottsdale	AZ	85251
Business or Resident	3126 N CIVIC CENTER PLAZA	SCOTTSDALE	AZ	85251
Business or Resident	3131 N 70TH STREET APT 103B	SCOTTSDALE	AZ	85251-6390
Business or Resident	3131 N SCOTTSDALE RD	Scottsdale	AZ	85251
Business or Resident	3133 N SCOTTSDALE RD	Scottsdale	AZ	85251
Business or Resident	3134 N CIVIC CENTER PZ	SCOTTSDALE	AZ	85251
Business or Resident	3137 N 86TH PL	SCOTTSDALE	AZ	85251
Business or Resident	3140 MIDWAY DR A109	SAN DIEGO	CA	92110
Business or Resident	315 BEECHWOOD CRESCENT	SASKATOON	SK	S7K1K6
Business or Resident	3158 SW ANTLER LN	REDMOND	OR	97756
Business or Resident	3164 S WILSON DR	CHANDLER	AZ	85286
Business or Resident	3175 S COAST HWY SUITE 300	LAGUNA BEACH	CA	92651
Business or Resident	319 E FILLMORE ST	TEMPE	AZ	85281
Business or Resident	3193 N DRINKWATER BL STE 100	Scottsdale	AZ	85251
Business or Resident	3193 N DRINKWATER BL STE 101	Scottsdale	AZ	85251
Business or Resident	3193 N DRINKWATER BL STE 200	Scottsdale	AZ	85251
Business or Resident	3193 N DRINKWATER BL STE 201	Scottsdale	AZ	85251
Business or Resident	3193 N DRINKWATER BLVD	SCOTTSDALE	AZ	85251-6491
Business or Resident	32 REICHERT CT	NOVATO	CA	94945
Business or Resident	3200 N 75TH ST BLDG F APT 13	SCOTTSDALE	AZ	85251
Business or Resident	3202 N 81ST PL	SCOTTSDALE	AZ	85251
Business or Resident	3212 N MILLER RD APT 319	Scottsdale	AZ	85251
Business or Resident	3213 N 81ST PL	SCOTTSDALE	AZ	85251
Business or Resident	322 W CYPRESS	PHOENIX	AZ	85003
Business or Resident	3225 N 75TH ST	SCOTTSDALE	AZ	85251
Business or Resident	3225 N CIVIC CENTER PZ	Scottsdale	AZ	85251
Business or Resident	3225 N CIVIC CENTER PZ STE 1	Scottsdale	AZ	85251
Business or Resident	3225 N CIVIC CENTER PZ STE 10	Scottsdale	AZ	85251
Business or Resident	3225 N CIVIC CENTER PZ STE 2	Scottsdale	AZ	85251
Business or Resident	3225 N CIVIC CENTER PZ STE 4	Scottsdale	AZ	85251
Business or Resident	3225 N CIVIC CENTER PZ STE 6	Scottsdale	AZ	85251
Business or Resident	3226 N MILLER RD	Scottsdale	AZ	85251
Business or Resident	3233 W PEORIA AVE STE 118	PHOENIX	AZ	85029
Business or Resident	3263 S JULIA LN	MAGNA	UT	84044
Business or Resident	3270 N COLORADO ST	CHANDLER	AZ	85275
Business or Resident	3271 N CIVIC CENTER PZ	Scottsdale	AZ	85251
Business or Resident	3271 N CIVIC CENTER PZ STE 1	Scottsdale	AZ	85251
Business or Resident	3271 N CIVIC CENTER PZ STE 2	Scottsdale	AZ	85251
Business or Resident	3271 N CIVIC CENTER PZ STE 3	Scottsdale	AZ	85251
Business or Resident	3271 N CIVIC CENTER PZ STE 4	Scottsdale	AZ	85251
Business or Resident	3271 N CIVIC CENTER PZ STE 5	Scottsdale	AZ	85251
Business or Resident	3271 N CIVIC CENTER PZ STE 6	Scottsdale	AZ	85251
Business or Resident	3271 N CIVIC CENTER PZ STE 7	Scottsdale	AZ	85251
Business or Resident	3271 N CIVIC CENTER PZ STE 8	Scottsdale	AZ	85251
Business or Resident	3271 N CIVIC CENTER PZ STE 9	Scottsdale	AZ	85251
Business or Resident	3275 N DRINKWATER BL	Scottsdale	AZ	85251
Business or Resident	3293 N DRINKWATER BL	Scottsdale	AZ	85251
Business or Resident	3295 N DRINKWATER BL	SCOTTSDALE	AZ	85251
Business or Resident	3295 N DRINKWATER BL STE 1	SCOTTSDALE	AZ	85251
Business or Resident	3295 N DRINKWATER BL STE 10	SCOTTSDALE	AZ	85251
Business or Resident	3295 N DRINKWATER BL STE 11	SCOTTSDALE	AZ	85251
Business or Resident	3295 N DRINKWATER BL STE 12	SCOTTSDALE	AZ	85251
Business or Resident	3295 N DRINKWATER BL STE 12A	Scottsdale	AZ	85251
Business or Resident	3295 N DRINKWATER BL STE 13	Scottsdale	AZ	85251
Business or Resident	3295 N DRINKWATER BL STE 14	Scottsdale	AZ	85251
Business or Resident	3295 N DRINKWATER BL STE 15	Scottsdale	AZ	85251
Business or Resident	3295 N DRINKWATER BL STE 16	Scottsdale	AZ	85251
Business or Resident	3295 N DRINKWATER BL STE 2	SCOTTSDALE	AZ	85251
Business or Resident	3295 N DRINKWATER BL STE 3	SCOTTSDALE	AZ	85251
Business or Resident	3295 N DRINKWATER BL STE 4	SCOTTSDALE	AZ	85251
Business or Resident	3295 N DRINKWATER BL STE 5	Scottsdale	AZ	85251
Business or Resident	3295 N DRINKWATER BL STE 6	Scottsdale	AZ	85251
Business or Resident	3295 N DRINKWATER BL STE 7	Scottsdale	AZ	85251

Business or Resident	3295 N DRINKWATER BL STE 8	Scottsdale	AZ	85251
Business or Resident	3295 N DRINKWATER BL STE 9	SCOTTSDALE	AZ	85251
Business or Resident	3300 N 75TH ST	SCOTTSDALE	AZ	85251
Business or Resident	3301 N MILLER RD	SCOTTSDALE	AZ	85251
Business or Resident	3302 N MILLER	SCOTTSDALE	AZ	85251
Business or Resident	3302 N MILLER RD STE E	Scottsdale	AZ	85251
Business or Resident	3303 N 75TH ST	SCOTTSDALE	AZ	85251
Business or Resident	3305 OSGOOD COVE N	STILLWATER	MN	55082
Business or Resident	3309 KNOXVILLE AVE	LONG BEACH	CA	90808
Business or Resident	3311 N SCOTTSDALE RD	Scottsdale	AZ	85251
Business or Resident	3313 N CIVIC CENTER PZ	Scottsdale	AZ	85251
Business or Resident	3313 N DRINKWATER BL	Scottsdale	AZ	85251
Business or Resident	3315 N SCOTTSDALE RD	Scottsdale	AZ	85251
Business or Resident	332 BOEKER AVE	PISMO BEACH	CA	93449
Business or Resident	3320 N MILLER RD	Scottsdale	AZ	85251
Business or Resident	3322 59TH AVE SW	SEATTLE	WA	98116
Business or Resident	3324 N 85TH ST	SCOTTSDALE	AZ	85251
Business or Resident	3326 N MILLER RD	Scottsdale	AZ	85251
Business or Resident	3327 - 118TH ST NW	EDMONTON	AB	T6J3J5
Business or Resident	3327 N CIVIC CENTER PZ	Scottsdale	AZ	85251
Business or Resident	333 CAMILLE AVE	ALAMO	CA	94507
Business or Resident	333 GLENWOOD DR	BISMARCH	ND	58504
Business or Resident	3332 N VALENCIA LN	PHOENIX	AZ	85018
Business or Resident	3333 N CIVIC CENTER PZ	Scottsdale	AZ	85251
Business or Resident	3337 N MILLER RD BLDG 1 OFC 101	SCOTTSDALE	AZ	85251
Business or Resident	3337 N MILLER RD BLDG 1 OFC 102	Scottsdale	AZ	85251
Business or Resident	3337 N MILLER RD BLDG 1 OFC 103	Scottsdale	AZ	85251
Business or Resident	3337 N MILLER RD BLDG 1 OFC 104	Scottsdale	AZ	85251
Business or Resident	3337 N MILLER RD BLDG 2 OFC 108	SCOTTSDALE	AZ	85251
Business or Resident	3337 N MILLER RD BLDG 3 OFC 105	SCOTTSDALE	AZ	85251
Business or Resident	3337 N MILLER RD BLDG 3 OFC 106	SCOTTSDALE	AZ	85251
Business or Resident	3337 N MILLER RD BLDG 3 OFC 107	SCOTTSDALE	AZ	85251
Business or Resident	3339 N DRINKWATER BL	Scottsdale	AZ	85251
Business or Resident	3342 S HUMBOLDT AVE	MINNEAPOLIS	MN	55408
Business or Resident	3345 MICHAELSON DR STE 200	IRVINE	CA	92715
Business or Resident	3370 N HAYDEN RD NO 123	SCOTTSDALE	AZ	85251
Business or Resident	339 MAINSAIL DR	WESTERVILLE	OH	43081
Business or Resident	3399 N SCOTTSDALE RD	Scottsdale	AZ	85251
Business or Resident	3401 RUE SAINT-ANTOINE O	WESTMOUNT	QC	H3Z1X1
Business or Resident	3402 N 36TH ST	PHOENIX	AZ	85018
Business or Resident	3405 N MILLER RD	Scottsdale	AZ	85251
Business or Resident	3405 PARTRIDGE RD	OKLAHOMA CITY	OK	73120
Business or Resident	3407 N SCOTTSDALE RD	Scottsdale	AZ	85251
Business or Resident	3408 N 78TH ST	SCOTTSDALE	AZ	85251
Business or Resident	3414 N 78TH ST	SCOTTSDALE	AZ	85251
Business or Resident	3415 N MILLER RD	Scottsdale	AZ	85251
Business or Resident	3417 S KALARAMA	SCOTTSDALE	AZ	85251
Business or Resident	3420 N 78TH ST	SCOTTSDALE	AZ	85251
Business or Resident	3423 N KALARAMA AVE	SCOTTSDALE	AZ	85251
Business or Resident	3423 N MILLER RD	Scottsdale	AZ	85251
Business or Resident	3426 N MILLER RD	SCOTTSDALE	AZ	85251
Business or Resident	3437 VAN AMBERG RD	BRIGHTON	MI	48114
Business or Resident	3450 BURLINGTON ST	BUTTE	MT	59701-4462
Business or Resident	3470 N E KLICKITAT	PORTLAND	OR	97212
Business or Resident	350 N MAIN ST - APT 919	ROYAL OAK	MI	48067
Business or Resident	3500 N MILLER RD	SCOTTSDALE	AZ	85251
Business or Resident	3501 N 164TH AVE	GOODYEAR	AZ	85395
Business or Resident	3501 N CHAMBERS CT	Scottsdale	AZ	85251
Business or Resident	3501 N KALARAMA AV	Scottsdale	AZ	85251
Business or Resident	3501 N SCOTTSDALE RD	Scottsdale	AZ	85251
Business or Resident	3501 N SCOTTSDALE RD STE 100	Scottsdale	AZ	85251
Business or Resident	3501 N SCOTTSDALE RD STE 110	Scottsdale	AZ	85251
Business or Resident	3501 N SCOTTSDALE RD STE 120	Scottsdale	AZ	85251
Business or Resident	3501 N SCOTTSDALE RD STE 130	Scottsdale	AZ	85251
Business or Resident	3501 N SCOTTSDALE RD STE 136	Scottsdale	AZ	85251
Business or Resident	3501 N SCOTTSDALE RD STE 140	Scottsdale	AZ	85251
Business or Resident	3501 N SCOTTSDALE RD STE 142	Scottsdale	AZ	85251
Business or Resident	3501 N SCOTTSDALE RD STE 150	Scottsdale	AZ	85251
Business or Resident	3501 N SCOTTSDALE RD STE 160	Scottsdale	AZ	85251
Business or Resident	3501 N SCOTTSDALE RD STE 221	Scottsdale	AZ	85251
Business or Resident	3501 N SCOTTSDALE RD STE 222	Scottsdale	AZ	85251
Business or Resident	3501 N SCOTTSDALE RD STE 226	Scottsdale	AZ	85251
Business or Resident	3501 N SCOTTSDALE RD STE 230	Scottsdale	AZ	85251
Business or Resident	3501 N SCOTTSDALE RD STE 231	Scottsdale	AZ	85251
Business or Resident	3501 N SCOTTSDALE RD STE 234	Scottsdale	AZ	85251
Business or Resident	3501 N SCOTTSDALE RD STE 236	Scottsdale	AZ	85251
Business or Resident	3501 N SCOTTSDALE RD STE 242	Scottsdale	AZ	85251
Business or Resident	3501 N SCOTTSDALE RD STE 244	Scottsdale	AZ	85251
Business or Resident	3501 N SCOTTSDALE RD STE 246	Scottsdale	AZ	85251
Business or Resident	3501 N SCOTTSDALE RD STE 250	Scottsdale	AZ	85251
Business or Resident	3501 N SCOTTSDALE RD STE 280	Scottsdale	AZ	85251
Business or Resident	3501 N SCOTTSDALE RD STE 300	Scottsdale	AZ	85251
Business or Resident	3501 N SCOTTSDALE RD STE 320	Scottsdale	AZ	85251
Business or Resident	3501 N SCOTTSDALE RD STE 322	Scottsdale	AZ	85251
Business or Resident	3501 N SCOTTSDALE RD STE 326	Scottsdale	AZ	85251
Business or Resident	3501 N SCOTTSDALE RD STE 330	Scottsdale	AZ	85251
Business or Resident	3501 N SCOTTSDALE RD STE 334	Scottsdale	AZ	85251
Business or Resident	3501 N SCOTTSDALE RD STE 336	Scottsdale	AZ	85251
Business or Resident	3501 N SCOTTSDALE RD STE 342	Scottsdale	AZ	85251
Business or Resident	3501 N SCOTTSDALE RD STE 344	Scottsdale	AZ	85251
Business or Resident	3501 N SCOTTSDALE RD STE 346	Scottsdale	AZ	85251
Business or Resident	3501 N SCOTTSDALE RD STE 347	Scottsdale	AZ	85251
Business or Resident	3501 N SCOTTSDALE RD STE 348	Scottsdale	AZ	85251
Business or Resident	3502 CARHILL AVE	SCOTTSDALE	AZ	85251
Business or Resident	3502 N 78TH ST	SCOTTSDALE	AZ	85251
Business or Resident	3502 N CREIGHTON CT	SCOTTSDALE	AZ	85251

Business or Resident	3503 N CREIGHTON CT	SCOTTSDALE	AZ	85251
Business or Resident	3505 N MILLER RD	SCOTTSDALE	AZ	85251
Business or Resident	3506 N CHAMBERS CT	SCOTTSDALE	AZ	85251-5726
Business or Resident	3507 N CARHILL	SCOTTSDALE	AZ	85251
Business or Resident	3507 N CHAMBERS CT	Scottsdale	AZ	85251
Business or Resident	3507 N KALARAMA AVE	SCOTTSDALE	AZ	85251
Business or Resident	3508 CREIGHTON CT	SCOTTSDALE	AZ	85251
Business or Resident	3508 N 78TH ST	SCOTTSDALE	AZ	85251
Business or Resident	3508 N CARHILL AVE	SCOTTSDALE	AZ	85251
Business or Resident	3508 N KALARAMA AV	Scottsdale	AZ	85251
Business or Resident	3509 N CREIGHTON CT	SCOTTSDALE	AZ	85251
Business or Resident	351 PARK RIDGE PL	QUALICUM BEACH	BC	V9K256
Business or Resident	3510 N MILLER RD	Scottsdale	AZ	85251
Business or Resident	3510 N MILLER RD UNIT 1001	SCOTTSDALE	AZ	85251
Business or Resident	3510 N MILLER RD UNIT 1002	SCOTTSDALE	AZ	85251-4519
Business or Resident	3510 N MILLER RD UNIT 1003	SCOTTSDALE	AZ	85251
Business or Resident	3510 N MILLER RD UNIT 1004	SCOTTSDALE	AZ	85251
Business or Resident	3510 N MILLER RD UNIT 1005	SCOTTSDALE	AZ	85251-4519
Business or Resident	3510 N MILLER RD UNIT 1006	Scottsdale	AZ	85251
Business or Resident	3510 N MILLER RD UNIT 1007	SCOTTSDALE	AZ	85251
Business or Resident	3510 N MILLER RD UNIT 1008	SCOTTSDALE	AZ	85251
Business or Resident	3510 N MILLER RD UNIT 1009	SCOTTSDALE	AZ	85251
Business or Resident	3510 N MILLER RD UNIT 1010	SCOTTSDALE	AZ	85251
Business or Resident	3510 N MILLER RD UNIT 1011	Scottsdale	AZ	85251
Business or Resident	3510 N MILLER RD UNIT 1012	SCOTTSDALE	AZ	85251
Business or Resident	3510 N MILLER RD UNIT 1013	SCOTTSDALE	AZ	85251
Business or Resident	3510 N MILLER RD UNIT 1014	SCOTTSDALE	AZ	85251
Business or Resident	3510 N MILLER RD UNIT 1015	SCOTTSDALE	AZ	85251
Business or Resident	3510 N MILLER RD UNIT 1016	Scottsdale	AZ	85251
Business or Resident	3510 N MILLER RD UNIT 1017	SCOTTSDALE	AZ	85251
Business or Resident	3510 N MILLER RD UNIT 1018	SCOTTSDALE	AZ	85251
Business or Resident	3510 N MILLER RD UNIT 1019	SCOTTSDALE	AZ	85251
Business or Resident	3510 N MILLER RD UNIT 1020	SCOTTSDALE	AZ	85251
Business or Resident	3510 N MILLER RD UNIT 1021	Scottsdale	AZ	85251
Business or Resident	3510 N MILLER RD UNIT 1022	Scottsdale	AZ	85251
Business or Resident	3510 N MILLER RD UNIT 1023	SCOTTSDALE	AZ	85251-4519
Business or Resident	3510 N MILLER RD, UNIT 1024	SCOTTSDALE	AZ	85251
Business or Resident	3511 N MILLER RD	SCOTTSDALE	AZ	85251
Business or Resident	3512 N CHAMBERS CT	SCOTTSDALE	AZ	85251
Business or Resident	3513 N CARHILL AVE	SCOTTSDALE	AZ	85251
Business or Resident	3513 N CHAMBERS CT	Scottsdale	AZ	85251
Business or Resident	3513 N KALARAMA AVE	SCOTTSDALE	AZ	85251
Business or Resident	3514 N 78TH ST	Scottsdale	AZ	85251
Business or Resident	3514 N CARHILL AVE	SCOTTSDALE	AZ	85251
Business or Resident	3514 N CREIGHTON CT	SCOTTSDALE	AZ	85251
Business or Resident	3514 N KALARAMA AVE	SCOTTSDALE	AZ	85251
Business or Resident	3515 S CREIGHTON CT	SCOTTSDALE	AZ	85251
Business or Resident	3517 N MILLER RD	Scottsdale	AZ	85251
Business or Resident	3518 N CHAMBERS	SCOTTSDALE	AZ	85251
Business or Resident	3519 N CARHILL AVE	SCOTTSDALE	AZ	85251
Business or Resident	3519 N CHAMBERS CT	SCOTTSDALE	AZ	85251
Business or Resident	3519 N KALARAMA AV	Scottsdale	AZ	85251
Business or Resident	3520 N CARHILL AVE	SCOTTSDALE	AZ	85251
Business or Resident	3520 N CREIGHTON CT	Scottsdale	AZ	85251
Business or Resident	3520 N KALARAMA AVE	SCOTTSDALE	AZ	85251
Business or Resident	3521 N CREIGHTON CT	SCOTTSDALE	AZ	85251
Business or Resident	3524 N MILLER RD	SCOTTSDALE	AZ	85251
Business or Resident	3525 N CHAMBERS CT	SCOTTSDALE	AZ	85251
Business or Resident	3526 N CARHILL AV	Scottsdale	AZ	85251
Business or Resident	3526 N KALARAMA AVE	SCOTTSDALE	AZ	85251-5731
Business or Resident	3527 N CARHILL AVE	SCOTTSDALE	AZ	85251
Business or Resident	3527 N CREIGHTON CT	SCOTTSDALE	AZ	85251
Business or Resident	3532 N CARHILL AV	Scottsdale	AZ	85251
Business or Resident	3533 N CARHILL AVE	SCOTTSDALE	AZ	85251
Business or Resident	3535 N SCOTTSDALE RD	Scottsdale	AZ	85251
Business or Resident	3580 HAGEN RD	NAPA	CA	94558
Business or Resident	3604 N WELLS FARGO AV	Scottsdale	AZ	85251
Business or Resident	3604 WELLS FARGO STE C	SCOTTSDALE	AZ	85251
Business or Resident	3611 N KALARAMA AVE	SCOTTSDALE	AZ	85251
Business or Resident	3615 N MILLER RD	SCOTTSDALE	AZ	85251
Business or Resident	3616 N 78TH ST	SCOTTSDALE	AZ	85251
Business or Resident	3617 N KALARAMA AVE	SCOTTSDALE	AZ	85251
Business or Resident	3618 N DRINKWATER BL	Scottsdale	AZ	85251
Business or Resident	3620 N MILLER RD APT 20	SCOTTSDALE	AZ	85251
Business or Resident	3620 N MILLER RD APT 6	Scottsdale	AZ	85251
Business or Resident	3621 N WELLS FARGO AV	Scottsdale	AZ	85251
Business or Resident	3624 N WELLS FARGO AV	Scottsdale	AZ	85251
Business or Resident	3624 N WELLS FARGO AV STE 123	Scottsdale	AZ	85251
Business or Resident	3626 N DRINKWATER BL	Scottsdale	AZ	85251
Business or Resident	3629 N WELLS FARGO AV	Scottsdale	AZ	85251
Business or Resident	3634 N DRINKWATER BL	Scottsdale	AZ	85251
Business or Resident	3636 E DENTON LN	PARADISE VALLEY	AZ	85253-7508
Business or Resident	3640 LIPAN ST	DENVER	CO	80211
Business or Resident	3640 N MILLER RD	SCOTTSDALE	AZ	85251
Business or Resident	3640 N WELLS FARGO AV	Scottsdale	AZ	85251
Business or Resident	36436 E ANTELOPE DR	WELLTON	AZ	85356
Business or Resident	3645 N WELLS FARGO AV	Scottsdale	AZ	85251
Business or Resident	3648 N WELLS FARGO AV	Scottsdale	AZ	85251
Business or Resident	366 GRIESBACH SCHOOL RD	EDMONTON	AB	TSJ0K1
Business or Resident	3666 N MILLER RD	Scottsdale	AZ	85251
Business or Resident	3666 N MILLER RD BLDG A STE 101	Scottsdale	AZ	85251
Business or Resident	3666 N MILLER RD BLDG A STE 102	Scottsdale	AZ	85251
Business or Resident	3666 N MILLER RD BLDG A STE 103	Scottsdale	AZ	85251
Business or Resident	3666 N MILLER RD BLDG A STE 104	Scottsdale	AZ	85251
Business or Resident	3666 N MILLER RD BLDG B STE 102	Scottsdale	AZ	85251
Business or Resident	3666 N MILLER RD BLDG B STE 103	Scottsdale	AZ	85251

Business or Resident	3666 N MILLER RD BLDG B STE 104	Scottsdale	AZ	85251
Business or Resident	3666 N MILLER RD BLDG B STE 105	Scottsdale	AZ	85251
Business or Resident	3666 N MILLER RD BLDG B STE 106	Scottsdale	AZ	85251
Business or Resident	3666 N MILLER RD BLDG B STE 107	Scottsdale	AZ	85251
Business or Resident	3666 N MILLER RD BLDG B STE 108	Scottsdale	AZ	85251
Business or Resident	3666 N MILLER RD BLDG B STE 113	Scottsdale	AZ	85251
Business or Resident	3666 N MILLER RD STE 100	Scottsdale	AZ	85251
Business or Resident	3666 N MILLER RD STE 107	SCOTTSDALE	AZ	85251
Business or Resident	3666 N MILLER RD STE 113	SCOTTSDALE	AZ	85251
Business or Resident	3666 N MILLER RD SUITE 101	SCOTTSDALE	AZ	85251-4534
Business or Resident	3666 NORTH MILLER RD STE 113	SCOTTSDALE	AZ	85251
Business or Resident	3676 S HURON ST	ENGLEWOOD	CO	80110
Business or Resident	3680 OAK CREEK DR E	VADNAIS HEIGHTS	MN	55127
Business or Resident	3681 SW HALCYON RD	TUALATIN	OR	97062
Business or Resident	3705 E NAMBE CT	PHOENIX	AZ	85044
Business or Resident	3705 E ORANGEBURG AVE	MODESTO	CA	95355
Business or Resident	3718 N WELLS FARGO AV	Scottsdale	AZ	85251
Business or Resident	3719 N 75TH ST	Scottsdale	AZ	85251
Business or Resident	3719 N 75TH ST STE 100	Scottsdale	AZ	85251
Business or Resident	3719 N 75TH ST STE 105	Scottsdale	AZ	85251
Business or Resident	3719 N 75TH ST STE 110	Scottsdale	AZ	85251
Business or Resident	3721 N SCOTTSDALE RD	Scottsdale	AZ	85251
Business or Resident	3737 N SCOTTSDALE RD	Scottsdale	AZ	85251
Business or Resident	3740 N DRINKWATER BL	Scottsdale	AZ	85251
Business or Resident	3777 WONDERLAND HILL AVE	BOULDER	CO	80302
Business or Resident	379 KENNEDY CT EAST	COLGATE	WI	53017
Business or Resident	3791 SHILOH CHURCH RD NW	KENNESAW	GA	30152-2346
Business or Resident	3801 N MILLER RD	Scottsdale	AZ	85251
Business or Resident	3801 N SCOTTSDALE RD	Scottsdale	AZ	85251
Business or Resident	3805 N BROWN AV	SCOTTSDALE	AZ	85251
Business or Resident	3805 N SCOTTSDALE RD	Scottsdale	AZ	85251
Business or Resident	3809 N SCOTTSDALE RD	Scottsdale	AZ	85251
Business or Resident	3810 N MILLER RD	Scottsdale	AZ	85251
Business or Resident	3811 N 44TH ST	PHOENIX	AZ	85018
Business or Resident	3811 N BROWN AV	SCOTTSDALE	AZ	85251
Business or Resident	3813 N SCOTTSDALE RD	Scottsdale	AZ	85251
Business or Resident	3815 N BROWN AV	SCOTTSDALE	AZ	85251
Business or Resident	3815 N SCOTTSDALE RD	Scottsdale	AZ	85251
Business or Resident	3816 W FOLLEY ST	CHANDLER	AZ	85226
Business or Resident	3817 N BROWN AV	Scottsdale	AZ	85251
Business or Resident	3820 N SAWTOOTH CIR	MESA	AZ	85215
Business or Resident	3821 N SCOTTSDALE RD	Scottsdale	AZ	85251
Business or Resident	3831 KIESS DR	GLENVIEW	IL	60026
Business or Resident	3831 N SCOTTSDALE RD	Scottsdale	AZ	85251
Business or Resident	3858 FOX LAIR	FLAGSTAFF	AZ	86004
Business or Resident	3902 N BROWN AV	Scottsdale	AZ	85251
Business or Resident	3903 N BROWN AV	Scottsdale	AZ	85251
Business or Resident	3903 N SCOTTSDALE RD	Scottsdale	AZ	85251
Business or Resident	3907 N BROWN AV	Scottsdale	AZ	85251
Business or Resident	3907 N SCOTTSDALE RD	Scottsdale	AZ	85251
Business or Resident	3911 N BROWN AV	Scottsdale	AZ	85251
Business or Resident	3911 N SCOTTSDALE RD	Scottsdale	AZ	85251
Business or Resident	3912 N BROWN AV	Scottsdale	AZ	85251
Business or Resident	3914 S STARLAKE RD	AUBURN	WA	98001
Business or Resident	3915 N SCOTTSDALE RD	Scottsdale	AZ	85251
Business or Resident	3916 N BROWN AV	Scottsdale	AZ	85251
Business or Resident	3918 NE GLISAN ST	PORTLAND	OR	97232
Business or Resident	3920 N MILLER RD	Scottsdale	AZ	85251
Business or Resident	3921 N SCOTTSDALE RD	Scottsdale	AZ	85251
Business or Resident	3925 N BROWN AV	Scottsdale	AZ	85251
Business or Resident	3925 N SCOTTSDALE RD	SCOTTSDALE	AZ	85251
Business or Resident	3930 N MILLER RD	Scottsdale	AZ	85251
Business or Resident	3933 N BROWN AV	Scottsdale	AZ	85251
Business or Resident	3933 N SCOTTSDALE RD	Scottsdale	AZ	85251
Business or Resident	3935 E ROUGH RIDER RD UNIT 1140	PHOENIX	AZ	85050
Business or Resident	3935 N BROWN AV	Scottsdale	AZ	85251
Business or Resident	3935 N SCOTTSDALE RD	Scottsdale	AZ	85251
Business or Resident	3937 N BROWN AV	Scottsdale	AZ	85251
Business or Resident	3940 E CREST LN	PHOENIX	AZ	85050
Business or Resident	3940 N MILLER RD	Scottsdale	AZ	85251
Business or Resident	3940 N MILLER RD STE A	Scottsdale	AZ	85251
Business or Resident	3940 N MILLER RD STE B	Scottsdale	AZ	85251
Business or Resident	3940 N MILLER RD STE C	Scottsdale	AZ	85251
Business or Resident	3940 N MILLER RD STE D	Scottsdale	AZ	85251
Business or Resident	3940 N MILLER RD STE E	Scottsdale	AZ	85251
Business or Resident	3940 N MILLER RD STE F	Scottsdale	AZ	85251
Business or Resident	3940 N MILLER RD STE G	Scottsdale	AZ	85251
Business or Resident	3940 N MILLER RD STE H	Scottsdale	AZ	85251
Business or Resident	3940 N MILLER RD STE I	Scottsdale	AZ	85251
Business or Resident	3940 N MILLER RD STE J	Scottsdale	AZ	85251
Business or Resident	3940 N MILLER RD STE K	Scottsdale	AZ	85251
Business or Resident	3941 N BROWN AV	Scottsdale	AZ	85251
Business or Resident	3942 N BUCKBOARD TR	Scottsdale	AZ	85251
Business or Resident	3944 N BROWN AV	Scottsdale	AZ	85251
Business or Resident	3945 N BROWN AV UNIT 100	Scottsdale	AZ	85251
Business or Resident	3945 N BROWN AV UNIT 105	Scottsdale	AZ	85251
Business or Resident	3945 N BROWN AVE	SCOTTSDALE	AZ	85251
Business or Resident	3949 N BROWN AV	Scottsdale	AZ	85251
Business or Resident	3950 N BROWN AV	Scottsdale	AZ	85251
Business or Resident	3953 N BROWN AV	Scottsdale	AZ	85251
Business or Resident	3954 N BROWN AV	Scottsdale	AZ	85251
Business or Resident	3957 N BROWN AV	Scottsdale	AZ	85251
Business or Resident	3958 N BROWN AV	Scottsdale	AZ	85251
Business or Resident	3961 N 75TH ST	Scottsdale	AZ	85251
Business or Resident	3961 N 75TH ST STE 102	Scottsdale	AZ	85251
Business or Resident	3961 N 75TH ST STE 104	Scottsdale	AZ	85251



Business or Resident	4017 N SCOTTSDALE RD STE 104	Scottsdale	AZ	85251
Business or Resident	4018 N 78TH ST	Scottsdale	AZ	85251
Business or Resident	4018 N 78TH ST UNIT 33	SCOTTSDALE	AZ	85251
Business or Resident	4020 N 78TH ST	Scottsdale	AZ	85251
Business or Resident	4020 N REDDELL AV	Scottsdale	AZ	85251
Business or Resident	4021 N 75TH ST	Scottsdale	AZ	85251
Business or Resident	4021 N 75TH ST STE 101	Scottsdale	AZ	85251
Business or Resident	4021 N 75TH ST STE 102	Scottsdale	AZ	85251
Business or Resident	4021 N 75TH ST STE 103	Scottsdale	AZ	85251
Business or Resident	4021 N 75TH ST STE 104	Scottsdale	AZ	85251
Business or Resident	4021 N 75TH ST STE 105	Scottsdale	AZ	85251
Business or Resident	4021 N 75TH ST STE 201	Scottsdale	AZ	85251
Business or Resident	4021 N 75TH ST STE 202	Scottsdale	AZ	85251
Business or Resident	4021 N 75TH ST SUITE 104	SCOTTSDALE	AZ	85251
Business or Resident	4022 N PARKWAY AV	Scottsdale	AZ	85251
Business or Resident	4024 N PARKWAY AVE	SCOTTSDALE	AZ	85251
Business or Resident	4026 N MILLER RD STE 100	Scottsdale	AZ	85251
Business or Resident	4026 N MILLER RD STE 101	Scottsdale	AZ	85251
Business or Resident	4026 N MILLER RD STE 102	Scottsdale	AZ	85251
Business or Resident	4026 N MILLER RD STE 103	Scottsdale	AZ	85251
Business or Resident	4026 N MILLER RD STE 104	Scottsdale	AZ	85251
Business or Resident	4026 N MILLER RD STE 200	Scottsdale	AZ	85251
Business or Resident	4026 N MILLER RD STE 201	Scottsdale	AZ	85251
Business or Resident	4026 N MILLER RD STE 202	Scottsdale	AZ	85251
Business or Resident	4026 N MILLER RD STE 204	Scottsdale	AZ	85251
Business or Resident	4026 N PARKWAY AV	Scottsdale	AZ	85251
Business or Resident	4026 N REDDELL AV	Scottsdale	AZ	85251
Business or Resident	4028 N PARKWAY AV	Scottsdale	AZ	85251
Business or Resident	4030 N PARKWAY AV	Scottsdale	AZ	85251
Business or Resident	4031 N SCOTTSDALE RD	SCOTTSDALE	AZ	85251
Business or Resident	4032 N MILLER RD STE 100	Scottsdale	AZ	85251
Business or Resident	4032 N MILLER RD STE 102	Scottsdale	AZ	85251
Business or Resident	4032 N MILLER RD STE 104	Scottsdale	AZ	85251
Business or Resident	4032 N MILLER RD STE 106	Scottsdale	AZ	85251
Business or Resident	4032 N MILLER RD STE 108	Scottsdale	AZ	85251
Business or Resident	4032 N PARKWAY AV	Scottsdale	AZ	85251
Business or Resident	4032 N REDDELL AV	Scottsdale	AZ	85251
Business or Resident	4033 N MILLER RD	Scottsdale	AZ	85251
Business or Resident	4034 N PARKWAY AV	Scottsdale	AZ	85251
Business or Resident	4036 N PARKWAY AV	Scottsdale	AZ	85251
Business or Resident	405 HOWARD ST STE 550	SAN FRANCISCO	CA	94105
Business or Resident	4091 FORNEY AVE	SAN DIEGO	CA	92117
Business or Resident	410 N 44TH ST 350	PHOENIX	AZ	85008
Business or Resident	410 W 25TH ST APT 4A	NEW YORK	NY	10001
Business or Resident	4115 E FRIESS DR	PHOENIX	AZ	85032
Business or Resident	4138 W ANGELA DR	GLENDALE	AZ	85308
Business or Resident	415 3RD ST	WARETOWN	NJ	08758
Business or Resident	419 B NAPA ST	SAUSALITO	CA	94965
Business or Resident	4210 LEAVELLE RD NW	OLYMPIA	WA	98502
Business or Resident	4245 ROCK CASTLE LN	SANTA FE	NM	87507
Business or Resident	429 LAKE SIMCOE CRES S E	CALGARY	AB	T2J5L3
Business or Resident	430 WOODLAND DR	ARROYO GRANDE	CA	93420
Business or Resident	4311 N PARKWAY AVE APT 518	SCOTTSDALE	AZ	85251
Business or Resident	4322 N 78TH ST NO 6	SCOTTSDALE	AZ	85251
Business or Resident	4350 VON KARMAN AVE - 400	NEWPORT BEACH	CA	92660
Business or Resident	436 TUKWILA DR	WOODBURN	OR	97071
Business or Resident	4-38 Ave Sainte HELENE	SAINT LAMBERT	QC	J4R 1S2
Business or Resident	439 HUMMINGBIRD LN	LIVERMORE	CA	94551
Business or Resident	4400 N SCOTTSDALE RD SUITE 9-230	SCOTTSDALE	AZ	85251
Business or Resident	4414 N CIVIC CENTER PLAZA STE 100	SCOTTSDALE	AZ	85251
Business or Resident	4422 N 75TH ST UNIT 8005	SCOTTSDALE	AZ	85251-4084
Business or Resident	4434 VIA DE LA PLAZA	YORBA LINDA	CA	92686
Business or Resident	4466 VIEW PL UNIT 204	OAKLAND	CA	94611
Business or Resident	450 SANSOME ST 14TH FL	SAN FRANCISCO	CA	94111
Business or Resident	451 AINSWORTH CT	WATERLOO	ON	N2T1H5
Business or Resident	4525 N 66TH ST NO 59	SCOTTSDALE	AZ	85251
Business or Resident	4530 WINGED FOOT LN	FLAGSTAFF	AZ	86004
Business or Resident	4545 S W NEDLER DR 100	TEMPE	AZ	85282
Business or Resident	455 BENT ST	LAGUNA BEACH	CA	92651
Business or Resident	4590 GREEN VALLEY DR	HIGH RIDGE	MO	63049
Business or Resident	4600 WELLS FARGO CTR 90 S 7TH ST	MINNEAPOLIS	MN	55402
Business or Resident	4602 N ROYAL VIEW DR	PHOENIX	AZ	85018
Business or Resident	4607 48TH ST NW	CALGARY	AB	T3A0S5
Business or Resident	4614 E ALMERIA RD	PHOENIX	AZ	85008
Business or Resident	4640 N 161ST ST	BROOKFIELD	WI	53005
Business or Resident	4641 E AVALON DR	PHOENIX	AZ	85018
Business or Resident	4720 N MILLER RD	SCOTTSDALE	AZ	85251
Business or Resident	4735 N LAUNFAL AVE	PHOENIX	AZ	85018
Business or Resident	4752 W 20TH LN	YUMA	AZ	85364
Business or Resident	4757 ISLAND VIEW DR	MOUD MN	MN	55364
Business or Resident	4800 N 68TH ST UNIT 351	SCOTTSDALE	AZ	85251-1134
Business or Resident	4800 W MACONDO TR	CHINO VALLEY	AZ	86323
Business or Resident	4851 LBJ FREEWAY STE 600	DALLAS	TX	75244
Business or Resident	4859 DIVISION AVE	SAINT PAUL	MN	55110-2742
Business or Resident	4860 JAMES AVE	CASTRO VALLEY	CA	94546
Business or Resident	4887 W TYSON ST	CHANDLER	AZ	85226
Business or Resident	49 CHANTICLEER ST	LARKSPUR	CA	94939
Business or Resident	4936 E AMELIA AVE	PHOENIX	AZ	85018
Business or Resident	495 BEAR WALLOW MOUNTAIN RD	HENDERSONVILLE	NC	28792
Business or Resident	4950 N MILLER RD NO 227	SCOTTSDALE	AZ	85251
Business or Resident	4971 NASSAU CIR W	ENGLEWOOD	CO	80113
Business or Resident	4972 W 88TH ST	PRAIRIE VILLAGE	KS	66207
Business or Resident	500 W WILSON BRIDGE RD STE 145	WORTHINGTON	OH	43085
Business or Resident	50001 S DUSTY COYOTE TRL	GOLD CANYON	AZ	85218
Business or Resident	5001 CHAPPELET DR	SPARKS	NV	89436
Business or Resident	501 N SCOTTSDALE	SCOTTSDALE	AZ	85257

Business or Resident	5016 SHERLIN NW	MASSILLION	OH	44646
Business or Resident	5019 E SHAW BUTTE DR	SCOTTSDALE	AZ	85254
Business or Resident	502 DRESBACH WAY	DAVIS	CA	95618
Business or Resident	5076 GREENWILLOW LN	SAN DIEGO	CA	92130
Business or Resident	509 S 48TH ST STE 103	TEMPE	AZ	85281
Business or Resident	51 SHAWMEADOWS RISE SW	CALGARY	AB	T2Y1C5
Business or Resident	5108 SUNSHINE COST HWY	SECHLT	BC	VON3A2
Business or Resident	511 CHARLESTON	LODI	CA	95242
Business or Resident	5115 E BERNILL DR	PARADISE VALLEY	AZ	85253
Business or Resident	5147 N 45TH PL	PHOENIX	AZ	85018
Business or Resident	5183 EAGLESNEST CT	WESTERVILLE	OH	43081
Business or Resident	5220 N 33RD ST	PHOENIX	AZ	85018
Business or Resident	5304 E WONDERVIEW RD	PHOENIX	AZ	85018
Business or Resident	5315 S LAMAR ST	LITTLETON	CO	80123
Business or Resident	5345 E MERCER LN	SCOTTSDALE	AZ	85254
Business or Resident	535 SAN JUAN DR	DURANGO	CO	81301
Business or Resident	5356 E VALLE VISTA RD	PHOENIX	AZ	85018
Business or Resident	5373 COVINA PL	RANCHO CUCAMONGA	CA	91739
Business or Resident	5410 E THUNDER HAWK RD	CAVE CREEK	AZ	85331
Business or Resident	5424 N RIFFLE WAY	BOISE	ID	83714-5609
Business or Resident	5425 E FLOWER ST	PHOENIX	AZ	85018
Business or Resident	5429 E CALLE REDONDA	PHOENIX	AZ	85018
Business or Resident	5518 E LUDLOW DR	SCOTTSDALE	AZ	85254
Business or Resident	5522 E LARKSPUR DR	SCOTTSDALE	AZ	85254
Business or Resident	5537 N 75TH PL	SCOTTSDALE	AZ	85250
Business or Resident	5540 S MORGAN ST	SEATTLE	WA	98118
Business or Resident	5552 W PARKVIEW LN	GLENDALE	AZ	85310-2816
Business or Resident	5566 INDIAN MOUND CIR	SHEBOYGAN	WI	53081
Business or Resident	5571 N PASEO VENTOSO	TUCSON	AZ	85750-1167
Business or Resident	5601 E VALLE VISTA RD	PHOENIX	AZ	85018
Business or Resident	5613 DTC PKWY STE 970	GREENWOOD VILLAGE	CO	80111
Business or Resident	5614 E LEMARCHE AVE	SCOTTSDALE	AZ	85254
Business or Resident	5626 S W CORONADO ST	PORTLAND	OR	97219
Business or Resident	5649 CAMARRIO CT	RANCHO CUCAMONGA	CA	91739
Business or Resident	5650 VISTA COURT	EAU CLAIRE	WI	54701
Business or Resident	5713 N SOLANO CIR	PARADISE VALLEY	AZ	85253
Business or Resident	5718 W SPUR DR	PHOENIX	AZ	85083
Business or Resident	572 S RIDGE DR	SOUTH SIOUX CITY	NE	68776
Business or Resident	5737 QUARRY CRESCENT	NANAIMO	BC	V9T6H9
Business or Resident	575 BLOOMFIELD AVE	NUTLEY	NJ	07110
Business or Resident	5762 LINCOLN AVE NO 1123	CYPRESS	CA	90630
Business or Resident	5803 QUARRY CRES	NANAIMO	BC	V9T6H9
Business or Resident	5829 W FETLOCK TRL	PHOENIX	AZ	85083
Business or Resident	5916 E EDGEMONT	SCOTTSDALE	AZ	85257
Business or Resident	5930 E ORANGE BLOSSOM LN	PHOENIX	AZ	85018
Business or Resident	5930 E SHARON DR	SCOTTSDALE	AZ	85254
Business or Resident	6001 E FRIESS DR	SCOTTSDALE	AZ	85254
Business or Resident	601 W RIO SALADO PKWY NO 4032	TEMPE	AZ	85281
Business or Resident	6013 E DIXILETA DR	CAVE CREEK	AZ	85331-6053
Business or Resident	6029 E LINDEN LN	PHOENIX	AZ	85018
Business or Resident	6036 BROGAN WAY	EL DORADO HILLS	CA	95762
Business or Resident	6040 E MAIN ST # 466	MESA	AZ	85205
Business or Resident	606 3RD AVE NE	MINNEAPOLIS	MN	55413
Business or Resident	6101 E CALLE DEL NORTE	SCOTTSDALE	AZ	85251
Business or Resident	6101 HASTINGS ST	BURNABY	BC	V5B1R9
Business or Resident	6132 E LINCOLN DR	PARADISE VALLEY	AZ	85253
Business or Resident	614 GLENCOE RD	EXCELSIOR	MN	55331
Business or Resident	62 RAVEN DRIVE	SHERWOOD PARK	AB	T8A0C8
Business or Resident	6207 E CALLE REDONA	SCOTTSDALE	AZ	85251
Business or Resident	6207 N CATTLETRACK RD UNIT 5	SCOTTSDALE	AZ	85250
Business or Resident	6223 E CALLE REDONDA	SCOTTSDALE	AZ	85251
Business or Resident	6245 E MCDONALD DR	PARADISE VALLEY	AZ	85253
Business or Resident	6253 PLEASANT ST	W DES MOINES	IA	50266
Business or Resident	6271 MOLT RD	BILLINGS	MT	59106
Business or Resident	628 21ST ST	WEST DES MOINES	IA	50265
Business or Resident	629 N ELM ST	CHANDLER	AZ	85226
Business or Resident	629 W MCNAIR ST	CHANDLER	AZ	85225
Business or Resident	6301 E ALTA HACIENDA DR	SCOTTSDALE	AZ	85251
Business or Resident	6303 MARBELLA BLVD	APOLLO BEACH	FL	33572
Business or Resident	631 W PALO VERDE ST	GILBERT	AZ	85233
Business or Resident	6322 E EVANS DR	SCOTTSDALE	AZ	85254
Business or Resident	6342 N 14TH ST	PHOENIX	AZ	85014
Business or Resident	6349 N CATTLE TRACK RD	SCOTTSDALE	AZ	85250
Business or Resident	6414 E ASTER DR	SCOTTSDALE	AZ	85254
Business or Resident	642 BAYVIEW DR	APTOS	CA	95003-5304
Business or Resident	6421 APPLECROSS RD	NANAIMO	BC	V9V1N1
Business or Resident	646 S GROVE ST	RIPON	WI	54971
Business or Resident	6509 N NEVA AVE	CHICAGO	IL	60631
Business or Resident	66 EMANUEL DR	BOXBOROUGH	MA	01719-1133
Business or Resident	6613 N 82ND PL	SCOTTSDALE	AZ	85250
Business or Resident	6621 W 86TH PLACE #110	WESTCHESTER	CA	90045
Business or Resident	6623 E PARADISE DR	SCOTTSDALE	AZ	85254
Business or Resident	6697 ORCHARD TRAIL NE	CANTON	OH	44721
Business or Resident	6699 FRANKLIN WOODS DR	TRAVERSE CITY	MI	49686-1901
Business or Resident	6728 N LEMAI	LINCOLNWOOD	IL	60712
Business or Resident	6732 E CYPRESS ST	SCOTTSDALE	AZ	85257
Business or Resident	6744 E CORONADO RD	SCOTTSDALE	AZ	85257
Business or Resident	6803 E MAIN ST UNIT 2206	SCOTTSDALE	AZ	85251-4322
Business or Resident	6804 E 2ND ST UNIT 32	SCOTTSDALE	AZ	85251
Business or Resident	6811 E THOMAS RD	SCOTTSDALE	AZ	85251
Business or Resident	6832 E MONTECITO	SCOTTSDALE	AZ	85251
Business or Resident	6834 N 85TH STREET	SCOTTSDALE	AZ	85250
Business or Resident	6900 E 2ND ST	SCOTTSDALE	AZ	85251
Business or Resident	6939 5TH AVE	SCOTTSDALE	AZ	85251
Business or Resident	6940 E COCHISE RD 1015	SCOTTSDALE	AZ	85253
Business or Resident	6945 W BERWYN AVE	CHICAGO	IL	60656



Business or Resident	7 6800 LYNAS LN	RICHMOND	BC	V7C -E2
Business or Resident	7 SWAMSCOTT ST	NEWFIELDS	NH	03856
Business or Resident	7 W NOYES ST	ARLINGTON HTS	IL	60005
Business or Resident	7000 E MCDOWELL RD SUITE 100	SCOTTSDALE	AZ	85257
Business or Resident	701 S SAGUARO DR	WICKENBURG	AZ	85390
Business or Resident	7020 E FRIESS DE	SCOTTSDALE	AZ	85254
Business or Resident	7034 N KOSTNER	LINCOLNWOOD	IL	60646
Business or Resident	7039 E MAIN ST UNIT A204	SCOTTSDALE	AZ	85251
Business or Resident	7047 N HIGHFIELD DR	BIRMINGHAM	AL	35242
Business or Resident	7077 E AVALON DR	SCOTTSDALE	AZ	85251
Business or Resident	708 COLONY LN	FRANKFORT	IL	60423-9519
Business or Resident	710 1755 ROBSON ST	VANCOUVER	BC	V6G3B7
Business or Resident	7107 STETSON DR	SCOTTSDALE	AZ	85251
Business or Resident	7107 W UTOPIA RD	GLENDALE	AZ	85020
Business or Resident	711 E NORTHERN AVE	PHOENIX	AZ	85020
Business or Resident	7118 GRANDVIEW AVE	SCOTTS MILLS	OR	97375-9658
Business or Resident	7119 E VERDE LN	SCOTTSDALE	AZ	85251
Business or Resident	7121 E RANCHO VISTA DR #7003	SCOTTSDALE	AZ	85251
Business or Resident	7122 N VIA NUEVA	SCOTTSDALE	AZ	85258
Business or Resident	7129 E 6TH AVE	SCOTTSDALE	AZ	85251
Business or Resident	7156 N VIA DE AMIGOS	SCOTTSDALE	AZ	85258
Business or Resident	720 FIELD ST	LAKESWOOD	CO	80215
Business or Resident	7202 E THOMAS RD	Scottdale	AZ	85251
Business or Resident	721 PASS GO LN	ASPEN	CO	81611
Business or Resident	7210 E 1ST AV	Scottdale	AZ	85251
Business or Resident	7210 E 2ND ST	SCOTTSDALE	AZ	85251
Business or Resident	7211 E MAIN ST	SCOTTSDALE	AZ	85251
Business or Resident	7212 E MAIN ST	Scottdale	AZ	85251
Business or Resident	7213 E 1ST AV	Scottdale	AZ	85251
Business or Resident	7213 E MAIN ST	Scottdale	AZ	85251
Business or Resident	7214 E THOMAS RD	Scottdale	AZ	85251
Business or Resident	7215 E 1ST ST	Scottdale	AZ	85251
Business or Resident	7215 E 2ND ST	SCOTTSDALE	AZ	85251
Business or Resident	7215 E MAIN ST	Scottdale	AZ	85251
Business or Resident	7216 E MAIN ST	Scottdale	AZ	85251
Business or Resident	7217 E 1ST ST	Scottdale	AZ	85251
Business or Resident	7217 E MAIN ST	Scottdale	AZ	85251
Business or Resident	7218 E THOMAS RD	Scottdale	AZ	85251
Business or Resident	7219 E 1ST ST	Scottdale	AZ	85251
Business or Resident	7219 E MAIN ST	Scottdale	AZ	85251
Business or Resident	7220 E 2ND ST	Scottdale	AZ	85251
Business or Resident	7220 E FIRST AVE	SCOTTSDALE	AZ	85251
Business or Resident	7220 E MAIN ST	Scottdale	AZ	85251
Business or Resident	7221 E 1ST AV	Scottdale	AZ	85251
Business or Resident	7222 E 2ND ST	Scottdale	AZ	85251
Business or Resident	7222 E 4TH ST	Scottdale	AZ	85251
Business or Resident	7222 E OSBORN RD	Scottdale	AZ	85251
Business or Resident	7223 E 1ST ST	Scottdale	AZ	85251
Business or Resident	7223 E 2ND ST	Scottdale	AZ	85251
Business or Resident	7223 E MAIN ST	Scottdale	AZ	85251
Business or Resident	7225 E 1ST AV	Scottdale	AZ	85251
Business or Resident	7225 E MAIN ST	Scottdale	AZ	85251
Business or Resident	7226 E VIRGINIA	SCOTTSDALE	AZ	85257
Business or Resident	7227 E 1ST AV	Scottdale	AZ	85251
Business or Resident	7228 E 1ST AVE	SCOTTSDALE	AZ	85251
Business or Resident	7228 E MAIN ST	SCOTTSDALE	AZ	85251
Business or Resident	7228 N DREAMY DRAW DR	PHOENIX	AZ	85020
Business or Resident	7229 E 1ST AV	Scottdale	AZ	85251
Business or Resident	7229 E MAIN ST	Scottdale	AZ	85251
Business or Resident	7229-7233 E MAIN ST	SCOTTSDALE	AZ	85251
Business or Resident	7230 E 4TH ST	Scottdale	AZ	85251
Business or Resident	7231 E 1ST AV	Scottdale	AZ	85251
Business or Resident	7232 E 1ST ST	SCOTTSDALE	AZ	85253
Business or Resident	7232 E MAIN ST	SCOTTSDALE	AZ	85252
Business or Resident	7233 E 1ST AV	Scottdale	AZ	85251
Business or Resident	7233 E MAIN ST	Scottdale	AZ	85251
Business or Resident	7235 E 1ST AV	Scottdale	AZ	85251
Business or Resident	7236 E 1ST AV STE A	SCOTTSDALE	AZ	85251
Business or Resident	7236 E 1ST AV STE B	SCOTTSDALE	AZ	85251
Business or Resident	7236 E 1ST AV STE C	SCOTTSDALE	AZ	85251
Business or Resident	7236 E 1ST AV STE D	SCOTTSDALE	AZ	85251
Business or Resident	7236 E 1ST AVE	SCOTTSDALE	AZ	85251
Business or Resident	7236 E MAIN ST	Scottdale	AZ	85251
Business or Resident	7237 E 1ST AV	Scottdale	AZ	85251
Business or Resident	7237 E MAIN ST	Scottdale	AZ	85251
Business or Resident	7238 E MAIN ST	Scottdale	AZ	85251
Business or Resident	7239 E 1ST AV	Scottdale	AZ	85251
Business or Resident	7240 E 1ST AV	Scottdale	AZ	85251
Business or Resident	7240 E MAIN ST	Scottdale	AZ	85251
Business or Resident	7242 E OSBORN RD	Scottdale	AZ	85251
Business or Resident	7244 E 1ST AV	Scottdale	AZ	85251
Business or Resident	7244 E MAIN ST	Scottdale	AZ	85251
Business or Resident	7245 E 1ST AV	Scottdale	AZ	85251
Business or Resident	7245 E MAIN ST	SCOTTSDALE	AZ	85251
Business or Resident	7245 E OSBORN RD	Scottdale	AZ	85251
Business or Resident	7246 E 1ST ST	Scottdale	AZ	85251
Business or Resident	7247 E MAIN ST	SCOTTSDALE	AZ	85251
Business or Resident	7248 E 1ST AV	Scottdale	AZ	85251
Business or Resident	7248 E MAIN ST	Scottdale	AZ	85251
Business or Resident	7249 E 1ST AV	Scottdale	AZ	85251
Business or Resident	7249 E MAIN ST	Scottdale	AZ	85251
Business or Resident	7252 E 1ST AV	Scottdale	AZ	85251
Business or Resident	7254 E MAIN ST	Scottdale	AZ	85251
Business or Resident	7257 E 1ST AV	Scottdale	AZ	85251
Business or Resident	726 TARBAT CT	INVERNESS	IL	60010-5644
Business or Resident	7270 S BEACH BLVD	QUEEN CREEK	AZ	85142









Business or Resident	7494 E EARLL DR UNIT 106	SCOTTSDALE	AZ	85251
Business or Resident	7494 E EARLL DR UNIT 107	SCOTTSDALE	AZ	85251
Business or Resident	7494 E EARLL DRIVE APT 108	SCOTTSDALE	AZ	85251
Business or Resident	7494 W EARLL DR #215	SCOTTSDALE	AZ	85251
Business or Resident	7496 S HAZELTON LN	TEMPE	AZ	85283
Business or Resident	75 GLEN CANYON RD	SANTA CRUZ	CA	95060
Business or Resident	75 TEMPLE RD	WALTHAM	MA	02452
Business or Resident	7500 E ANGUS DR	Scottsdale	AZ	85251
Business or Resident	7500 E ANGUS DR SUITE 2	SCOTTSDALE	AZ	85251
Business or Resident	7500 E MAIN ST STE 101	Scottsdale	AZ	85251
Business or Resident	7500 N DOBSON RD STE 300	SCOTTSDALE	AZ	85256
Business or Resident	7501 E EARLL DR	Scottsdale	AZ	85251
Business or Resident	7501 E INDIAN SCHOOL RD	Scottsdale	AZ	85251
Business or Resident	7501 E OSBORN RD	Scottsdale	AZ	85251
Business or Resident	7502 E 2ND ST	SCOTTSDALE	AZ	85251
Business or Resident	7502 E EARLL DR 5	SCOTTSDALE	AZ	85251
Business or Resident	7502 E EARLL DR UNIT 1	SCOTTSDALE	AZ	85251
Business or Resident	7502 E EARLL DR UNIT 2	Scottsdale	AZ	85251
Business or Resident	7502 E EARLL DR UNIT 3	SCOTTSDALE	AZ	85251
Business or Resident	7502 E EARLL DR UNIT 4	SCOTTSDALE	AZ	85251-6920
Business or Resident	7502 E EARLL DR UNIT 8	Scottsdale	AZ	85251
Business or Resident	7502 E EARLL DR UNIT 9	SCOTTSDALE	AZ	85251
Business or Resident	7502 E EARLL DR UNIT 9	Scottsdale	AZ	85251
Business or Resident	7502 E EARLL DRIVE NO 7	SCOTTSDALE	AZ	85251
Business or Resident	7502 E MAIN ST UNIT 2001	SCOTTSDALE	AZ	85251
Business or Resident	7502 E MAIN ST UNIT 4002	SCOTTSDALE	AZ	85251
Business or Resident	7502 E MAIN ST GAR A	Scottsdale	AZ	85251
Business or Resident	7502 E MAIN ST UNIT 2002	Scottsdale	AZ	85251
Business or Resident	7502 E MAIN ST UNIT 2003	Scottsdale	AZ	85251
Business or Resident	7502 E MAIN ST UNIT 2004	Scottsdale	AZ	85251
Business or Resident	7502 E MAIN ST UNIT 3001	Scottsdale	AZ	85251
Business or Resident	7502 E MAIN ST UNIT 3002	SCOTTSDALE	AZ	85251
Business or Resident	7502 E MAIN ST UNIT 3003	Scottsdale	AZ	85251
Business or Resident	7502 E MAIN ST UNIT 3004	Scottsdale	AZ	85251
Business or Resident	7502 E MAIN ST UNIT 4001	Scottsdale	AZ	85251
Business or Resident	7502 E MAIN ST UNIT 4003	Scottsdale	AZ	85251
Business or Resident	7502 E MAIN ST UNIT 4004	Scottsdale	AZ	85251
Business or Resident	7502 E MONTEREY WAY	SCOTTSDALE	AZ	85251
Business or Resident	7502 E THOMAS RD	SCOTTSDALE	AZ	85251
Business or Resident	7502 E THOMAS RD #106	SCOTTSDALE	AZ	85251
Business or Resident	7502 E THOMAS RD 303	SCOTTSDALE	AZ	85251
Business or Resident	7502 E THOMAS RD BLDG A UNIT 101	Scottsdale	AZ	85251
Business or Resident	7502 E THOMAS RD BLDG A UNIT 104	Scottsdale	AZ	85251
Business or Resident	7502 E THOMAS RD BLDG A UNIT 201	Scottsdale	AZ	85251
Business or Resident	7502 E THOMAS RD BLDG A UNIT 204	Scottsdale	AZ	85251
Business or Resident	7502 E THOMAS RD BLDG A UNIT 302	Scottsdale	AZ	85251
Business or Resident	7502 E THOMAS RD BLDG A UNIT 303	Scottsdale	AZ	85251
Business or Resident	7502 E THOMAS RD BLDG A1 UNIT 107	Scottsdale	AZ	85251
Business or Resident	7502 E THOMAS RD BLDG A1 UNIT 108	Scottsdale	AZ	85251
Business or Resident	7502 E THOMAS RD BLDG A1 UNIT 207	Scottsdale	AZ	85251
Business or Resident	7502 E THOMAS RD BLDG A1 UNIT 208	Scottsdale	AZ	85251
Business or Resident	7502 E THOMAS RD BLDG A1 UNIT 209	Scottsdale	AZ	85251
Business or Resident	7502 E THOMAS RD BLDG A1 UNIT 307	Scottsdale	AZ	85251
Business or Resident	7502 E THOMAS RD BLDG A1 UNIT 308	Scottsdale	AZ	85251
Business or Resident	7502 E THOMAS RD BLDG A1 UNIT 309	Scottsdale	AZ	85251
Business or Resident	7502 E THOMAS RD BLDG B UNIT 105	Scottsdale	AZ	85251
Business or Resident	7502 E THOMAS RD BLDG B UNIT 106	Scottsdale	AZ	85251
Business or Resident	7502 E THOMAS RD BLDG B UNIT 205	Scottsdale	AZ	85251
Business or Resident	7502 E THOMAS RD NO 206	SCOTTSDALE	AZ	85250
Business or Resident	7502 E THOMAS RD STE 113	SCOTTSDALE	AZ	85251
Business or Resident	7502 E THOMAS RD UN 202	SCOTTSDALE	AZ	85251
Business or Resident	7502 E THOMAS RD UNIT 102	SCOTTSDALE	AZ	85251-6966
Business or Resident	7502 E THOMAS RD UNIT 103	SCOTTSDALE	AZ	85251
Business or Resident	7502 E THOMAS RD UNIT 109	SCOTTSDALE	AZ	85251
Business or Resident	7502 E THOMAS RD UNIT 110	SCOTTSDALE	AZ	85251-6964
Business or Resident	7502 E THOMAS RD UNIT 203	SCOTTSDALE	AZ	85251
Business or Resident	7502 E THOMAS RD UNIT 208	SCOTTSDALE	AZ	85251-6968
Business or Resident	7502 E THOMAS RD UNIT 210	SCOTTSDALE	AZ	85251
Business or Resident	7502 E THOMAS RD UNIT 301	SCOTTSDALE	AZ	85251
Business or Resident	7502 E THOMAS RD UNIT 304	SCOTTSDALE	AZ	85251
Business or Resident	7502 E THOMAS RD UNIT 308	SCOTTSDALE	AZ	85251-6967
Business or Resident	7502 E THOMAS RD UNIT 310	SCOTTSDALE	AZ	85251
Business or Resident	7503 E 1ST ST	SCOTTSDALE	AZ	85251
Business or Resident	7503 E OSBORN RD	Scottsdale	AZ	85251
Business or Resident	7504 E 1ST ST	Scottsdale	AZ	85251
Business or Resident	7505 E ANGUS DR	Scottsdale	AZ	85251
Business or Resident	7505 E MAIN ST	Scottsdale	AZ	85251
Business or Resident	7505 E MAIN ST STE 100	Scottsdale	AZ	85251
Business or Resident	7505 E MAIN ST STE 200	Scottsdale	AZ	85251
Business or Resident	7505 E MAIN ST STE 300	Scottsdale	AZ	85251
Business or Resident	7505 E MAIN ST STE 400	Scottsdale	AZ	85251
Business or Resident	7505 E MAIN ST STE 500	Scottsdale	AZ	85251
Business or Resident	7505 E MAIN ST STE 600	Scottsdale	AZ	85251
Business or Resident	7506 E MONTEREY WY	Scottsdale	AZ	85251
Business or Resident	7507 E EARLL DR	Scottsdale	AZ	85251
Business or Resident	7507 E OSBORN RD	SCOTTSDALE	AZ	85251
Business or Resident	7508 E 2ND ST	SCOTTSDALE	AZ	85251
Business or Resident	7508 E EARLL DR 14	SCOTTSDALE	AZ	85251
Business or Resident	7508 E EARLL DR NO 11	SCOTTSDALE	AZ	85251
Business or Resident	7508 E EARLL DR NO 16	SCOTTSDALE	AZ	85251
Business or Resident	7508 E EARLL DR UNIT 12	Scottsdale	AZ	85251
Business or Resident	7508 E EARLL DR UNIT 13	Scottsdale	AZ	85251
Business or Resident	7508 E EARLL DR UNIT 15	SCOTTSDALE	AZ	85251-7934
Business or Resident	7508 E EARLL DR UNIT 17	SCOTTSDALE	AZ	85251
Business or Resident	7508 E EARLL DR UNIT 18	SCOTTSDALE	AZ	85251
Business or Resident	7508 E EARLL DR UNIT 19	Scottsdale	AZ	85251







Business or Resident	7575 E EARLL DR	Scottsdale	AZ	85251
Business or Resident	7575 E MAIN ST	SCOTTSDALE	AZ	85251
Business or Resident	7579 E MAIN ST	Scottsdale	AZ	85251
Business or Resident	7579 E MAIN ST STE 500	SCOTTSDALE	AZ	85251
Business or Resident	7579 E MAIN ST STE 100	Scottsdale	AZ	85251
Business or Resident	7579 E MAIN ST STE 200	Scottsdale	AZ	85251
Business or Resident	7579 E MAIN ST STE 300	Scottsdale	AZ	85251
Business or Resident	7579 E MAIN ST STE 400	Scottsdale	AZ	85251
Business or Resident	7579 E MAIN ST STE 600	Scottsdale	AZ	85251
Business or Resident	7579 E MAIN ST STE 700	Scottsdale	AZ	85251
Business or Resident	7579 E MAIN ST STE 800	Scottsdale	AZ	85251
Business or Resident	7580 E EARLL DR	SCOTTSDALE	AZ	85251
Business or Resident	7580 E EARLL DR UNIT 81	Scottsdale	AZ	85251
Business or Resident	7580 E EARLL DR UNIT 82	Scottsdale	AZ	85251
Business or Resident	7580 E EARLL DR UNIT 83	Scottsdale	AZ	85251
Business or Resident	7580 E EARLL DR UNIT 84	SCOTTSDALE	AZ	85251
Business or Resident	7580 E EARLL DR UNIT 85	SCOTTSDALE	AZ	85251
Business or Resident	7580 E EARLL DR UNIT 86	Scottsdale	AZ	85251
Business or Resident	7600 ISABELLA WY APT 215	GILROY	CA	95202
Business or Resident	7601 21ST PL NORTHEAST	LAKE STEVENS	WA	98258
Business or Resident	7601 E 2ND ST	SCOTTSDALE	AZ	85251
Business or Resident	7601 E 2ND ST UNIT 24	SCOTTSDALE	AZ	85251
Business or Resident	7601 E 2ND ST UNIT 4	SCOTTSDALE	AZ	85251
Business or Resident	7601 E 2ND ST 9	SCOTTSDALE	AZ	85251
Business or Resident	7601 E 2ND ST NO 14	SCOTTSDALE	AZ	85251
Business or Resident	7601 E 2ND ST NO 33	SCOTTSDALE	AZ	85251
Business or Resident	7601 E 2ND ST UN 19	SCOTTSDALE	AZ	85251
Business or Resident	7601 E 2ND ST UNIT 1	SCOTTSDALE	AZ	85251
Business or Resident	7601 E 2ND ST UNIT 10	SCOTTSDALE	AZ	85251
Business or Resident	7601 E 2ND ST UNIT 11	Scottsdale	AZ	85251
Business or Resident	7601 E 2ND ST UNIT 12	Scottsdale	AZ	85251
Business or Resident	7601 E 2ND ST UNIT 13	SCOTTSDALE	AZ	85251
Business or Resident	7601 E 2ND ST UNIT 15	Scottsdale	AZ	85251
Business or Resident	7601 E 2ND ST UNIT 16	Scottsdale	AZ	85251
Business or Resident	7601 E 2ND ST UNIT 17	SCOTTSDALE	AZ	85251-5740
Business or Resident	7601 E 2ND ST UNIT 18	Scottsdale	AZ	85251
Business or Resident	7601 E 2ND ST UNIT 19	SCOTTSDALE	AZ	85251
Business or Resident	7601 E 2ND ST UNIT 2	SCOTTSDALE	AZ	85251-5739
Business or Resident	7601 E 2ND ST UNIT 20	Scottsdale	AZ	85251
Business or Resident	7601 E 2ND ST UNIT 21	SCOTTSDALE	AZ	85251
Business or Resident	7601 E 2ND ST UNIT 22	SCOTTSDALE	AZ	85251
Business or Resident	7601 E 2ND ST UNIT 23	Scottsdale	AZ	85251
Business or Resident	7601 E 2ND ST UNIT 25	SCOTTSDALE	AZ	85251
Business or Resident	7601 E 2ND ST UNIT 26	Scottsdale	AZ	85251
Business or Resident	7601 E 2ND ST UNIT 27	SCOTTSDALE	AZ	85251
Business or Resident	7601 E 2ND ST UNIT 28	Scottsdale	AZ	85251
Business or Resident	7601 E 2ND ST UNIT 29	Scottsdale	AZ	85251
Business or Resident	7601 E 2ND ST UNIT 3	Scottsdale	AZ	85251
Business or Resident	7601 E 2ND ST UNIT 30	SCOTTSDALE	AZ	85251
Business or Resident	7601 E 2ND ST UNIT 31	SCOTTSDALE	AZ	85251
Business or Resident	7601 E 2ND ST UNIT 32	Scottsdale	AZ	85251
Business or Resident	7601 E 2ND ST UNIT 34	SCOTTSDALE	AZ	85251
Business or Resident	7601 E 2ND ST UNIT 5	SCOTTSDALE	AZ	85251
Business or Resident	7601 E 2ND ST UNIT 5	Scottsdale	AZ	85251
Business or Resident	7601 E 2ND ST UNIT 6	Scottsdale	AZ	85251
Business or Resident	7601 E 2ND ST UNIT 7	Scottsdale	AZ	85251
Business or Resident	7601 E 2ND ST UNIT 8	Scottsdale	AZ	85251
Business or Resident	7601 E 4TH ST	Scottsdale	AZ	85251
Business or Resident	7601 E AVALON DR	SCOTTSDALE	AZ	85251
Business or Resident	7601 E CATALINA DR	SCOTTSDALE	AZ	85251
Business or Resident	7601 E CHARTER OAK RD	SCOTTSDALE	AZ	85260
Business or Resident	7601 E EARLL DR	Scottsdale	AZ	85251
Business or Resident	7601 E INDIAN SCHOOL RD	SCOTTSDALE	AZ	85251
Business or Resident	7601 E PINCHOT DR	SCOTTSDALE	AZ	85212
Business or Resident	7602 E 4TH ST	SCOTTSDALE	AZ	85251
Business or Resident	7602 E AVALON DR	SCOTTSDALE	AZ	85251
Business or Resident	7602 E CATALINA DR	SCOTTSDALE	AZ	85251
Business or Resident	7602 E PINCHOT DR	Scottsdale	AZ	85251
Business or Resident	7602 E SHERIDAN	SCOTTSDALE	AZ	85257
Business or Resident	7602 E THOMAS RD	SCOTTSDALE	AZ	85251
Business or Resident	7604 E 3RD ST	Scottsdale	AZ	85251
Business or Resident	7607 E 4TH ST	Scottsdale	AZ	85251
Business or Resident	7607 E AVALON DR	SCOTTSDALE	AZ	85251
Business or Resident	7607 E EARLL DR	SCOTTSDALE	AZ	85251
Business or Resident	7607 E PINCHOT DR	Scottsdale	AZ	85251
Business or Resident	7608 E 4TH ST	SCOTTSDALE	AZ	85251
Business or Resident	7608 E AVALON DR	SCOTTSDALE	AZ	85251
Business or Resident	7608 E CATALINA	SCOTTSDALE	AZ	85251
Business or Resident	7608 E OSBORN RD	Scottsdale	AZ	85251
Business or Resident	7608 E PINCHOT AVE	SCOTTSDALE	AZ	85251
Business or Resident	7610 E 3RD ST	SCOTTSDALE	AZ	85251
Business or Resident	7611 E CATALINA DR	Scottsdale	AZ	85251
Business or Resident	7612 E OSBORN RD	SCOTTSDALE	AZ	85251
Business or Resident	7612 E THOMAS RD	SCOTTSDALE	AZ	85251
Business or Resident	7613 4TH ST	SCOTTSDALE	AZ	85251
Business or Resident	7613 E CATALINA DR	SCOTTSDALE	AZ	85251
Business or Resident	7614 E AVALON DR	SCOTTSDALE	AZ	85251
Business or Resident	7614 E CATALINA DR	Scottsdale	AZ	85251
Business or Resident	7614 E FOURTH ST	SCOTTSDALE	AZ	85251
Business or Resident	7614 E PINCHOT DR	Scottsdale	AZ	85251
Business or Resident	7615 E 3RD ST	SCOTTSDALE	AZ	85251
Business or Resident	7615 E AVALON DR	Scottsdale	AZ	85251
Business or Resident	7615 E EARLL DR	SCOTTSDALE	AZ	85251
Business or Resident	7615 E PINCHOT AVE	SCOTTSDALE	AZ	85251
Business or Resident	7615 GENEVA AVE	LAKE BALBOA	CA	91406
Business or Resident	7616 E 3RD ST	SCOTTSDALE	AZ	85251

Business or Resident	7617 E VERDE LANE	SCOTTSDALE	AZ	85251
Business or Resident	7618 E OSBORN RD	Scottsdale	AZ	85251
Business or Resident	7618 E THOMAS RD	SCOTTSDALE	AZ	85251
Business or Resident	7619 E AVALON DR	Scottsdale	AZ	85251
Business or Resident	7619 E EARL DR	SCOTTSDALE	AZ	85251
Business or Resident	7619 E PINCHOT DR	SCOTTSDALE	AZ	85251
Business or Resident	7620 E 4TH ST	SCOTTSDALE	AZ	85251
Business or Resident	7620 E AVALON DR	SCOTTSDALE	AZ	85251
Business or Resident	7620 E CATALINA DR	SCOTTSDALE	AZ	85251
Business or Resident	7620 E PINCHOT AVE	SCOTTSDALE	AZ	85251
Business or Resident	7621 E 3RD ST	SCOTTSDALE	AZ	85251
Business or Resident	7622 E 3RD ST	SCOTTSDALE	AZ	85251
Business or Resident	7623 E VERDE LN	SCOTTSDALE	AZ	85251
Business or Resident	7624 E OSBORN RD	SCOTTSDALE	AZ	85251
Business or Resident	7624 E THOMAS RD	Scottsdale	AZ	85251
Business or Resident	7624 E VERDE LANE	SCOTTSDALE	AZ	85251
Business or Resident	7625 E AVALON DR	SCOTTSDALE	AZ	85251
Business or Resident	7625 E CATALINA DR	SCOTTSDALE	AZ	85251
Business or Resident	7625 E EARL DR	SCOTTSDALE	AZ	85251
Business or Resident	7625 E PINCHOT	SCOTTSDALE	AZ	85251
Business or Resident	7626 E 4TH ST	Scottsdale	AZ	85251
Business or Resident	7626 E AVALON DR	SCOTTSDALE	AZ	85251
Business or Resident	7626 E CATALINA DR	Scottsdale	AZ	85251
Business or Resident	7626 E PINCHOT DR	Scottsdale	AZ	85251
Business or Resident	7627 E 3RD ST	SCOTTSDALE	AZ	85251-5705
Business or Resident	7627 E 4TH ST	Scottsdale	AZ	85251
Business or Resident	7628 E 3RD ST	SCOTTSDALE	AZ	85251
Business or Resident	7629 E AVALON DR	SCOTTSDALE	AZ	85251
Business or Resident	7629 E CATALINA DR	Scottsdale	AZ	85251
Business or Resident	7629 E EARL DR	SCOTTSDALE	AZ	85251
Business or Resident	7629 E PINCHOT	SCOTTSDALE	AZ	85251
Business or Resident	7629 E VERDE LN	SCOTTSDALE	AZ	85251
Business or Resident	7630 E AVALON DR	SCOTTSDALE	AZ	85251
Business or Resident	7630 E CATALINA DR	Scottsdale	AZ	85251
Business or Resident	7630 E OSBORN RD	Scottsdale	AZ	85251
Business or Resident	7630 E PINCHOT DR	Scottsdale	AZ	85251
Business or Resident	7630 E THOMAS RD	Scottsdale	AZ	85251
Business or Resident	7630 E VERDE LN	Scottsdale	AZ	85251
Business or Resident	7631 E INDIAN SCHOOL RD	SCOTTSDALE	AZ	85251
Business or Resident	7631 E INDIAN SCHOOL RD STE 101	Scottsdale	AZ	85251
Business or Resident	7631 E INDIAN SCHOOL RD STE 105	Scottsdale	AZ	85251
Business or Resident	7631 E INDIAN SCHOOL RD STE 201	Scottsdale	AZ	85251
Business or Resident	7632 E 4TH ST	SCOTTSDALE	AZ	85251
Business or Resident	7633 E 4TH ST	SCOTTSDALE	AZ	85251-5736
Business or Resident	7633 E INDIAN SCHOOL RD	SCOTTSDALE	AZ	85251
Business or Resident	7633 THIRD ST	SCOTTSDALE	AZ	85251
Business or Resident	7634 E 3RD ST	Scottsdale	AZ	85251
Business or Resident	7635 E AVALON DR	SCOTTSDALE	AZ	85251
Business or Resident	7635 E CATALINA DR	SCOTTSDALE	AZ	85251
Business or Resident	7635 E EARL DR	Scottsdale	AZ	85251
Business or Resident	7635 E PINCHOT	SCOTTSDALE	AZ	85251
Business or Resident	7635 E VERDE LN	Scottsdale	AZ	85251
Business or Resident	7636 E AVALON DR	SCOTTSDALE	AZ	85255
Business or Resident	7636 E CATALINA DR	SCOTTSDALE	AZ	85251
Business or Resident	7636 E OSBORN RD	SCOTTSDALE	AZ	85251
Business or Resident	7636 E PINCHOT DR	Scottsdale	AZ	85251
Business or Resident	7636 E THOMAS RD	SCOTTSDALE	AZ	85251
Business or Resident	7636 E VERDE LN	SCOTTSDALE	AZ	85251
Business or Resident	7638 E 4TH ST	Scottsdale	AZ	85251
Business or Resident	7639 E 3RD ST	Scottsdale	AZ	85251
Business or Resident	7639 E 4TH ST	SCOTTSDALE	AZ	85251
Business or Resident	7639 E 6TH ST	SCOTTSDALE	AZ	85251
Business or Resident	7640 E 3RD ST	SCOTTSDALE	AZ	85251
Business or Resident	7641 E AVALON DR	SCOTTSDALE	AZ	85251
Business or Resident	7641 E CATALINA DR	SCOTTSDALE	AZ	85251
Business or Resident	7641 E EARL DR	SCOTTSDALE	AZ	85251
Business or Resident	7641 E PINCHOT AVE	SCOTTSDALE	AZ	85251
Business or Resident	7641 E VERDE LN	Scottsdale	AZ	85251
Business or Resident	7642 E AVALON DR	Scottsdale	AZ	85251
Business or Resident	7642 E CATALINA DR	SCOTTSDALE	AZ	85251
Business or Resident	7642 E PINCHOT DR	Scottsdale	AZ	85251
Business or Resident	7642 E THOMAS RD	SCOTTSDALE	AZ	85251
Business or Resident	7642 E VERDE LN	SCOTTSDALE	AZ	85251-6519
Business or Resident	7645 E 6TH ST	SCOTTSDALE	AZ	85251
Business or Resident	7646 E CATALINA DR	Scottsdale	AZ	85251
Business or Resident	7647 E AVALON DR	SCOTTSDALE	AZ	85251
Business or Resident	7647 E CATALINA DR	SCOTTSDALE	AZ	85251
Business or Resident	7647 E EARL DR	SCOTTSDALE	AZ	85251
Business or Resident	7647 E PINCHOT DR	SCOTTSDALE	AZ	85251
Business or Resident	7648 E AVALON DR	SCOTTSDALE	AZ	85251
Business or Resident	7648 E PINCHOT AVE	SCOTTSDALE	AZ	85251
Business or Resident	7651 E 6TH ST	SCOTTSDALE	AZ	85251
Business or Resident	7657 E 6TH ST	SCOTTSDALE	AZ	85251
Business or Resident	7663 E 6TH ST	SCOTTSDALE	AZ	85251
Business or Resident	7690 E 1ST AV STE 1	SCOTTSDALE	AZ	85251
Business or Resident	7690 E 1ST AV STE 2	Scottsdale	AZ	85251
Business or Resident	7690 W 1ST AVE	SCOTTSDALE	AZ	85251
Business or Resident	7698 E MINNEZONA	SCOTTSDALE	AZ	85251
Business or Resident	7700 E 1ST AV UNIT 5	Scottsdale	AZ	85251
Business or Resident	7701 E 6TH ST	SCOTTSDALE	AZ	85251
Business or Resident	7701 E AVALON DR	SCOTTSDALE	AZ	85251
Business or Resident	7701 E CATALINA DR	SCOTTSDALE	AZ	85251
Business or Resident	7701 E EARL DR	Scottsdale	AZ	85251
Business or Resident	7701 E INDIAN SCHOOL RD	Scottsdale	AZ	85251
Business or Resident	7701 E INDIAN SCHOOL RD STE A	Scottsdale	AZ	85251
Business or Resident	7701 E INDIAN SCHOOL RD STE B	Scottsdale	AZ	85251

Business or Resident	7701 E INDIAN SCHOOL RD STE C	Scottsdale	AZ	85251
Business or Resident	7701 E INDIAN SCHOOL RD STE D	Scottsdale	AZ	85251
Business or Resident	7701 E INDIAN SCHOOL RD STE E	Scottsdale	AZ	85251
Business or Resident	7701 E INDIAN SCHOOL RD STE F	Scottsdale	AZ	85251
Business or Resident	7701 E INDIAN SCHOOL RD STE G	Scottsdale	AZ	85251
Business or Resident	7701 E INDIAN SCHOOL RD STE H	Scottsdale	AZ	85251
Business or Resident	7701 E INDIAN SCHOOL RD STE I	Scottsdale	AZ	85251
Business or Resident	7701 E INDIAN SCHOOL RD STE J	Scottsdale	AZ	85251
Business or Resident	7701 E OSBORN RD	Scottsdale	AZ	85251
Business or Resident	7701 E OSBORN RD BLDG 3 APT 10	Scottsdale	AZ	85251
Business or Resident	7701 E OSBORN RD BLDG 3 APT 9	Scottsdale	AZ	85251
Business or Resident	7701 E PINCHOT DR	Scottsdale	AZ	85251
Business or Resident	7701 E VERDE LN	SCOTTSDALE	AZ	85251
Business or Resident	7702 E 1ST AV UNIT 6	Scottsdale	AZ	85251
Business or Resident	7702 E 1ST AVE	SCOTTSDALE	AZ	85251
Business or Resident	7702 E 3RD ST	Scottsdale	AZ	85251
Business or Resident	7702 E 4TH ST	SCOTTSDALE	AZ	85251
Business or Resident	7702 E AVALON	SCOTTSDALE	AZ	85251
Business or Resident	7702 E CATALINA DR	SCOTTSDALE	AZ	85251
Business or Resident	7702 E OSBORN RD	Scottsdale	AZ	85251
Business or Resident	7702 E PINCHOT AVE	SCOTTSDALE	AZ	85251
Business or Resident	7702 E PINCHOT DR	Scottsdale	AZ	85251
Business or Resident	7702 E THOMAS RD	Scottsdale	AZ	85251
Business or Resident	7702 E VERDE LN	Scottsdale	AZ	85251
Business or Resident	7703 E 4TH ST	SCOTTSDALE	AZ	85251
Business or Resident	7704 E 1ST AV UNIT 7	Scottsdale	AZ	85251
Business or Resident	7706 E 1ST AV UNIT 8	Scottsdale	AZ	85251
Business or Resident	7707 E 1ST AV	Scottsdale	AZ	85251
Business or Resident	7707 E 3RD ST	Scottsdale	AZ	85251
Business or Resident	7707 E 6TH ST	SCOTTSDALE	AZ	85251
Business or Resident	7707 E CATALINA	SCOTTSDALE	AZ	85251
Business or Resident	7707 E EARLL DR	SCOTTSDALE	AZ	85251
Business or Resident	7707 E PINCHOT AVE	SCOTTSDALE	AZ	85251
Business or Resident	7707 E VERDE LN	Scottsdale	AZ	85251
Business or Resident	7708 E 1ST AV UNIT 9	Scottsdale	AZ	85251
Business or Resident	7708 E 1ST AVE	SCOTTSDALE	AZ	85251
Business or Resident	7708 E 3RD ST	SCOTTSDALE	AZ	85251
Business or Resident	7708 E 4TH ST	SCOTTSDALE	AZ	85251
Business or Resident	7708 E AVALON DR	Scottsdale	AZ	85251
Business or Resident	7708 E CATALINA DR	SCOTTSDALE	AZ	85251
Business or Resident	7708 E OSBORN RD	SCOTTSDALE	AZ	85251
Business or Resident	7708 E PINCHOT AVE	SCOTTSDALE	AZ	85251
Business or Resident	7708 E THOMAS RD	SCOTTSDALE	AZ	85251
Business or Resident	7708 E VERDE LN	SCOTTSDALE	AZ	85251
Business or Resident	7709 E 4TH ST	SCOTTSDALE	AZ	85251
Business or Resident	7710 E 1ST AV UNIT 10	Scottsdale	AZ	85251
Business or Resident	7710 E 6TH ST	SCOTTSDALE	AZ	85251
Business or Resident	7711 E 6TH ST	Scottsdale	AZ	85251
Business or Resident	7712 E 1ST AV UNIT 11	Scottsdale	AZ	85251
Business or Resident	7712 E OSBORN RD	SCOTTSDALE	AZ	85251
Business or Resident	7713 3RD ST	SCOTTSDALE	AZ	85251
Business or Resident	7713 E 1ST AV	Scottsdale	AZ	85251
Business or Resident	7714 4TH ST	SCOTTSDALE	AZ	85251
Business or Resident	7714 E 1ST AV UNIT 12	Scottsdale	AZ	85251
Business or Resident	7714 E 3RD ST	Scottsdale	AZ	85251
Business or Resident	7714 E AVALON DR	SCOTTSDALE	AZ	85251
Business or Resident	7714 E CATALINA DR	SCOTTSDALE	AZ	85251
Business or Resident	7714 E THOMAS RD	SCOTTSDALE	AZ	85251
Business or Resident	7714 E VERDE LN	Scottsdale	AZ	85251
Business or Resident	7714 EAST PINCHOT AVENUE	SCOTTSDALE	AZ	85251
Business or Resident	7715 E 4TH ST	SCOTTSDALE	AZ	85251
Business or Resident	7715 E AVALON DR	SCOTTSDALE	AZ	85251
Business or Resident	7715 E CATALINA DR	SCOTTSDALE	AZ	85251
Business or Resident	7715 E EARLL DR	SCOTTSDALE	AZ	85251
Business or Resident	7715 E PINCHOT AVE	SCOTTSDALE	AZ	85251
Business or Resident	7715 E VERDE LN	SCOTTSDALE	AZ	85251
Business or Resident	7716 E 1ST AV UNIT 13	Scottsdale	AZ	85251
Business or Resident	7717 E 6TH ST	SCOTTSDALE	AZ	85251
Business or Resident	7718 E 1ST AV UNIT 14	Scottsdale	AZ	85251
Business or Resident	7718 E 1ST AVE	SCOTTSDALE	AZ	85251
Business or Resident	7718 E OSBORN RD	SCOTTSDALE	AZ	85251
Business or Resident	7718 N VIA CAMELLO DEL SUR	SCOTTSDALE	AZ	85258
Business or Resident	7719 E 1ST AV	Scottsdale	AZ	85251
Business or Resident	7719 E 3RD ST	SCOTTSDALE	AZ	85251
Business or Resident	7719 E AVALON DR	Scottsdale	AZ	85251
Business or Resident	7719 E CATALINA DR	SCOTTSDALE	AZ	85251
Business or Resident	7719 E EARLL DR	SCOTTSDALE	AZ	85251
Business or Resident	7719 E PINCHOT DR	Scottsdale	AZ	85251
Business or Resident	7720 E 1ST AV UNIT 15	Scottsdale	AZ	85251
Business or Resident	7720 E 3RD ST	Scottsdale	AZ	85251
Business or Resident	7720 E AVALON DR	Scottsdale	AZ	85251
Business or Resident	7720 E CATALINA DR	SCOTTSDALE	AZ	85251
Business or Resident	7720 E PINCHOT AVE	SCOTTSDALE	AZ	85251
Business or Resident	7720 E THOMAS RD	Scottsdale	AZ	85251
Business or Resident	7720 E VERDE LN	SCOTTSDALE	AZ	85251
Business or Resident	7721 E 4TH ST	SCOTTSDALE	AZ	85251
Business or Resident	7721 N TATUM BLVD	PARADISE VALLEY	AZ	85253
Business or Resident	7722 E 1ST AV UNIT 16	Scottsdale	AZ	85251
Business or Resident	7723 E 6TH ST	SCOTTSDALE	AZ	85251
Business or Resident	7724 E 1ST AVE UNIT 17	SCOTTSDALE	AZ	85251
Business or Resident	7724 E OSBORN RD	Scottsdale	AZ	85251
Business or Resident	7725 E 1ST AV	Scottsdale	AZ	85251
Business or Resident	7725 E 1ST AV APT 1	Scottsdale	AZ	85251
Business or Resident	7725 E 1ST AV APT 2	Scottsdale	AZ	85251
Business or Resident	7725 E 1ST AV APT 3	Scottsdale	AZ	85251
Business or Resident	7725 E 1ST AV APT 4	Scottsdale	AZ	85251

Business or Resident	7725 E AVALON DR	SCOTTSDALE	AZ	85251
Business or Resident	7725 E CATALINA DR	Scottsdale	AZ	85251
Business or Resident	7725 E EARLL DR	SCOTTSDALE	AZ	85251
Business or Resident	7725 E PINCHOT	SCOTTSDALE	AZ	85251
Business or Resident	7725 E VERDE LN	SCOTTSDALE	AZ	85251
Business or Resident	7726 E 1ST AV UNIT 18	Scottsdale	AZ	85251
Business or Resident	7726 E 3RD ST	SCOTTSDALE	AZ	85251
Business or Resident	7726 E 4TH ST	Scottsdale	AZ	85251
Business or Resident	7726 E AVALON DR	SCOTTSDALE	AZ	85251
Business or Resident	7726 E CATALINA DR	Scottsdale	AZ	85251
Business or Resident	7726 E PINCHOT AVE	SCOTTSDALE	AZ	85251
Business or Resident	7726 E PINCHOT DR	Scottsdale	AZ	85251
Business or Resident	7726 E THOMAS RD	SCOTTSDALE	AZ	85251
Business or Resident	7726 E VERDE LN	SCOTTSDALE	AZ	85251
Business or Resident	7727 E 4TH ST	SCOTTSDALE	AZ	85251
Business or Resident	7728 E 1ST AV UNIT 19	Scottsdale	AZ	85251
Business or Resident	7729 E 6TH ST	SCOTTSDALE	AZ	85251
Business or Resident	7729 E AVALON DR	Scottsdale	AZ	85251
Business or Resident	7729 E CATALINA DR	Scottsdale	AZ	85251
Business or Resident	7729 E EARLL DR	SCOTTSDALE	AZ	85251
Business or Resident	7729 E PINCHOT	SCOTTSDALE	AZ	85251
Business or Resident	7729 E VERDE LN	Scottsdale	AZ	85251
Business or Resident	7730 E 1ST AV UNIT 20	Scottsdale	AZ	85251
Business or Resident	7730 E AVALON DR	Scottsdale	AZ	85251
Business or Resident	7730 E CATALINA DR	SCOTTSDALE	AZ	85251-6509
Business or Resident	7730 E OSBORN RD	Scottsdale	AZ	85251
Business or Resident	7730 E PINCHOT DR	Scottsdale	AZ	85251
Business or Resident	7730 E THOMAS RD	SCOTTSDALE	AZ	85251
Business or Resident	7730 E VERDE LN	SCOTTSDALE	AZ	85251
Business or Resident	7731 E 1ST AV	Scottsdale	AZ	85251
Business or Resident	7731 E 3RD ST	SCOTTSDALE	AZ	85251
Business or Resident	7732 E 1ST AV UNIT 21	Scottsdale	AZ	85251
Business or Resident	7732 E 1ST AVE	SCOTTSDALE	AZ	85251-4641
Business or Resident	7732 E 3RD ST	SCOTTSDALE	AZ	85251
Business or Resident	7732 E 4TH ST	SCOTTSDALE	AZ	85251
Business or Resident	7732 E 6TH ST	SCOTTSDALE	AZ	85251
Business or Resident	7733 E 4TH ST	SCOTTSDALE	AZ	85251
Business or Resident	7733 E INDIAN SCHOOL RD	SCOTTSDALE	AZ	85251
Business or Resident	7734 E 1ST AV UNIT 22	Scottsdale	AZ	85251
Business or Resident	7735 E 6TH ST	Scottsdale	AZ	85251
Business or Resident	7735 E AVALON DR	SCOTTSDALE	AZ	85251
Business or Resident	7735 E CATALINA DR	SCOTTSDALE	AZ	85251
Business or Resident	7735 E EARLL DR	SCOTTSDALE	AZ	85251
Business or Resident	7735 E PINCHOT DR	Scottsdale	AZ	85251
Business or Resident	7735 E VERDE LN	SCOTTSDALE	AZ	85251
Business or Resident	7736 E 1ST AV UNIT 23	Scottsdale	AZ	85251
Business or Resident	7736 E AVALON DR	SCOTTSDALE	AZ	85251
Business or Resident	7736 E CATALINA DR	SCOTTSDALE	AZ	85251
Business or Resident	7736 E OSBORN RD	SCOTTSDALE	AZ	85251
Business or Resident	7736 E PINCHOT DR	Scottsdale	AZ	85251
Business or Resident	7736 E THOMAS RD	Scottsdale	AZ	85251
Business or Resident	7736 E VERDE LN	Scottsdale	AZ	85251
Business or Resident	7737 E 1ST AV	Scottsdale	AZ	85251
Business or Resident	7737 E INDIAN SCHOOL RD	SCOTTSDALE	AZ	85251
Business or Resident	7738 E 1ST AV UNIT 24	Scottsdale	AZ	85251
Business or Resident	7738 E 1ST AVE	SCOTTSDALE	AZ	85251
Business or Resident	7738 E 3RD ST	SCOTTSDALE	AZ	85251
Business or Resident	7739 E 1ST AV	Scottsdale	AZ	85251
Business or Resident	7740 E 1ST AV UNIT 25	Scottsdale	AZ	85251
Business or Resident	7740 E 4TH ST	Scottsdale	AZ	85251
Business or Resident	7741 E 1ST AV	Scottsdale	AZ	85251
Business or Resident	7741 E 1ST AVE UNIT 29	SCOTTSDALE	AZ	85251
Business or Resident	7741 E 4TH ST	SCOTTSDALE	AZ	85251
Business or Resident	7741 E AVALON DR	Scottsdale	AZ	85251
Business or Resident	7741 E CATALINA DR	SCOTTSDALE	AZ	85251
Business or Resident	7741 E EARLL DR	SCOTTSDALE	AZ	85251
Business or Resident	7741 E PINCHOT AVE	SCOTTSDALE	AZ	85251
Business or Resident	7741 E VERDE LN	SCOTTSDALE	AZ	85251
Business or Resident	7742 E 1ST AV UNIT 26	Scottsdale	AZ	85251
Business or Resident	7742 E AVALON DR	SCOTTSDALE	AZ	85251
Business or Resident	7742 E CATALINA DR	Scottsdale	AZ	85251
Business or Resident	7742 E OSBORN RD	Scottsdale	AZ	85251
Business or Resident	7742 E PINCHOT DR	Scottsdale	AZ	85251
Business or Resident	7742 E THOMAS RD	SCOTTSDALE	AZ	85251
Business or Resident	7742 E VERDE LN	SCOTTSDALE	AZ	85251
Business or Resident	7743 E 1ST AVE	SCOTTSDALE	AZ	85251
Business or Resident	7743 E ROVEY AVE	SCOTTSDALE	AZ	85250
Business or Resident	7744 E 1ST AV UNIT 27	Scottsdale	AZ	85251
Business or Resident	7744 E 3RD ST	SCOTTSDALE	AZ	85251
Business or Resident	7745 E 1ST AV	Scottsdale	AZ	85251
Business or Resident	7745 E BOWIE RD	SCOTTSDALE	AZ	85258
Business or Resident	7746 E 1ST AV UNIT 28	Scottsdale	AZ	85251
Business or Resident	7746 E 4TH ST	SCOTTSDALE	AZ	85251
Business or Resident	7747 E 4TH ST	SCOTTSDALE	AZ	85251
Business or Resident	7747 E AVALON DR	SCOTTSDALE	AZ	85251
Business or Resident	7747 E CATALINA DR	SCOTTSDALE	AZ	85251
Business or Resident	7747 E EARLL DR	Scottsdale	AZ	85251
Business or Resident	7747 E PINCHOT AVE	SCOTTSDALE	AZ	85251
Business or Resident	7747 E VERDE LN	Scottsdale	AZ	85251
Business or Resident	7748 E AVALON DR	SCOTTSDALE	AZ	85251
Business or Resident	7748 E CATALINA DR	SCOTTSDALE	AZ	85251
Business or Resident	7748 E OSBORN RD	SCOTTSDALE	AZ	85251
Business or Resident	7748 E PINCHOT DR	Scottsdale	AZ	85251
Business or Resident	7748 E THOMAS RD	SCOTTSDALE	AZ	85251
Business or Resident	7748 S VERDE LN	SCOTTSDALE	AZ	85251
Business or Resident	7750 E 3RD ST	SCOTTSDALE	AZ	85251



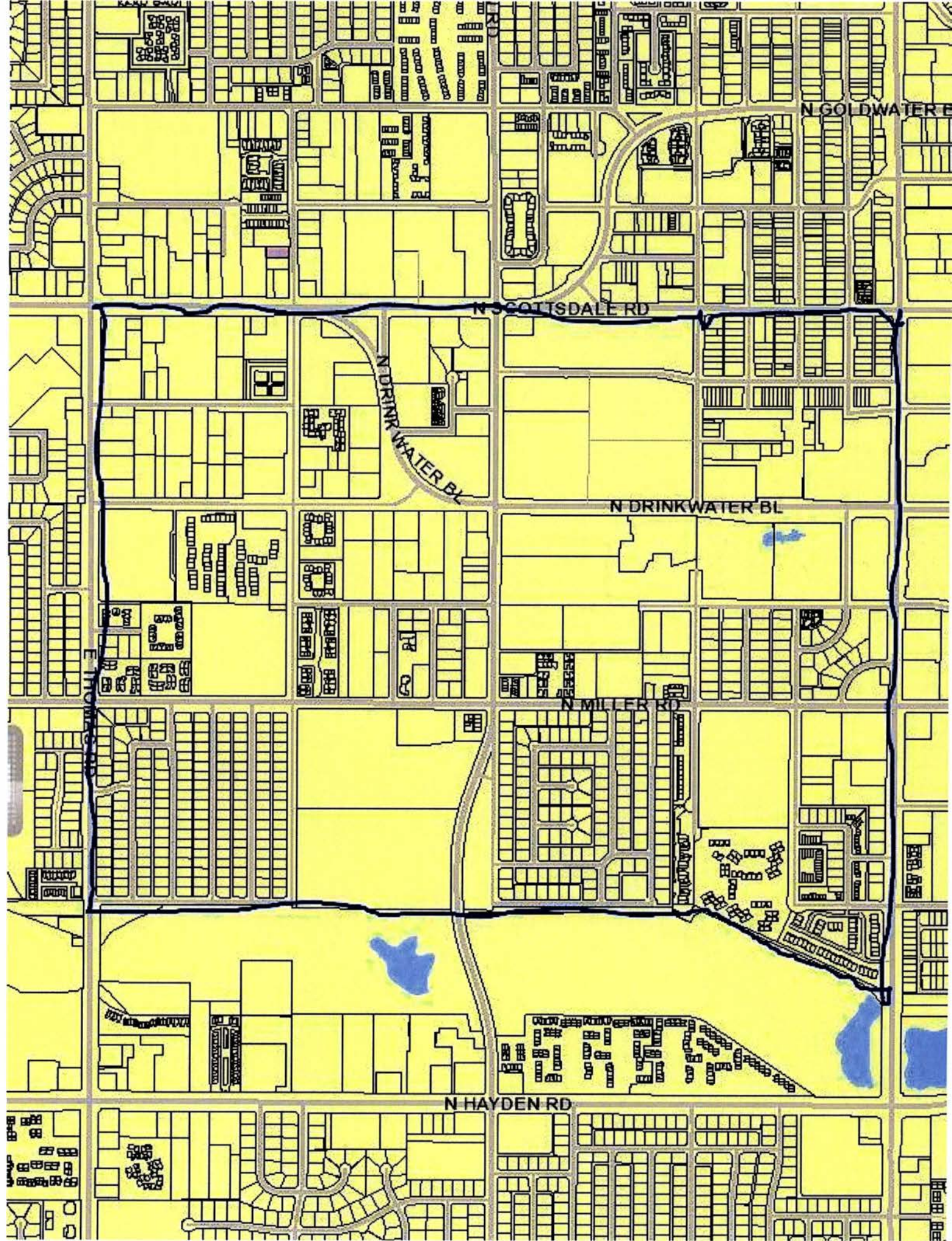




Business or Resident	7777 E MAIN ST 206	SCOTTSDALE	AZ	85251
Business or Resident	7788 E MAIN ST	Scottsdale	AZ	85251
Business or Resident	7788 E MAIN ST BLDG 2 UNIT 1001	Scottsdale	AZ	85251
Business or Resident	7788 E MAIN ST BLDG 2 UNIT 1002	Scottsdale	AZ	85251
Business or Resident	7788 E MAIN ST BLDG 2 UNIT 1003	Scottsdale	AZ	85251
Business or Resident	7788 E MAIN ST BLDG 2 UNIT 1004	Scottsdale	AZ	85251
Business or Resident	7788 E MAIN ST BLDG 2 UNIT 1005	Scottsdale	AZ	85251
Business or Resident	7788 E MAIN ST BLDG 2 UNIT 1006	Scottsdale	AZ	85251
Business or Resident	7788 E MAIN ST BLDG 2 UNIT 1007	Scottsdale	AZ	85251
Business or Resident	7788 E MAIN ST BLDG 2 UNIT 1008	Scottsdale	AZ	85251
Business or Resident	7788 E MAIN ST BLDG 2 UNIT 1009	Scottsdale	AZ	85251
Business or Resident	7788 E MAIN ST BLDG 2 UNIT 1010	Scottsdale	AZ	85251
Business or Resident	7788 E MAIN ST BLDG 3 UNIT 1015	Scottsdale	AZ	85251
Business or Resident	7788 E MAIN ST BLDG 3 UNIT 1016	Scottsdale	AZ	85251
Business or Resident	7788 E MAIN ST BLDG 3 UNIT 1017	Scottsdale	AZ	85251
Business or Resident	7788 E MAIN ST BLDG 3 UNIT 1018	Scottsdale	AZ	85251
Business or Resident	7788 E MAIN ST BLDG 4 UNIT 1011	Scottsdale	AZ	85251
Business or Resident	7788 E MAIN ST BLDG 4 UNIT 1012	Scottsdale	AZ	85251
Business or Resident	7788 E MAIN ST BLDG 4 UNIT 1013	Scottsdale	AZ	85251
Business or Resident	7788 E MAIN ST BLDG 4 UNIT 1014	Scottsdale	AZ	85251
Business or Resident	7791 E OSBORN RD BLDG 41 GAR 41	Scottsdale	AZ	85251
Business or Resident	7800 E LINCOLN DR UNIT 1100	SCOTTSDALE	AZ	85250
Business or Resident	7802 E THOMAS RD	Scottsdale	AZ	85251
Business or Resident	7847 E PLAZA AVE	SCOTTSDALE	AZ	85250
Business or Resident	7850 EL SENDERO UNIT 10	SCOTTSDALE	AZ	85266
Business or Resident	790 G AVE	CORONADO	CA	92118
Business or Resident	7902 S COLLEGE AVE	TEMPE	AZ	85284
Business or Resident	7920 E OSBORN RD	Scottsdale	AZ	85251
Business or Resident	7955 E CHAPARRAL RD NO 28	SCOTTSDALE	AZ	85050
Business or Resident	7975 W 4TH ST	LOS ANGELES	CA	90048
Business or Resident	8016 E EARL DR	SCOTTSDALE	AZ	85251
Business or Resident	802 SAVANNA TRL	DELANO	MN	55328
Business or Resident	812 SE BYERS AVE	PENDLETON	OR	97801
Business or Resident	8179 E JUAN TABO RD	SCOTTSDALE	AZ	85255
Business or Resident	8215 N 62ND PL	PARADISE VALLEY	AZ	85253-2607
Business or Resident	829 SE 9TH AVE STE 202	PORTLAND	OR	97214
Business or Resident	830 BERNARD AVE	KELOWNA	BC	V1Y6P5
Business or Resident	833 N JEFFERSON ST	MILWAUKEE	WI	53202
Business or Resident	8336 E MONTEREY WAY	SCOTTSDALE	AZ	85251
Business or Resident	8381 E VERDE LN	SCOTTSDALE	AZ	85251
Business or Resident	8400 N US HIGHWAY 89	FLAGSTAFF	AZ	86004
Business or Resident	8402 E MUSTANG TR	SCOTTSDALE	AZ	85258
Business or Resident	8415 BAYRIDGE AVE	GIB HARBOR	WA	98332
Business or Resident	8420 E CORTEZ ST	SCOTTSDALE	AZ	85260
Business or Resident	8430 E FAIRMOUNT AVE	SCOTTSDALE	AZ	85251
Business or Resident	8453 E CHAPARRAL RD	SCOTTSDALE	AZ	85250
Business or Resident	85 W HORIZON DR	BOISE	ID	83702
Business or Resident	850 N DE WITT	CHICAGO	IL	60611
Business or Resident	850 N DEWITT PL UNIT 9-J	CHICAGO	IL	60611
Business or Resident	8500 E INDIAN SCHOOL RD NO 226	SCOTTSDALE	AZ	85251
Business or Resident	8501 N CANTA BELLO	PARADISE VALLEY	AZ	85253-8112
Business or Resident	8508 129TH PL SE	NEWCASTLE	WA	98056
Business or Resident	8518 N 80TH PL	SCOTTSDALE	AZ	85258
Business or Resident	8526 E SAN JACINTO DR	SCOTTSDALE	AZ	85258
Business or Resident	8543 E ROSE LN	SCOTTSDALE	AZ	85250
Business or Resident	8543 E SAGE DR	SCOTTSDALE	AZ	85250
Business or Resident	8543 E SELLS DR	SCOTTSDALE	AZ	85251
Business or Resident	855 E SLAYTON DR	PALATINE	IL	60074
Business or Resident	8566 E VIA DE DORADO	SCOTTSDALE	AZ	85258
Business or Resident	857 S 117TH PLAZA	OMAHA	NE	68154
Business or Resident	8602 E BERRIDGE LN	SCOTTSDALE	AZ	85250
Business or Resident	8602 E SOLANO DR	SCOTTSDALE	AZ	85250
Business or Resident	8605 SANTA MONICA BLVD SUITE 783B	LOS ANGELES	CA	90069
Business or Resident	8684 E AVALON DR	SCOTTSDALE	AZ	85251
Business or Resident	8700 80TH AVE SW	SALMON ARM	BC	V1E3C5
Business or Resident	8720 E SOLANO DR	SCOTTSDALE	AZ	85250-6319
Business or Resident	8722 E JOSHUA TREE LN	SCOTTSDALE	AZ	85250
Business or Resident	8753 E HONEY BEAR PL	TUCSON	AZ	85749
Business or Resident	8764 E AVALON DR	SCOTTSDALE	AZ	85251
Business or Resident	8817 WATERVIEW RD	MACHESNEY PARK	IL	61115
Business or Resident	8840 E CHAPARRAL RD SUITE 185	SCOTTSDALE	AZ	85250
Business or Resident	8878 RICKETT RD	BRIGHTON	MI	48116
Business or Resident	8880 W SUNSET RD UNIT 250	LAS VEGAS	NV	89148
Business or Resident	8928 E MINTON ST	MESA	AZ	85207-1459
Business or Resident	9 EDGERIDGE CLOSE NW	CALGARY	AB	T3A6K4
Business or Resident	9 LILAC AVE	KENTFIELD	CA	94904
Business or Resident	900 S6 STREET	WEST DEMOINES	IA	50266
Business or Resident	900 ST ANDREWS RD	VALLEY SPRINGS	CA	95252
Business or Resident	9000 E PIMA CENTER PKWY SUITE 350	SCOTTSDALE	AZ	85258
Business or Resident	9017 ILLIS DR	URBANDALE	IA	50322
Business or Resident	9027 ALTO CEDRO DR	BEVERLY HILLS	CA	90210
Business or Resident	9046 SCURFIELD DR NW	CALGARY	AB	T3L1V4
Business or Resident	910 BERKSHIRE RD	ANN ARBOR	MI	48104
Business or Resident	9115 E PURDUE AVE NO 120	SCOTTSDALE	AZ	85258
Business or Resident	9136 N 117TH WY	SCOTTSDALE	AZ	85259
Business or Resident	915 EDINBURGH RD SW	CALGARY	AB	T2S1L7
Business or Resident	915 EMMELINE TERRACE	SASKATOON	SK	S7J5G7
Business or Resident	916 W SHERINGTON DR	EAGLE	ID	83616
Business or Resident	919 WINDING SPRUCE WAY	PRESCOTT	AZ	86303
Business or Resident	9202 N 96TH PL	SCOTTSDALE	AZ	85258
Business or Resident	9290 E THOMPSON PEAK PKWY NO 457	SCOTTSDALE	AZ	85255
Business or Resident	9402 S 157TH PL	GILBERT	AZ	85234
Business or Resident	9427 N 115TH PL	SCOTTSDALE	AZ	85251
Business or Resident	9445 W 94TH PL UNIT 215	SCOTTSDALE	AZ	85258
Business or Resident	9461 GREENLEIGH CT	NAPLES	FL	34120-5258
Business or Resident	9617 INDEPENDENCE DR	WESTMINSTER	CO	80021-6843



Business or Resident	969 ALLISON CT	NIPOMO	CA	93444
Business or Resident	971 ANGLE TARN	WEST DUNDEE	IL	60118-3154
Business or Resident	9779 E SUTTON DR	SCOTTSDALE	AZ	85260
Business or Resident	9820 E BLUE SKY DR	SCOTTSDALE	AZ	85262
Business or Resident	9836 E TOPAZ DR	SCOTTSDALE	AZ	85258
Business or Resident	9843 E CELTIC DR	SCOTTSDALE	AZ	85260
Business or Resident	99 HUDSON DR	REGINA	SK	5452W1
Business or Resident	995 TOMSTONE RD	CARLSBAD	CA	92011
Business or Resident	BOX 124 SITE 4 RR1	DE WINTON	AB	TOL0X0
Business or Resident	BOX 556 1541 BLIND BAY RD	SORRENTO	BC	10E1E4
Business or Resident	ONE CVS DR STORE 339	WOONSOCKET	RI	02895
Business or Resident	P O BOX 93	INDIANOLA	WA	98342
Business or Resident	P O BOX 128109	NASHVILLE	TN	37212
Business or Resident	P O BOX 141	EPHRAIM	WI	54211
Business or Resident	P O BOX 1627	SCOTTSDALE	AZ	85252
Business or Resident	P O BOX 1627	SCOTTSDALE	AZ	85252
Business or Resident	P O BOX 1919	BELFAIR	WA	98528
Business or Resident	P O BOX 203	HARBERT	MI	49115
Business or Resident	P O BOX 240522	DOUGLAS	AK	99824
Business or Resident	P O BOX 29046	PHOENIX	AZ	85038-9046
Business or Resident	P O BOX 330	GALNESVILLE	TX	76241
Business or Resident	P O BOX 3429	SCOTTSDALE	AZ	85271
Business or Resident	P O BOX 45198	PHOENIX	AZ	85016
Business or Resident	P O BOX 4804	SCOTTSDALE	AZ	85261-4804
Business or Resident	P O BOX 880454	PUKALANI	HI	96788
Business or Resident	P O BOX 907	SCOTTSDALE	AZ	85252
Business or Resident	P.O. BOX 794	LANESBORO	MA	01237
Business or Resident	PO BOX 101775	DENVER	CO	80250
Business or Resident	PO BOX 1153	DEL MAR	CA	92014
Business or Resident	PO BOX 1201	LITCHFIELD PARK	AZ	85340
Business or Resident	PO BOX 1213	CAREFREE	AZ	85377
Business or Resident	PO BOX 1219	LYONS	CO	80540
Business or Resident	PO BOX 1251	MOSES LAKES	WA	98837
Business or Resident	PO BOX 141	WATERTON PARK	AB	T0K2M0
Business or Resident	PO BOX 1513	SCOTTSDALE	AZ	85252
Business or Resident	PO BOX 15148	PHOENIX	AZ	85060
Business or Resident	PO BOX 1718	ZEPHYR COVE	NV	89448
Business or Resident	PO BOX 173859	DENVER	CO	80217
Business or Resident	PO BOX 1740	LUKEVILLE	AZ	85341-1038
Business or Resident	PO BOX 206	READING	MA	01867
Business or Resident	PO BOX 207	FLAGSTAFF	AZ	86002
Business or Resident	PO BOX 210316	AUKE BAK	AK	99821
Business or Resident	PO BOX 2105	SCOTTSDALE	AZ	85252
Business or Resident	PO BOX 2139	SCOTTSDALE	AZ	85252
Business or Resident	PO BOX 21623	BULLHEAD	AZ	86439
Business or Resident	PO BOX 2241	SCOTTSDALE	AZ	85252-2241
Business or Resident	PO BOX 2290	KINDERSLEY	SK	85251
Business or Resident	PO BOX 244	SCOTTSDALE	AZ	85252
Business or Resident	PO BOX 2829	SANTA ROSA	CA	95405
Business or Resident	PO BOX 2944	SCOTTSDALE	AZ	85252
Business or Resident	PO BOX 29604	MINNEAPOLIS	MN	55429
Business or Resident	PO BOX 31007	BELLINGHAM	WA	98228
Business or Resident	PO BOX 3398	SCOTTSDALE	AZ	85257
Business or Resident	PO BOX 3429	SCOTTSDALE	AZ	85271
Business or Resident	PO BOX 356	SCOTTSDALE	AZ	85252
Business or Resident	PO BOX 386	CRESTED BUTTE	CO	81224
Business or Resident	PO BOX 40396	PHOENIX	AZ	85067
Business or Resident	PO BOX 45342	PHOENIX	AZ	85064
Business or Resident	PO BOX 502	ROOSEVELT	AZ	85545
Business or Resident	PO BOX 5078	SCOTTSDALE	AZ	85261
Business or Resident	PO BOX 52	CURTIS	NE	69025
Business or Resident	PO BOX 555	CRYSTAL LAKE	IL	60039-0555
Business or Resident	PO BOX 6124 STN MAIN	EDSON	AB	T7E1A0
Business or Resident	PO BOX 6273	SCOTTSDALE	AZ	85261
Business or Resident	PO BOX 628	FRANKFORT	MI	49635
Business or Resident	PO BOX 6457	SCOTTSDALE	AZ	85261
Business or Resident	PO BOX 66846	PHOENIX	AZ	85082
Business or Resident	PO BOX 7303	BERKELEY	CA	94707-0303
Business or Resident	PO BOX 8	KIRKLAND	AZ	86332
Business or Resident	PO BOX 8004	SCOTTSDALE	AZ	85252
Business or Resident	PO BOX 901	FRISCO	CO	80443
Business or Resident	PO BOX 973	WOODLAND	WA	98674
Business or Resident	PO BOX 993	PENNGROVE	CA	94951
Business or Resident	PO BOX 9962	PHOENIX	AZ	85068
Business or Resident	POB 2321	SUMNER	WA	98390



N GOLDWATER

N COTTSDALE RD

N DRINKWATER BL

N DRINKWATER BL

N MILLER RD

N HAYDEN RD

E HOWARD ST



# Scottsdale Stadium Renovation

## November 15, 2018 Open House

### Sign-In Sheet

NAME	ADDRESS	E-MAIL
Brett Farniloe	7753 E. Avalon Dr.	farniloe@gmail.com
ACCERT PIRE	7121 5 <sup>th</sup> AVE	KASTLE57ESK@G.COM
DON PRIOR	9402 N. 122nd Pl. Scott	DPRIOR13@AOL.COM
Scott Fox	6828 E. Pinchot Dr. Scottsdale 85251	messier94cup2003@yahoo.com
LOUISE LAMP	7608 E 4 <sup>th</sup> ST	llambg628@gmail.com
TODD DAVIS	4246 North 79th St	todd@FunCoachUSA.com
Jim Hinckley	758 PO Box 127 Scottsdale 85252	HINCKLEY.JAMES@gmail.com
Rebekah Moric	3615 N. Miller Rd. 85251	rebekahmoric@gmail.com





# Scottsdale Stadium Renovation Open House



Name: Louise Lamb

Email: llamb628@gmail.com

Address: 7608 E. 4th St

Clubhouse - prefer a red brick - am tired of tan and gray on so many office buildings and developments

November 15, 2018

# Scottsdale Stadium Renovation Open House



Name: Don Prior

Email: DPRIORB@AOL.COM

Address: 9402 N. 122nd Pl. Scott

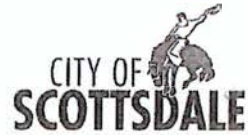
GREAT IMPROVEMENTS

INCLUDE BASEBALL - GIANTS MEMORIAL MUS.

SEEMS LIKE THE GIANTS WITH THEIR INVESTMENT  
WILL BE HERE FOR A LONG TIME  
'GOOD'

November 15, 2018

# Scottsdale Stadium Renovation Open House



Name: ALEX MCLAKEN Email: alex.mclaken@ground.com

Address: 1629 E OSBORN RD

Excellent presentation. The project is a definite win for the City and the Downtown Area. Lets do it!

November 15, 2018

# Scottsdale Stadium Renovation Open House



Name: Scott Fox Email: messier94cup2003@yahoo.com

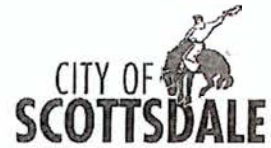
Address: 6828 E. Pinchot Dr; Scottsdale 85251

VERY Informative meeting. I will be looking forward to the new and improved Scottsdale Stadium!

Thank you  
Scott Fox

November 15, 2018

# Scottsdale Stadium Renovation Open House



Name: Patrick McGarry

Email: patrick.mcgarry15@gmail.com

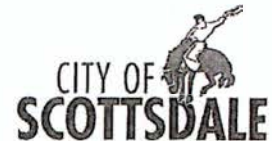
Address: 8074 E Theresa Dr. Scottsdale, AZ 85255

Thanks for taking the time to communicate the  
plans for the City's stadium project.  
Great job by the City staff & consultants.

Patrick

November 15, 2018

# Scottsdale Stadium Renovation Open House



Name: D. Bonds

Email: bondsd@cox.net

Address: 10555 E. Conieson, Scottsdale

Build it.

will help Scottsdale secure  
more events

November 15, 2018



# Scottsdale Stadium Renovation Open House



Name: Jim Hinckley Email: HINCKLEY, JAMES@gmail.com

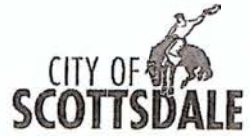
Address: mailing address: P.O. Box 1627, Scottsdale, 86252

Physical Address: 7580 E. EARL DR

- Looking forward to the changes/updates
- TRY TO KEEP some OLD SCHOOL BASEBALL CHARM TRADITION, LIKE THE CITY OF SF HAS. WE'RE NOT L.A.

November 15, 2018

# Scottsdale Stadium Renovation Open House



Name: Joseph Creighan Email: joe creighan@yahoo.com

Address: 7601 ~~E.~~ E. 2nd St. Scottsdale AZ 85251

I'm ENTHUSIASTIC!

THE CLUBHOUSE RENOVATION - KEEP THE GIANTS CLUBHOUSE THEME.

THE SHADING IS AN APPEALING PROJECT I'D LIKE TO SEE GET PRIORITY

KEEP AN OPEN MIND! THERE ARE A LOT OF OPPORTUNITIES!

November 15, 2018

Joseph

# Scottsdale Charros Letters of Support



Ron McPherson  
Jim Keeley  
Andrew Chippindall  
Steve Ziomek  
Jim Furcini  
Kevin Cummings  
John Schultz  
Donn Frye  
Terrance Thornton  
Frank Jacobson  
Mark Matsock  
Todd Peterson  
Chad Gardmann  
Cale Clayton  
Joe Micatrotto  
Craig DeMarco  
Charles Loftin  
Gary Shapiro  
Taylor Burke  
Riad Nizam  
DJ Cole  
Gov. Fife Symington  
Don Henninger  
Jeff Penney  
Joseph Rusin  
Peter Rusin  
Tim Dombrowski  
Chris Watts  
Charles Silver  
Jeff Beardsley  
Jacqueline Jowers  
Natalie Palmer  
Mike Sweeney  
Andrew Beardsley  
Tim Garvin  
Marshall Trimble  
Brendon Sarracino  
Dave Alford  
Mark Bramlett  
Stuart Crawford  
Mary Hadsall  
Sam Campana

Antigua Sportswear  
Colliers International  
Mountain Shadows  
Thunderbird Field II Veterans Memorial  
Furcini Construction  
Lockton Companies  
Schultz Development  
Prestige Cleaners  
Scottsdale Independent  
Former CEO Scottsdale Arts  
Matsock & Associates  
Matsock & Associates  
Select Interiors  
Clayton Floor Covering  
Kairoc USA  
Upward Projects  
Loftin Equipment Co.  
Coldwell Banker  
Rainy Partners  
Master Electronics  
CCMC  
Former Arizona Governor  
SCOTT  
DLC Resources  
Horsense  
Healthworld  
Copperstate Cabinets  
Sunstate Equipment  
Scottsdale Community College  
Silverleaf Realty  
Silverleaf Realty  
Gainey Ranch  
McCormick Ranch  
Silverleaf Realty  
City Property Management  
Arizona State Historian  
Sargon Masonry Construction  
Parada del Sol  
Cushman & Wakefield  
VIP Mortgage  
Camelot Therapeutic Horsemanship  
Former Mayor of Scottsdale

Dan Shufelt	Arizona Helping Hands
Ken Harder	Former Scottsdale Chamber President
Cassandra Switalski	Miracle League
Richard Campana	Former Scottsdale City Council
Phil Carlson	Former CEO of Scottsdale Chamber
Marlo Apple	New Pathways for Youth
Tim Bray/Sherry Bray	NOAH Chairman
Terra Schaad	Hunkapi Farms
Ellen Andres-Schneider	Scottsdale Chamber Board
Bill Heckman	Scottsdale Chamber Board
Geoff Beer	Scottsdale Chamber Board
Jim Brower	Coach House
Sasha Weller	Scottsdale Firefighters
Tracy Leonard-Warner	Ryan House
Robyn Julien	Boys & Girls Club
Chastity Fermoile	Special Olympics
Matt White	Caretaker Landscape
Jim Brouhard	Former BGCS President
Kevin Maxwell	Scottsdale Chamber
Steve Helm	Former Chamber Board President
Brad Brittain	Scottsdale Dentist
Rep. John Kavanagh	Arizona House of Representatives
Jim Bayless	CBRE
Ed Reading	Vestar
Gary Naquin	National Bank of Arizona
JT Wamsley	Sonoran Truck & Diesel Sales
Bob Howard	Attorney
Damian Vega	Scottsdale YMCA
Todd LaPorte	Honor Health
Bill Aust	CPA
Barbara Blalock	Treasures 4 Teachers
Kurt Brueckner	Attorney
Kirk Johnson	UBS
Dr. Tacy Ashby	Grand Canyon University
Ray Herndon	Handlebar J's
Diane and Les Corieri	Evening Entertainment Group
Jeff Mirasola	CenturyLink
Tasha Leete	Sereno Soccer
Ron Broatch	Burger King Franchisee
Dr. William Reid	DVM, retired
Bryce Lloyd	First Bank
Derek Flottum	Irgens
Clayton McKnight	Real Estate
Gordon and Dona Holyoak	Residents
Scott Gruwell	Courtesy Chevrolet

Craig Curtis  
Adam Mays  
John Arnold  
Joe Deka  
Jim Ford  
Bob Weston  
Clark York  
Sandi York  
Justin Owen  
Allen Hall  
Denise Pulk  
Rick Carpinelli  
Ryan Schubert  
Chad Schubert  
Don Chiappetti  
Gregg Tryhus  
Wayne Botkin  
Bill Schrader  
David Barnett  
John Farr  
Dale Jodoin  
French Thompson  
Oliver Smith  
Randy Nussbaum  
Craig Jackson

Calex Homes  
AR Mays Construction  
Southwest Wealth Strategies  
Lone Star Med  
Community Celebrating Diversity  
Alliance Residential  
Honor Health  
Honor Health  
McDowell Sonoran Conservancy  
Car Sales  
Scottsdale Charros  
Crown Realty & Development  
Cushman & Wakefield  
USI Insurance  
Dentist  
Grayhawk Development  
Dentist  
Former Mayor of Scottsdale  
Former Development Review Board  
Columbia West Capital  
AZ88 Restaurant  
Scottsdale Gallery Association  
Oliver Smith Jeweler  
Scottsdale Attorney  
Barrett-Jackson

# ANTIGUA®



Ronald A. McPherson  
President

The Antigua Group, Inc.  
16651 North 84th Avenue  
Peoria, Arizona 85382-4772

[www.antigua.com](http://www.antigua.com)

January 16, 2019

Dear Scottsdale Community Leaders,

2019 marks Antigua's 40<sup>th</sup> Anniversary in the apparel business and for 20 of those 40 years we have advertised and provided sponsorships for Spring Training at Scottsdale Stadium through the Scottsdale Charros organization.

We initially determined to support Spring Training advertising efforts because of our national affiliation with Major League Baseball and our business with the San Francisco Giants retail operation both in the bay area and locally in Scottsdale Stadium. (Antigua is a national licensee of Major League Baseball and is a supplier to all its teams across the country.)

After a few years it was clear to us the importance of the work of the Scottsdale Charros and the impact the dollars they raise through Spring Training baseball advertising and sponsorships have on Scottsdale and the surrounding communities. Quite remarkably the Scottsdale Charros have hosted Spring Training baseball since 1961, working with five different teams, and over the years the Charros partnership with these teams and the City of Scottsdale has resulted in over \$16 million dollars in donations to hundreds of deserving local charities and public education initiatives. That is an amazing number! Especially when you realize that the Charros are all local business people who volunteer their time for the betterment of the community.

In late 2000, I became a "Grande" Member of the Charros organization and worked to find other sponsors and advertisers to support Spring Training baseball at Scottsdale Stadium and I am proud to report that my son became an active member of the Charros this past year.

With plans to renovate Scottsdale Stadium to enhance the Spring Training experience for future generations of fans and grow the economic impact for the community the very successful three-way agreement between the City of Scottsdale, the San Francisco Giants and the Scottsdale Charros must be extended to insure continued success.

Sincerely,

A handwritten signature in black ink, appearing to read "Ron McPherson". The signature is fluid and cursive, with a large, sweeping flourish at the end.

Ron McPherson  
President & CEO

January 2019

## Letter in Support

The **Scottsdale Charros** have hosted Spring Training baseball at Scottsdale Stadium since 1961. The Charros have sold tickets, worked concessions, sold programs and accommodated Spring Training fans for over 5 decades. The Charros' partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education. This three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships.


Currently, plans are being finalized to upgrade Scottsdale Stadium with tourism tax monies and contributions from our organization and the San Francisco Giants. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale.

These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. This contract extension will ensure that the successful Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, a long-term commitment by the Giants and funding for the essential work of the Scottsdale Charros.

Together, we want to impress upon you, our leaders of Scottsdale, the importance of the continued involvement of the Scottsdale Charros. The Charros have helped insure the success of Spring Training and have protected the community's interest for the past fifty-six years. The Charros have worked with five major league teams and have contributed millions of dollars to local charities and Scottsdale Unified Schools. The Scottsdale Charros are synonymous with Scottsdale Spring Training and their continued involvement is paramount to its continued success. In other words, the Charros help the city in a uniquely Scottsdale way with games and an approach that doesn't just help a sports franchise, but the community as a whole. The Charros and Scottsdale Stadium are a model for all of Major League Baseball and how to do spring training right.

As member of the Scottsdale Charros for over 20 years, the contributions to the community and the City of Scottsdale have been a worthwhile endeavor. As a baseball fan, it is rewarding to see our community be rewarded for acting as host for 30 days of preseason games, while enjoying both social and financial benefits. I encourage you to support the Scottsdale Charros and future initiatives for improving the Scottsdale Stadium.

Sincerely,



Jim Keeley, SIOR, CCIM  
Founding Partner, Scottsdale Office  
Colliers International

# MOUNTAINSHADOWS

January 21, 2019

Scottsdale Charros  
Spring Training Baseball  
Letter of Support

To whom it may concern:

I have been associated with the Scottsdale Charros for well over a decade on many platforms but mostly with their involvement in spring training baseball and their association with the San Francisco Giants and Scottsdale Stadium.

As General Manager of Hotel Valley Ho for 12 years, since opening back in 2005 we have collaborated with the Charros and the Giants on many events. More so, we directly see the benefit of having such an iconic organization as Giants represented in downtown Scottsdale. In the past, I have often commented on a game day how great it would be if downtown were activated as it is at game day, every day!

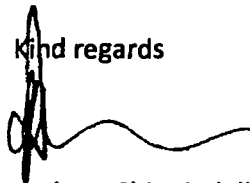
I honestly could not imagine not having the Giants in downtown and for that matter not having the Charros be involved with planning and hosting spring training. Since being involved with Scottsdale Arts for the past 9 years, which included 2 years and Chair, Board of Trustees and for many years chairing the Arts Grants Committee I have seen firsthand what their fund raising does for our local community. I understand that the Charros partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education.

As a board and executive committee member of Experience Scottsdale I understand how important it is to promote Scottsdale as a unique luxury destination and who better a partner than the Charros and Giants, if we expect that spring training is to be the peak of our high season then we need exactly these type of partnerships to continue.

I also believe that it is essential that Scottsdale Stadium represent the luxury experience that is Scottsdale. Renovations that are needed from time to time to keep the venue to the level our guests and we expect are essential. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact in Downtown Scottsdale.

If any further information or verification is needed please do not hesitate to reach out.

Kind regards



Andrew Chippindall  
Vice President + General Manager





## Letter in Support of the Scottsdale Charros

As a 37-year resident of Scottsdale and one involved in community affairs, I fully support the **Scottsdale Charros** and their mission.

The Scottsdale Charros have hosted Spring Training baseball at Scottsdale Stadium since 1961 and have donated millions of dollars to local charities and local educational institutions.

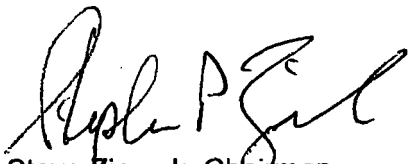
Not lost in the narrative is the massive economic impact the Charros and Spring Training bring to the City, the hospitality industry and one of Scottsdale's crown jewels, the Scottsdale Airport.

I know that plans are currently being finalized to upgrade Scottsdale Stadium using tourism/tax dollars and contributions made by both, the Charros and the San Francisco Giants.

These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of hosting Spring Training at the Scottsdale Stadium. The trickle-down effect will be a boon to the entire downtown area, the hospitality industry and the Scottsdale Airport itself.

These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. This extension with the long-term commitment by the Giants and Charros will ensure that this world-class Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, and funding for the essential work of the Scottsdale Charros.

It is critically important to renew this contact to continue this long-term marriage that results in a windfall for the City and its residents.



Steve Ziomek, Chairman  
Thunderbird Field II Veterans Memorial Inc.  
480.225.8874  
[www.tbird2.org](http://www.tbird2.org)

Former Commissioner & Past Chair  
Scottsdale Airport Advisory Commission

# Furcini

CONSTRUCTION CORPORATION

City of Scottsdale  
City Council  
Scottsdale, Arizona

1-24-19

Re. Scottsdale Giants Spring Training Partners.

Dear City Council,

I am writing to express my support for the continued and perhaps upscaling of the Scottsdale Charros partnership with the City of Scottsdale and the San Francisco Giants Spring Training events. I am sure that you are already familiar with the Charros historical contributions and storied past with Scottsdale in the orchestration of the Spring Training venue so I will not belabor the obvious benefit that they bring.

As a historical reference, I am proud that from the very beginning our country has as a founding principle encouraged voluntary participation and service from the private sector to governmental leadership and operation. For a period of time individuals would suspend their private citizenry activities, serve in leadership and then return to private life.

The Charros embody a modern day version of that principle today with a twist. The Charros with their philanthropic activities commit a significant part of their personal time and energies to participate in the operations of the community while providing the fruits of those labors back to the parts of the community in need. I understand that the Charros contribute upwards of one million dollars per year to the Scottsdale School District and other community beneficiaries.

It is hard to imagine a more pure way to benefit the community that one lives in. And, that is why I urge you to recognize and embrace and amplify the Charros future with Scottsdale and the Giants. The Charros participation in Spring training should be seen as an essential on going community player in the orchestration of this venue.

Thank you for your time and efforts and all that you do for Scottsdale,

  
Jim Furcini,  
President Furcini Construction Corporation



## Letter in Support of Scottsdale Charros

January 25<sup>th</sup>, 2019

To Whom it May Concern:

The **Scottsdale Charros** have hosted Spring Training baseball at Scottsdale Stadium since 1961. The Charros have sold tickets, worked concessions, sold programs and accommodated Spring Training fans for over 5 decades. The Charro's partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education. This three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships.

Currently, plans are being finalized to upgrade Scottsdale Stadium with tourism tax monies and contributions from our organization and the San Francisco Giants. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale.

These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. This contract extension will ensure that the successful Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, a long-term commitment by the Giants and funding for the essential work of the Scottsdale Charros.

Together, we want to impress upon you, our leaders of Scottsdale, the importance of the continued involvement of the Scottsdale Charros. The Charros have helped insure the success of Spring Training and have protected the community's interest for the past fifty-six years. The Charros have worked with five major league teams and have contributed millions of dollars to local charities and Scottsdale Unified Schools.

The Scottsdale Charros are synonymous with Scottsdale Spring Training and their continued involvement is paramount to its continued success. In other words, the Charros help the city in a uniquely Scottsdale way with games and an approach that doesn't just help a sports franchise, but the community as a whole. The Charros and Scottsdale Stadium are a model for all of Major League



TEN YEARS OF EXCELLENCE

LOCKTON COMPANIES

14850 N. Scottsdale Road, Suite 225 / Scottsdale, AZ 85254-2828

602.735.8900 / FAX: 602.735.8999

[www.lockton.com](http://www.lockton.com)

Letter in Support  
Page 2  
January 25<sup>th</sup>, 2019

Baseball and how to do spring training right.

If you have any questions or concerns, I can be reached at (602) 735-8903.

Sincerely,

A handwritten signature in black ink, appearing to read "Kevin Cummings", with a long horizontal flourish extending to the right.

Kevin Cummings, ARM, CIC  
President – Arizona  
LOCKTON COMPANIES

January 24, 2019

To Whom It May Concern:

As a Scottsdale business owner and a longstanding member of the Scottsdale Charros, one of the most influential organizations in the city, I am reaching out to express my support of the contract extension with the Charros, the San Francisco Giants and the City of Scottsdale, as well as the plans to renovate Scottsdale Stadium.

The Charros, an all-volunteer, nonprofit group of business and civic leaders, have hosted Spring Training Baseball at Scottsdale Stadium since 1961 and are synonymous with Spring Training. Charros have given their blood, sweat and tears to make Spring Training a success donating an average of 250 hours a year, performing services to the community resulting in over \$16 million in donations to local charities and public education.

The plans to renovate Giants Stadium with tourism tax and contributions from the Charros and the Giants will enhance the fan experience, bringing with it visitors from near and far which will continue to improve the economic impact in Downtown Scottsdale.

The Charros involvement in Giants Spring Training is paramount to its continued success. I hope you will join me in support of this successful relationship.

Respectfully,



John Schultz

President

Schultz Development Corporation



7126 E Sahuaro Drive  
Scottsdale AZ 85254  
480.948.2781

January 17, 2019

Letter in Support of the Scottsdale Charros

As a 57-year resident of Scottsdale and one involved in community affairs, I fully support the **Scottsdale Charros** and their mission. I have chaired or served on the boards of, Scottsdale YMCA, Boys and girls clubs of Scottsdale, STARS, and McCormick Ranch Kiwanis. All of these organizations have benefited from spring training and the support of the Charros.

The Scottsdale Charros have hosted Spring Training baseball at Scottsdale Stadium since 1961 and have donated millions of dollars to local charities and local educational institutions.

Not lost in the narrative is the massive economic impact the Charros and Spring Training bring to the City, the hospitality industry and one of Scottsdale's crown jewels, the Scottsdale Airport.

I know that plans are currently being finalized to upgrade Scottsdale Stadium using tourism/tax dollars and contributions made by both, the Charros and the San Francisco Giants.

These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of hosting Spring Training at the Scottsdale Stadium. The trickle-down effect will be a boon to the entire downtown area, the hospitality industry and Scottsdale Airport itself.

These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. This extension with the long-term commitment by the Giants and Charros will ensure that this world-class Spring Training partnership will continue to provide tremendous economic benefits to Scottsdale, and funding for the essential work of the Scottsdale Charros.

For the residents and the non-profit community, I hope the City will continue its support of the Charros by reinvesting in Spring Training and all it does for Scottsdale!

Donn Frye  
CEO, Prestige Cleaners



SCOTTSDALE  
**INDEPENDENT**  
scottsdaleindependent.com

This letter should stand as an example of my unwavering support of the Scottsdale Charros organization and its constant endeavor to improve the lives of people in need.

For nearly 10 years, myself and my organization --- Independent Newsmedia Inc. USA --- have been partnering with the Scottsdale Charros in several different capacities. This relationship has blossomed into a formal understanding of the organization and the people who fuel the effort. Never have I encountered a group of individuals more dedicated to selfless acts. And, much of those positive impacts to the community --- from grant programs helping to fuel local nonprofits to millions of dollars in student and educator scholarships --- are possible due to the group's volunteerism and ability to fundraise through a partnership with both the city of Scottsdale and the San Francisco Giants.

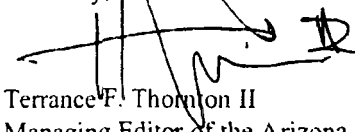
Since 1961, the Scottsdale Charros have hosted spring training baseball at Scottsdale Stadium. On a volunteer basis, the Scottsdale Charros have sold tickets, worked concessions, sold programs and accommodated spring training fans for over 50 years. In addition, for nearly 60 years the Scottsdale Charros have been in the constant pursuit of improving the lives of Scottsdale residents and preservation of the community's ties to its western heritage. The Charro's partnership with the city of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education. This three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships.

Today, plans are being finalized to upgrade Scottsdale Stadium with tourism tax monies and contributions from the Scottsdale Charro organization and the San Francisco Giants. These renovations will enhance the fan experience, expand the multipurpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale. I believe these statements to be true, which I base on my personal and professional experience dealing with the Scottsdale Charros.

These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. In my estimation this contract extension will ensure that the successful spring training partnership will continue to provide tremendous economic benefit to Scottsdale, a long-term commitment by the Giants and funding for the essential work of the Scottsdale Charros. That essential work? Helping the people who need it most through the grant program offered through The Charro Foundation fueling countless nonprofit efforts throughout Scottsdale.

The Scottsdale Charros are the embodiment of what helps make the city of Scottsdale a special place. From the group's support of the Scottsdale Unified School District to its spirit of volunteerism, their dedication to the community and pursuit of helping other is unparalleled. The Charros and Scottsdale Stadium are a model for all of Major League Baseball and how to do spring training right.

Sincerely,



Terrance F. Thornton II  
Managing Editor of the Arizona division of Independent Newsmedia Inc. USA

Dear Mayor Lane and Members of Scottsdale City Council,

I write you today as a long-time resident of Scottsdale and as a member of the Scottsdale Charros. As you may know, the Scottsdale Charros have hosted Spring Training baseball at Scottsdale Stadium since 1961. For more than five decades, the Charros have **sold tickets, worked concessions, sold programs and accommodated Spring Training fans.** The Charro's partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education. This three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships.

Currently as I understand, plans are being finalized to upgrade Scottsdale Stadium with tourism tax monies and contributions from our organization and the San Francisco Giants. These renovations **will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact** of Scottsdale Stadium for Downtown Scottsdale. These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. This **contract extension will ensure that the successful Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, a long-term commitment by the Giants and funding for the essential work of the Scottsdale Charros.**

Together, we want to impress upon you, our leaders of Scottsdale, the importance of the continued involvement of the Scottsdale Charros, **an organization of volunteers.** Through the donation of their personal time and resources, the Charros have helped insure the success of Spring Training and have protected the community's interest for the past fifty-six years. The Charros have worked with five major league teams and have contributed millions of dollars to local charities and Scottsdale Unified Schools.

**The Scottsdale Charros are synonymous with Scottsdale Spring Training and their continued involvement is paramount to its continued success.** In other words, the Charros help the city in a uniquely Scottsdale way with games and an approach that doesn't just help a sports franchise, but the community as a whole. **The Charros and Scottsdale Stadium are a model for all of Major League Baseball and how to do spring training right.**

**I hope you will agree and support the stadium improvements as well as the contract extension.**

Most sincerely,

Frank Jacobson  
8113 E Del Caverna Drive  
Scottsdale, AZ 85258





January 25, 2019

To Whom it May Concern:  
From Todd Peterson, COO and Mark Matsock, CEO  
Matsock & Associates

The Scottsdale Charros have hosted Spring Training Baseball at Scottsdale Stadium since 1961. We're proud to be members of the Scottsdale Charros and past presidents of the organization as well as a previous baseball chairmen for the group.

The Charros partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education. The three-way contract with the City, Giants and Charros has been very successful and a model for public, private and non-profit partnerships.

The City is negotiating a contract extension with the Giants and Charros currently including much needed stadium renovations. The Charros and Scottsdale Stadium are a model for all of Major League Baseball and how to do Spring Training right.

The Scottsdale Charro organization and its members have been integral with the growth and development of Scottsdale for over 60 years. Please know that our company is proud supporters of the Charros and the good work that they do for our City. Please support the new contract and keep our downtown vibrant with spring training games as well as being able to utilize the stadium throughout the year.

Thank you,

Todd S. Peterson, COO  
Matsock & Associates

Mark J. Matsock, CEO  
Matsock & Associates



Select Interiors, LLC  
6991 E. Camelback Road  
Scottsdale, AZ 85251

January 25, 2019

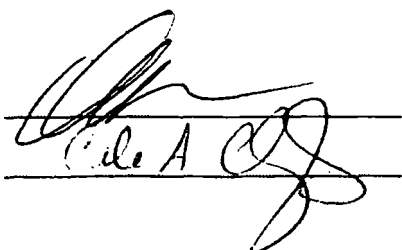
To Whom it May Concern,


The **Scottsdale Charros** have hosted Spring Training baseball at Scottsdale Stadium since 1961. The Charros have sold tickets, worked concessions, sold programs and accommodated Spring Training fans for over 5 decades. The Charro's partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education. This three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships.

Currently, plans are being finalized to upgrade Scottsdale Stadium with tourism tax money, contributions from our organization and the San Francisco Giants. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale.

These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. This contract extension will ensure that the successful Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, a long-term commitment by the Giants and funding for the essential work of the Scottsdale Charros.

Together, we want to impress upon you, our leaders of Scottsdale, the importance of the continued involvement of the Scottsdale Charros. The Charros have helped insure the success of Spring Training and have protected the community's interest for the past fifty-six years. The Charros have worked with five major league teams and have contributed millions of dollars to local charities and Scottsdale Unified Schools. The Scottsdale Charros are synonymous with Scottsdale Spring Training and their continued involvement is paramount to its continued success. In other words the Charros help the city in a uniquely Scottsdale way with games and an approach that doesn't just help a sports franchise, but the community as a whole. The Charros and Scottsdale Stadium are a model for all of Major League Baseball and how to do spring training right.

  
Dale A. [unclear]

  
Chad T. Gardemann / Owner  
Cate Clayton / Owner



17801 Camelback Ct, Ste. C153  
Scottsdale, Arizona 85251

January 25, 2019

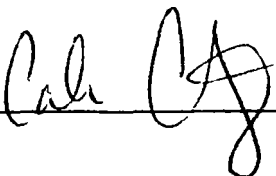
To Whom it May Concern,

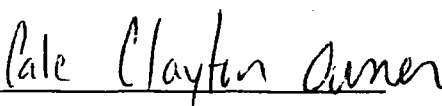
The **Scottsdale Charros** have hosted Spring Training baseball at Scottsdale Stadium since 1961. The Charros have sold tickets, worked concessions, sold programs and accommodated Spring Training fans for over 5 decades. The Charro's partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education. This three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships.

Currently, plans are being finalized to upgrade Scottsdale Stadium with tourism tax money, contributions from our organization and the San Francisco Giants. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale.

These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. This contract extension will ensure that the successful Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, a long-term commitment by the Giants and funding for the essential work of the Scottsdale Charros.

Together, we want to impress upon you, our leaders of Scottsdale, the importance of the continued involvement of the Scottsdale Charros. The Charros have helped insure the success of Spring Training and have protected the community's interest for the past fifty-six years. The Charros have worked with five major league teams and have contributed millions of dollars to local charities and Scottsdale Unified Schools. The Scottsdale Charros are synonymous with Scottsdale Spring Training and their continued involvement is paramount to its continued success. In other words the Charros help the city in a uniquely Scottsdale way with games and an approach that doesn't just help a sports franchise, but the community as a whole. The Charros and Scottsdale Stadium are a model for all of Major League Baseball and how to do spring training right.

  
\_\_\_\_\_

  
\_\_\_\_\_



January 25, 2019

To whom it may concern,

I am writing this letter on behalf of the Scottsdale Charros and the community partners and programs they support. I have had the pleasure of being a supporter of the Charros and Scottsdale Stadium over the past decade. This organization and the people who make it up are more than a group who supports baseball and generates energy during spring training every year. For over 50 years they have brought the spirit of philanthropy and giving to this amazing community. They don't just write a check. They show up. They have been an example to the business community on how to partner with local resources, build relationships, and give back to make Scottsdale a better place to live and work for all. The stadium is a symbol of baseball, but it represents so much more. To businesses it represents a great vehicle to get your brand out to a very energized fan base. To the locals it represents family and friend time while supporting a city and baseball team.

It is important to mention that I do not live in Scottsdale. In fact, I do not live in Arizona. I live in Nevada and I along with my company, support the Charros and the stadium because of the support both provide to the community. I would highly recommend that any improvements that can be made to continue the positivity the stadium and the Charros have provided for the past 50 plus years will continue for the next 50. Thank you for your time and let's get this done!

Thank you very much,

Joe Micatrotto Jr.  
Principal  
KAIROC U.S.A.  
[joemicatrotto@kairocusa.com](mailto:joemicatrotto@kairocusa.com)

Past owner Raising Cane's Chicken Fingers

## Letter in Support

The **Scottsdale Charros** have hosted Spring Training baseball at Scottsdale Stadium since 1961. The Charros have sold tickets, worked concessions, sold programs and accommodated Spring Training fans for over 5 decades. The Charro's partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education. This three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships.

Currently, plans are being finalized to upgrade Scottsdale Stadium with tourism tax monies and contributions from our organization and the San Francisco Giants. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale.

These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. This contract extension will ensure that the successful Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, a long-term commitment by the Giants and funding for the essential work of the Scottsdale Charros.

Together, we want to impress upon you, our leaders of Scottsdale, the importance of the continued involvement of the Scottsdale Charros. The Charros have helped insure the success of Spring Training and have protected the community's interest for the past fifty-six years. The Charros have worked with five major league teams and have contributed millions of dollars to local charities and Scottsdale Unified Schools. The Scottsdale Charros are synonymous with Scottsdale Spring Training and their continued involvement is paramount to its continued success.



Craig DeMarco

# **LOFTIN**

## **LOFTIN EQUIPMENT CO.**

To Whom it May Concern-

Loftin Equipment is in support of the Scottsdale Charros!

- The Scottsdale Charros have hosted Spring Training Baseball at Scottsdale Stadium since 1961.
- The Charros partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education.
- The three-way contract with the City, Giants and Charros has been very successful and a model for public, private and non-profit partnerships.
- Currently there are plans to renovate Scottsdale Stadium with tourism tax dollars and contributions from the Charros and the Giants.
- These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact in Downtown Scottsdale.
- These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros.
- The Charros need the support of the Scottsdale community to ensure that the work of the Charros continues for decades to come.
- The Charros have worked with five major league teams and have contributed millions of dollars to local charities and public education.
- The Scottsdale Charros are synonymous with Spring Training and the Charros continued involvement is paramount to its continued success.
- The Charros and Scottsdale Stadium are a model for all of Major League Baseball and how to do Spring Training right.

Sincerely,



Charles Loftin  
President  
Loftin Equipment Co.



**GARY SHAPIRO**, 5-Star Service Spanning 5 Decades

Quality Service Certified - Platinum Member  
7975 N. Hayden Rd., Suite C-100, Scottsdale, AZ 85258-3266  
Direct (480) 451-GARY (4279)  
Email: Gary@GaryShapiro.com

January 29, 2019

Mayor & City Council  
Scottsdale, AZ 85251

RE: Spring Training in Scottsdale --Scottsdale Charros and San Francisco Giants

Ladies and Gentlemen,

Please allow me to share some observations about MLB baseball from a unique background and perspective spanning over 30 years. I've viewed this community relationship from both a "provider" and "beneficiary" standpoint.

Initially, I was the Chairman for Citizens for a Better Scottsdale. We were the citizens' committee that advocated for the successful package of city bonds, which lead to building Scottsdale Stadium plus a wide variety of other community improvements. Our community overwhelmingly supported these initiatives.

Subsequently, I have been an active member of the Scottsdale Charros. I have also served a variety of organizations including the Boy's & Girl's Club, Scottsdale Leadership, SUSD's Foundation, and others. On countless occasions, I've witnessed the positive impact our current system has to support worthwhile, necessary causes.

As a result of these roles and my life-long commitment to the betterment of Scottsdale, I keenly recognize the importance of our current partnership with the City, the Charros, and our favorite MLB team.

Without this continued collaboration, the landscape of our community would be devastated. Not only would we lose the continuity & horsepower of the Charros, the organizations that rely on our community for funding would be seriously impacted.

I encourage you to take whatever steps are necessary to promote, protect, and preserve what has worked well for Scottsdale. Thank you for your consideration and leadership.

Regards,



7114 East Stetson Drive, Suite 400, Scottsdale, Arizona 85251

Telephone: 480.483.7444, Facsimile: 480.584.4874

### Letter of Support

I am writing in support of The Scottsdale Charros and their continued partnership with the City of Scottsdale and the San Francisco Giants. The Charros have hosted Spring Training baseball at Scottsdale Stadium since 1961; this three-way agreement between the City, Giants and Charros has generated over \$16 million in charitable giving, which has served to support many deserving local charities as well as public education.

The Charros aid in selling tickets, programs, concessions and have generally accommodated Spring Training fans for over 5 decades. The Charros have played a vital role in making Scottsdale a prime tourist destination for baseball fans from around the world.

Currently there are plans to renovate Scottsdale Stadium with tourism tax dollars and contributions from the Charros and Giants. These renovations will help boost the fan experience, expand the multipurpose capabilities of the stadium and help to improve the economic impact in downtown Scottsdale. These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. This contract extension will ensure that the successful Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, a long-term commitment from the Giants and funding for the essential work of the Scottsdale Charros.

As the President of Rainy Partners, a Family Office with controlling interests in diverse operating businesses including commercial real estate, financial services, sports and entertainment venues and restaurants I appreciate the importance of community involvement and the continued growth of downtown Scottsdale. I share the Charro's passion to strengthen our communities and to help build a better future for our children.

I would like to emphasize the importance of supporting the Scottsdale Charro's and their involvement in the Scottsdale community. The Charros have helped ensure the success of Spring Training and have protected the community's interest for the past fifty-six years. The Charros have worked with five major league teams and have contributed millions of dollars to local charities and public education. The Charros are synonymous with Spring Training and their involvement is paramount to its continued success.

Sincerely,

A handwritten signature in black ink, appearing to read "R. Taylor Burke, Jr.", written over a horizontal line.

R. Taylor Burke, Jr.  
President  
Rainy Partners



City of Scottsdale,

The Charros are a part of the Phoenix community and with that they have ensured we have had a great spring training with the Giants for over 50 years and as a resident of Scottsdale I would like to see that continue.

Without the Charros involvement I am worried that charitable donations that they make with the revenue from spring training will end, this would be a shame for our community.

I know many members of the Charros and I know they will continue to make a difference in our community. Let's make sure we do the right thing for our great city.

Riad Nizam

Smiles.  
Harmony.  
Joy.



Community Association  
Management

[www.CCMCnet.com](http://www.CCMCnet.com)

**MEMPHIS**

12600 Hill Country Boulevard  
Suite R-275  
Austin, TX 78738  
512-329-2633

**PLANO**

7800 N. Dallas Parkway  
Suite 450  
Plano, TX 75024  
469-246-3500

**LOUISVILLE**

400 E. Simpson Street  
Suite 200  
Lafayette, CO 80026  
303-390-1222

**KATY**

2717 Commercial Center Boulevard  
Suite E-200  
Katy, TX 77494  
832-913-5120

**LAS VEGAS**

5940 S. Rainbow Boulevard  
Las Vegas, NV 89118  
702-248-2252

**LAKE MARY**

801 International Parkway  
Suite 500  
Lake Mary, FL 32746  
407-562-1138

**SCOTTSDALE**

8360 E. Via de Ventura Boulevard  
Suite L-100  
Scottsdale, AZ 85258  
(480) 921-7500

**DRAPER**

13894 S. Bangert Parkway  
Suite 200  
Draper, UT 84020  
801-679-2250

**TUCSON**

3005 W. Ina Road  
Suite 111  
Tucson, AZ 85741  
520-682-1357



**CCMC**

*Now this feels like home.®*

To Whom It May Concern,


CCMC has been serving community associations in Arizona since 1988. As a Scottsdale-headquartered employer, we have supported the Scottsdale Charros and Giants spring training baseball for many, many years. 300 of our nearly 900 employees nationally work and live in Scottsdale and the greater Phoenix area. And nearly 10,000 Scottsdale homeowners live in a community association that has trusted us as its partner. Across greater Phoenix the number of homeowners we represent exceeds 50,000. We have hosted numerous memorable employee and client events watching Giants baseball at Scottsdale Stadium, including some of our national partners, while knowing that we are contributing to the greater Scottsdale community.

The **Scottsdale Charros** have hosted Spring Training baseball at Scottsdale Stadium since 1961. The Charros have sold tickets, worked concessions, sold programs and accommodated Spring Training fans for over 5 decades. The Charro's partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education. This three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships.

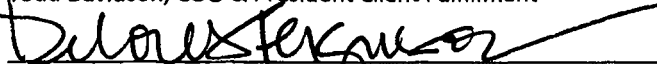
Currently, plans are being finalized to upgrade Scottsdale Stadium with tourism tax monies and contributions from our organization and the San Francisco Giants. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale.

These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. This contract extension will ensure that the successful Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, a long-term commitment by the Giants and funding for the essential work of the Scottsdale Charros.

Together, we want to impress upon the leaders of Scottsdale, the importance of the continued involvement of the Scottsdale Charros. The Charros have helped insure the success of Spring Training and have protected the community's interest for the past fifty-six years. The Charros have worked with five major league teams and have contributed millions of dollars to local charities and Scottsdale Unified Schools. The Scottsdale Charros are synonymous with Scottsdale Spring Training and their continued involvement is paramount to its continued success. In other words, the Charros help the city in a uniquely Scottsdale way with games and an approach that doesn't just help a sports franchise, but the community as a whole. The Charros and Scottsdale Stadium are a model for all of Major League Baseball and how to do spring training right.

  
D. J. Cole, Chairman & CEO

  
Todd Davidson, COO & President Client Fulfillment

  
Delores Ferguson, Western Division President

8360 E. Via de Ventura Boulevard, Suite L-100  
Scottsdale | AZ | 85258  
(480) 921-7500

## Letter in Support

The **Scottsdale Charros** have hosted Spring Training baseball at Scottsdale Stadium since 1961. The Charros have sold tickets, worked concessions, sold programs and accommodated Spring Training fans for over 5 decades. The Charro's partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education. This three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships.

Currently, plans are being finalized to upgrade Scottsdale Stadium with tourism tax monies and contributions from our organization and the San Francisco Giants. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale.

These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. This contract extension will ensure that the successful Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, a long-term commitment by the Giants and funding for the essential work of the Scottsdale Charros.

Together, we want to impress upon you, our leaders of Scottsdale, the importance of the continued involvement of the Scottsdale Charros. The Charros have helped insure the success of Spring Training and have protected the community's interest for the past fifty-six years. The Charros have worked with five major league teams and have contributed millions of dollars to local charities and Scottsdale Unified Schools. The Scottsdale Charros are synonymous with Scottsdale Spring Training and their continued involvement is paramount to its continued success. In other words, the Charros help the city in a uniquely Scottsdale way with games and an approach that doesn't just help a sports franchise, but the community as a whole. The Charros and Scottsdale Stadium are a model for all of Major League Baseball and how to do spring training right.



Governor Fife Symington



J. Fife Symington, IV

# SCOTT

SCOTTSDALE COALITION OF TODAY AND TOMORROW

Jan. 29, 2019

To: Citizens of Scottsdale  
Fm: The Scottsdale Coalition of Today & Tomorrow  
Re: Scottsdale Charros

There are very few organizations in Scottsdale as important and impactful to the city as the Scottsdale Charros.

Their role in the quality of life in our city is second to none.

They have been the steady, guiding force behind spring training in the city since 1961, working with five major-league teams over that span. Through their partnership with the city and the San Francisco Giants, they have donated over \$16 million to hundreds of local charities and public schools in Scottsdale.

The three-way partnership between the Charros, Giants and the city stands as a model for public, private, non-profit success.

Plans now are in the works to upgrade Scottsdale Stadium with tourism tax funds as well as contributions from the Charros and the Giants. The renovations are needed to enhance the fan experience and increase other uses for the stadium, ultimately expanding the economic impact the stadium has for Old Town Scottsdale and the city overall.

The stadium renovations will require a contract extension between the city, Giants and Charros. We believe the continued involvement of the Charros is critical as this work moves forward.

The Charros are the steady hand that makes this collaborative successful. They have earned our trust with their hard work and results over these past 58 years.

Frankly, we can't imagine spring training baseball in Scottsdale without the Charros.

City residents can say the Charros have "had our back" all these years. As a group of business and civic leaders in the city, we have their back and hope you do, too.

January 29, 2019

To whom it concerns,

We at DLC Resources, Inc. have had the opportunity to help support The Scottsdale Charros for over 10 years. The Charros is made up of a great group of people focused on raising millions of dollars for deserving local charities and public education.

DLC Resources appreciates the opportunity to continue to work with them and wish the best for an ongoing partnership between the Charros, the City of Scottsdale and the San Francisco Giants.

Let's keep up the good stuff!

Sincerely,



Jeff Penney  
Founder



Honorable Jim Lane &  
Council Members  
City of Scottsdale  
3939 N. Drinkwater Blvd.  
Scottsdale, AZ 85251

Dear Mayor and Council Members,

As the City Council considers the new San Francisco Giants contract, I believe it is important for everyone to realize the importance of the partnership with the Scottsdale Charros. They serve as ambassadors for Scottsdale and their name is synonymous with Spring Training. Their stewardship of the funds raised and the millions of dollars that go to local community non-profits has earned them a seat at the table. For those reasons, I recommend that the Scottsdale Charros continue to be a party to the baseball agreement.

Horsense is a youth program where children from Title I schools participate in an alternative after school program, which engages children in learning about respect, responsibility, and development of character. Without the Charros participation and support, thousands of underserved children would not have access to this life changing program.

Sincerely,

Joseph Rusin  
Director of Business Services



Health World Education Ltd.

1/29/19

Honorable Jim Lane &  
Council Member  
City of Scottsdale  
3939 N. Drinkwater Blvd.  
Scottsdale, AZ 85251

Dear Mayor and Council Members,

As you consider the new San Francisco Giants contract, I highly recommend that the Scottsdale Charros be a party to the agreement for all the support that they have given to local community non-profits.

Health World has been working with the Scottsdale Charros for over 18 years to help improve the health literacy of the children of the Scottsdale Community. Historically, most prevention education is reactive, focused on how to respond after something has already happened. Health world's curriculum is designed to empower children, at a young age, to be proactive with their health decisions.

Thanks to the Charros support of our initiatives, we have been able to reach over 150,000 students during this time.

The Charros partnership with the City of Scottsdale and the San Francisco Giants is a part of the fabric of the community and has resulted in millions of dollars in donations to hundreds of deserving local charities and public education.

Sincerely,

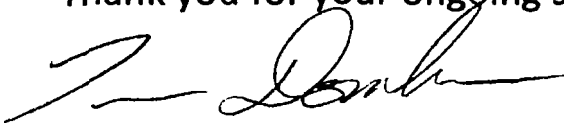
A handwritten signature in black ink, appearing to read "Peter Rusin". The signature is fluid and cursive, written over the printed name.

Peter Rusin  
Executive Director

To: Scottsdale City Council

I am writing you this letter as someone that was raised in Scottsdale and lived my whole life in Arizona. The Scottsdale Charros and spring training baseball goes hand in hand. We have a family business we have been running for 49 years and as a kid I remember seeing and hearing about the Charros and baseball. Well, all I can say is after talking to all the people I meet baseball, Scottsdale Stadium and the Charros always come up. The Charros and the City of Scottsdale have such a wonderful history and it is so important to keep this going. The contract with City, Giants and Charros is such a great deal for all; the public and charities greatly appreciate it. We need to make sure this relationship continues for decades to come. The Charros have worked with Major League teams over the years and this has led to millions of dollars being contributed to public education and charities. Each year gets larger and more special! The proposed renovations for Scottsdale Stadium are such a win/ win that I strongly encourage all efforts to be made to keep long term contracts with the City, Giants and Scottsdale Charros.

Thank you for your ongoing support,

A handwritten signature in black ink, appearing to read 'Tim Dombrowski', written in a cursive style.

Tim Dombrowski





January 29, 2019

Dear Mayor and City Councilmembers:

As a kid growing up in Scottsdale in the 1970's, the Scottsdale Charros were the gentleman cowboys you would see each year on horseback at the Parada. Always dressed to the hilt in their Western finery, you heard names like Herb Drinkwater, Paul Messinger, Don Ruff, Jim Bruner, and Art DeCabooteer, and you knew they were a big deal, and it had something to do with baseball.

Fast forward almost 50 years, and I am proud to not only know the Scottsdale Charros, but was extended the honor of becoming a member some years ago. Over time I held positions with the group including the Donations Committee Chair, The Charro Foundation President, and "Patron" or President of the Scottsdale Charros.

During the past ten years, I have watched our charitable giving double, our hands-on engagement in the community through SUSD, ASU, and numerous other organizations dramatically increase, all while being good stewards to the community through our leadership and support of necessary funding for our communities, and maintaining and even improving the unique 3-way relationship between the Giants, the City, and the Charros.

To put it plainly, the Charros have made a DIFFERENCE in the day to day lives of the citizens of Scottsdale and this Valley, because this is our home, and these are our businesses and livelihood. We share a common belief that it is our duty and moral responsibility to help provide resources for the underserved segments of society with a focus on youth, sports, and education, all while maintaining the unique Western heritage that makes Scottsdale an even more attractive place for visitors and residents alike.

So why is our relationship with the City and the Giants so important? The simple answer is that our ability to give the over \$16 million we have given to our community has been driven by our decades of hard work to attract, retain, support and enhance Spring Training baseball. One of my proudest moments of being a Charro was when during my year as Patron, we awarded the single largest grant ever in the amount of \$250,000, to the Museum of the West. We did this because we believe in the value of arts, education, and culture, and telling the story of an almost gone romantic era that made Scottsdale and the State of Arizona what it is. Would the museum have gotten off the ground without the push from the Charros? Did I mention the individual Charros, whose idea it was to begin with?

As community leaders, the Charros have proven their value to the enhancement of this community and its residents, and they are committed selflessly to that goal, as long as the last Charro still draws breath.

Sincerely,

Chris Watts  
President/CEO  
Sunstate Equipment

*People*  
**Rental Equipment you can depend on.**

Sunstate Equipment Co., LLC | 5552 E Washington St, Phoenix, AZ 85034  
Phone 602.275.2398 | Toll Free 800.229.2398 | SunstateEquip.com



February 1, 2019

Dear Leaders of Scottsdale,

Today I write to you as a partner in Scottsdale, a past and present beneficiary of the Scottsdale Charros charitable giving, as a past volunteer of the Charros, and as a concerned member of the Scottsdale community. I started my career in nonprofit at the Boys & Girls Clubs of Greater Scottsdale (BGCGS). And we partnered with the Charros on many initiatives, including going out to the games at Scottsdale Stadium. The Charros, as a result of game day sales, have raised millions of dollars, and those dollars were immediately poured back into the Scottsdale community. Over the years, the Charros certainly rewarded the boys and girls that attended the Clubs with better programming and better facilities.

I'm now the Development Director at Scottsdale Community College (SCC) and the Charros have been an integral part of our campus. So much so, that they in fact helped to bring about our very existence by lobbying for a community college in Scottsdale. Art DeCabooter, the "Head Artichoke" is a Charro-Lifer, and the scholarships that he/they brought to SCC for our students and athletes has absolutely positively impacted student lives here at SCC. The Scottsdale Charros generosity and passion for education can also be witnessed in their unwavering support of Scottsdale Unified School District (SUSD) and Business United for Scottsdale Schools. The Charros annually recognize great teachers from SUSD and SCC. This year, they also funded SCC student teachers who will be student teaching in SUSD classes. The Charros do everything they can to improve the lives of Scottsdale youth, and it through their efforts at Scottsdale Stadium with the Giants, and the City of Scottsdale, that these benefits can be continued.

I implore you to renew the relationship with the Charros. It is what is best for this city and all of the charities that they support. SCC Students are athletes, musicians, scholars, writers, nurses, teachers, entrepreneurs, doctors, etc... While their goals may differ, they do share a common dream. They dream that their education will lead to a rewarding career and a life that allows them to make a difference. The Scottsdale Charros generosity helps to makes their dreams a reality.

Sincerely,

Charles A. Silver, M.A.  
Development Director, Scottsdale Community College

Letter in Support

The **Scottsdale Charros** have hosted Spring Training baseball at Scottsdale Stadium since 1961. The Charros have sold tickets, worked concessions, sold programs and accommodated Spring Training fans for over 5 decades. The Charro's partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education. This three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships.

Currently, plans are being finalized to upgrade Scottsdale Stadium with tourism tax monies and contributions from our organization and the San Francisco Giants. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale.

These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. This contract extension will ensure that the successful Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, a long-term commitment by the Giants and funding for the essential work of the Scottsdale Charros.

Together, we want to impress upon you, our leaders of Scottsdale, the importance of the continued involvement of the Scottsdale Charros. The Charros have helped insure the success of Spring Training and have protected the community's interest for the past fifty-six years. The Charros have worked with five major league teams and have contributed millions of dollars to local charities and Scottsdale Unified Schools. The Scottsdale Charros are synonymous with Scottsdale Spring Training and their continued involvement is paramount to its continued success. In other words, the Charros help the city in a uniquely Scottsdale way with games and an approach that doesn't just help a sports franchise, but the community as a whole. The Charros and Scottsdale Stadium are a model for all of Major League Baseball and how to do spring training right.

Jeff Beardslay  
Jeff Beardslay  
1.30.19

9136 E. Mountain Spring Rd.  
Scottsdale, AZ 85255

Letter in Support

The **Scottsdale Charros** have hosted Spring Training baseball at Scottsdale Stadium since 1961. The Charros have sold tickets, worked concessions, sold programs and accommodated Spring Training fans for over 5 decades. The Charro's partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education. This three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships.

Currently, plans are being finalized to upgrade Scottsdale Stadium with tourism tax monies and contributions from our organization and the San Francisco Giants. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale.

These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. This contract extension will ensure that the successful Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, a long-term commitment by the Giants and funding for the essential work of the Scottsdale Charros.

Together, we want to impress upon you, our leaders of Scottsdale, the importance of the continued involvement of the Scottsdale Charros. The Charros have helped insure the success of Spring Training and have protected the community's interest for the past fifty-six years. The Charros have worked with five major league teams and have contributed millions of dollars to local charities and Scottsdale Unified Schools. The Scottsdale Charros are synonymous with Scottsdale Spring Training and their continued involvement is paramount to its continued success. In other words, the Charros help the city in a uniquely Scottsdale way with games and an approach that doesn't just help a sports franchise, but the community as a whole. The Charros and Scottsdale Stadium are a model for all of Major League Baseball and how to do spring training right.

    *Jaqueline Towers*    

    *Jaqueline Jones 1/30/19*    

    SILVERDALE REALTY    

    SCOTTSDALE, AZ 85255

Letter in Support

The **Scottsdale Charros** have hosted Spring Training baseball at Scottsdale Stadium since 1961. The Charros have sold tickets, worked concessions, sold programs and accommodated Spring Training fans for over 5 decades. The Charro's partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education. This three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships.

Currently, plans are being finalized to upgrade Scottsdale Stadium with tourism tax monies and contributions from our organization and the San Francisco Giants. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale.

These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. This contract extension will ensure that the successful Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, a long-term commitment by the Giants and funding for the essential work of the Scottsdale Charros.

Together, we want to impress upon you, our leaders of Scottsdale, the importance of the continued involvement of the Scottsdale Charros. The Charros have helped insure the success of Spring Training and have protected the community's interest for the past fifty-six years. The Charros have worked with five major league teams and have contributed millions of dollars to local charities and Scottsdale Unified Schools. The Scottsdale Charros are synonymous with Scottsdale Spring Training and their continued involvement is paramount to its continued success. In other words, the Charros help the city in a uniquely Scottsdale way with games and an approach that doesn't just help a sports franchise, but the community as a whole. The Charros and Scottsdale Stadium are a model for all of Major League Baseball and how to do spring training right.

Natalie Palmer

[Signature]

GAINY DANLEY

SCOTTSDALE, AZ 85258

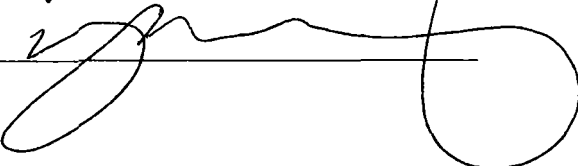
Letter in Support

The **Scottsdale Charros** have hosted Spring Training baseball at Scottsdale Stadium since 1961. The Charros have sold tickets, worked concessions, sold programs and accommodated Spring Training fans for over 5 decades. The Charro's partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education. This three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships.

Currently, plans are being finalized to upgrade Scottsdale Stadium with tourism tax monies and contributions from our organization and the San Francisco Giants. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale.

These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. This contract extension will ensure that the successful Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, a long-term commitment by the Giants and funding for the essential work of the Scottsdale Charros.

Together, we want to impress upon you, our leaders of Scottsdale, the importance of the continued involvement of the Scottsdale Charros. The Charros have helped insure the success of Spring Training and have protected the community's interest for the past fifty-six years. The Charros have worked with five major league teams and have contributed millions of dollars to local charities and Scottsdale Unified Schools. The Scottsdale Charros are synonymous with Scottsdale Spring Training and their continued involvement is paramount to its continued success. In other words, the Charros help the city in a uniquely Scottsdale way with games and an approach that doesn't just help a sports franchise, but the community as a whole. The Charros and Scottsdale Stadium are a model for all of Major League Baseball and how to do spring training right.

MIKE SWEENEY  


McCormick Darr  
Scottsdale, AZ 85258

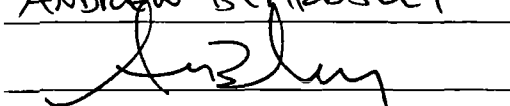
## Letter in Support

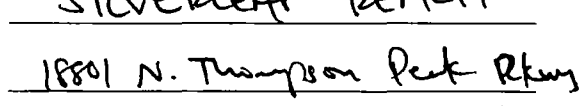
The **Scottsdale Charros** have hosted Spring Training baseball at Scottsdale Stadium since 1961. The Charros have sold tickets, worked concessions, sold programs and accommodated Spring Training fans for over 5 decades. The Charro's partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education. This three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships.

Currently, plans are being finalized to upgrade Scottsdale Stadium with tourism tax monies and contributions from our organization and the San Francisco Giants. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale.

These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. This contract extension will ensure that the successful Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, a long-term commitment by the Giants and funding for the essential work of the Scottsdale Charros.

Together, we want to impress upon you, our leaders of Scottsdale, the importance of the continued involvement of the Scottsdale Charros. The Charros have helped insure the success of Spring Training and have protected the community's interest for the past fifty-six years. The Charros have worked with five major league teams and have contributed millions of dollars to local charities and Scottsdale Unified Schools. The Scottsdale Charros are synonymous with Scottsdale Spring Training and their continued involvement is paramount to its continued success. In other words, the Charros help the city in a uniquely Scottsdale way with games and an approach that doesn't just help a sports franchise, but the community as a whole. The Charros and Scottsdale Stadium are a model for all of Major League Baseball and how to do spring training right.

ANDREW BEARDSLEY  
  
1.30.2019

SILVERLEAF REALTY  
  
18801 N. Thompson Peak Rd  
Scottsdale, AZ 85255

January 31, 2019

### Letter in Support

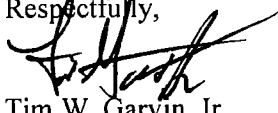
The **Scottsdale Charros** have hosted Spring Training baseball at Scottsdale Stadium since 1961. The Charros have sold tickets, worked concessions, sold programs and accommodated Spring Training fans for over 5 decades. The Charro's partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education. This three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships.

Currently, plans are being finalized to upgrade Scottsdale Stadium with tourism tax monies and contributions from our organization and the San Francisco Giants. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale.

These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. This contract extension will ensure that the successful Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, a long-term commitment by the Giants and funding for the essential work of the Scottsdale Charros.

Together, we want to impress upon you, our leaders of Scottsdale, the importance of the continued involvement of the Scottsdale Charros. The Charros have helped insure the success of Spring Training and have protected the community's interest for the past fifty-six years. The Charros have worked with five major league teams and have contributed millions of dollars to local charities and Scottsdale Unified Schools. The Scottsdale Charros are synonymous with Scottsdale Spring Training and their continued involvement is paramount to its continued success. In other words, the Charros help the city in a uniquely Scottsdale way with games and an approach that doesn't just help a sports franchise, but the community as a whole. The Charros and Scottsdale Stadium are a model for all of Major League Baseball and how to do spring training right.

Respectfully,



Tim W. Garvin, Jr.

Resident

8543 E Camelback Road  
Scottsdale, AZ 85251



**MARSHALL TRIMBLE**  
**OFFICIAL ARIZONA STATE HISTORIAN**  
Scottsdale Community College  
9000 E. Chaparral Rd.  
Scottsdale, AZ 85256  
Web: [www.marshalltrimble.com](http://www.marshalltrimble.com)  
[marshall.trimble@scottsdalecc.edu](mailto:marshall.trimble@scottsdalecc.edu)

February 1, 2019

**To: The Honorable Mayor, Jim Lane  
and members of the Scottsdale City Council**

**Subject: Support for Contract Extension for the Scottsdale Charros.**

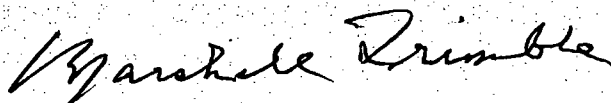
I understand the Scottsdale Charros are working on a contract extension with the City of Scottsdale and the San Francisco Giants. The Charros are the Crown Jewel of Scottsdale's civic organizations. They've hosted Cactus League Baseball since 1961 and during that time have given over sixteen million dollars in donations to local charities and public education.

Beginning in 2003 and each year through 2012, leading up to Arizona's 100<sup>th</sup> Birthday, the Arizona Culturekeepers, a Centennial program, recognized nine individuals and one group that preserved the rich history and culture of the state. In 2010 the Charros received this prestigious honor. They were among the 100 honorees.

As a native Arizonan, resident of Scottsdale and educator for more than fifty years, I have had many opportunities to get to know the members and witness the great work performed by these selfless and civic-minded individuals. I don't know of any other organization in the Valley that does as much for their community as our Charros.

I hope you will give this deserving group a contract extension so they can continue their charitable work for our deserving local charities and educational programs.

Yours respectfully,





1/29/2019

To Whom it May Concern:

The Scottsdale Charros have hosted Spring Training baseball at Scottsdale Stadium since 1961. The Charros have sold tickets, worked concessions, sold programs and accommodated Spring Training fans for over 5 decades. The Charro's partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education. This three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships. Currently, plans are being finalized to upgrade Scottsdale Stadium with tourism tax monies and contributions from our organization and the San Francisco Giants. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale.

These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. This contract extension will ensure that the successful Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, a long-term commitment by the Giants and funding for the essential work of the Scottsdale Charros.

Together, we want to impress upon you, our leaders of Scottsdale, the importance of the continued involvement of the Scottsdale Charros. The Charros have helped insure the success of Spring Training and have protected the community's interest for the past fifty-six years. The Charros have worked with five major league teams and have contributed millions of dollars to local charities and Scottsdale Unified Schools. The Scottsdale Charros are synonymous with Scottsdale Spring Training and their continued involvement is paramount to its continued success. In other words, the Charros help the city in a uniquely Scottsdale way with games and an approach that doesn't just help a sports franchise, but the community as a whole. The Charros and Scottsdale Stadium are a model for all of Major League Baseball and how to do spring training right.

Sincerely,

Brendon Sarracino  
Manager & Owner  
Sargon Masonry Construction  
Sargon Steel  
[brendon@sargonmc.com](mailto:brendon@sargonmc.com)

Mr. Mayor and Scottsdale City Council,

Parada del Sol Inc. supports in the extending the Charros agreement to present spring training and represent Scottsdale in the Cactus league. Spring training brings worldwide attention to Scottsdale and must be managed and marketed with true professionalism. The Charros have proven for almost 60 consecutive years that they raise the bar for fun, baseball and profitability every year. As an origination that manages a huge event in Scottsdale for over 6 decades we see firsthand what a huge task that is. The Charros are a volunteer organization that make a 16 million dollar impact in Scottsdale. Many city across the country wish that had a group like the Charros .The Charros have built a world class event and to change the agreement with The City Of Scottsdale should only be a longer agreement.

Parada del Sol

Dave Alford  
General Manager  
602-616-6901





**Mark Bramlett**  
Managing Director  
2555 East Camelback Road, Suite 400  
Phoenix, AZ 85016  
Main +1 602 954 9000  
Direct +1 602 224 4492  
mark.bramlett@cushwake.com  
cushmanwakefield.com

### Letter in Support

The **Scottsdale Charros** have hosted Spring Training baseball at Scottsdale Stadium since 1961. The Charros have sold tickets, worked concessions, sold programs and accommodated Spring Training fans for over 5 decades. The Charro's partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education. This three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships.

Currently, plans are being finalized to upgrade Scottsdale Stadium with tourism tax monies and contributions from our organization and the San Francisco Giants. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale.

These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. This contract extension will ensure that the successful Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, a long-term commitment by the Giants and funding for the essential work of the Scottsdale Charros.

Together, we want to impress upon you, our leaders of Scottsdale, the importance of the continued involvement of the Scottsdale Charros. The Charros have helped insure the success of Spring Training and have protected the community's interest for the past fifty-six years. The Charros have worked with five major league teams and have contributed millions of dollars to local charities and Scottsdale Unified Schools. The Scottsdale Charros are synonymous with Scottsdale Spring Training and their continued involvement is paramount to its continued success. In other words, the Charros help the city in a uniquely Scottsdale way with games and an approach that doesn't just help a sports franchise, but the community as a whole. The Charros and Scottsdale Stadium are a model for all of Major League Baseball and how to do spring training right.

Sincerely,

A handwritten signature in black ink, appearing to read "Mark Bramlett", with a long horizontal flourish extending to the right.

Mark Bramlett  
Managing Director

## LETTER OF SUPPORT

### **The Scottsdale Charros and Spring Training**

The Scottsdale Charros are a uniquely critical component to the City of Scottsdale, supporting the City in a multitude of areas with our philanthropic efforts. These efforts drive revenue to local businesses, direct millions of dollars in charitable funds, provide key educational support to allow our school district to thrive, and a general awareness to all the greatness the City has to offer. With the formation of the organization in 1961, it goes without saying that we have deep roots in the community and have had ample time to scale and continuously improve how we provide the most efficient and effective support, while always thinking of additional and new ways to help those around us.

As a selective group of local business leaders and professionals from various industries, we are uniquely armed to cast a large net of influence to reach our audience, thus maximizing our charitable efforts to support the City of Scottsdale.

Scottsdale Spring Training is our primary fundraising arm, and we are passionate about our relationship and support of this great event. We have hosted spring training since our inception in 1961 and it is part of our fabric and who we are. The Charros partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education. The three-way contract with the City, Giants and Charros has been very successful and a model for public, private and non-profit partnerships. We are proud of this arrangement and feel it can be a model for other professional sports franchises to maximize their relationship with cities that support them.

Currently there are plans to renovate Scottsdale Stadium with tourism tax dollars and contributions from the Charros and the Giants. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact in Downtown Scottsdale. These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. The Charros need the support of the Scottsdale community to ensure that the work of the Charros continues for decades to come.

As we move forward, the Scottsdale Charros will hold up our commitment to the City to support in any way possible. We want to be the continued, indispensable resource for sustaining and improving the special quality of life in Scottsdale.

We are grateful for your support and partnership to continue to work together to accomplish great things. This is a commitment that we do not take lightly.

Sincerely,

Stuart M. Crawford  
Scottsdale Charros – Active Member

## **Letter in Support – The Scottsdale Charros**

We are a local business that supports the Scottsdale Charros. Our organization is very selective in who we partner with, and we feel very strongly about this group and what they represent.

The Charros are a unique group of genuine business leaders and influencers that have the ability to truly support and enhance the City of Scottsdale, which is where our company was founded and currently headquartered.

Their involvement with Spring Training is why we participate in this event each year, as they do a fantastic job of promoting their purpose for supporting this event, and they deliver an amazing customer service experience for our folks who attend the coveted Charro Lodge in outfield. The Charros have created an atmosphere at these games that is a perfect opportunity to catch up with friends, enjoy quality time with colleagues, and network with like-minded professionals.

There is no question that the Charros bring another level of entertainment to the stadium that could not be duplicated without their involvement.

They have hosted Spring Training baseball at Scottsdale Stadium since 1961. The Charros have sold tickets, worked concessions, sold programs and accommodated Spring Training fans for over 5 decades. The Charro's partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education.

Currently, plans are being finalized to upgrade Scottsdale Stadium with tourism tax monies and contributions from our organization and the San Francisco Giants. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale.

We fully support The Scottsdale Charros and ask that you do as well. As local leaders, we must work together to ensure we allow these unique organizations to utilize their full resources and capabilities to support us and continue to make the City of Scottsdale one of the greatest places to live, work, and visit.

Sincerely,

Executive Team  
V.I.P. Mortgage, Inc.  
9221 E. Via De Ventura  
Scottsdale, AZ 85258



February 4, 2019

Mayor Jim Lane  
3939 N. Drinkwater Blvd.  
Scottsdale, AZ 85251

Dear Mayor Lane,

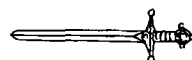
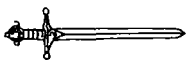
On behalf of myself, Camelot's executive director, my students, volunteers, and their families, I am writing this letter to you and the Council to express my strong support of the continued partnership between the Scottsdale Charros, the City of Scottsdale, and the San Francisco Giants. When I think of baseball and spring training I immediately think of the Scottsdale Charros. They go hand in hand. This tradition dates back to the early 60's and spring training just would not be the same without this partnership.

The impact the Charros has had on the City of Scottsdale's local charities through their fundraising efforts is immeasurable. The dedication they have shown for the betterment of others is to be applauded and supported. Because of the tremendous success this partnership has seen over the last 50+ years proves this model is working. And it is the City of Scottsdale and her residents that benefit the most.

Please look favorably on ensuring the continued partnership between these great organizations!

Most Sincerely Yours,

Mary Hadsall  
Executive Director



*Sam Kathryn Campana*

February 4, 2019

Dear Honorable Members of the Scottsdale City Council, City Manager;

You all have a difficult job balancing the many needs of The West's Most Western Town and a Most Livable City. I hope this decision makes enormous economic sense to you – given the tourism it provides the city and the importance of that industry that subsidizes all our lifestyles in Scottsdale. This decision is an investment in the health of our community – thanks to the generosity and strategic planning of the **The Scottsdale Charros**.

They have hosted Spring Training baseball at our beloved Scottsdale Stadium since 1961. The Charros have sold tickets and advertising, worked concessions, hawked programs and accommodated Spring Training fans from all over the world for over 5 decades. The Charro's partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education. This three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships. Plus, our own citizens can afford an afternoon in the sun with visitors, family, or just lazing on the green grass with the best view of the McDowell Mountains south of Shea!

As you know, plans are now being finalized to upgrade Scottsdale Stadium with tourism tax monies and contributions from our organization and the San Francisco Giants. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale.

These stadium renovations will require a contract extension between the City of Scottsdale, the Giants and the Charros. This contract extension will ensure that the successful Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, a long-term commitment by the Giants and funding for the essential work of the Charros.

Together, we want to impress upon you, our elected leaders of Scottsdale, the importance of the continued involvement of the Scottsdale Charros. The Charros have helped insure the success of Spring Training and have protected the community's interest for the past fifty-six years. The Charros have worked with five major league teams and have contributed millions of dollars to local charities and Scottsdale Unified Schools. The Scottsdale Charros are synonymous with Scottsdale Spring Training and their continued involvement is paramount to its continued success. In other words, the Charros help the city in a uniquely Scottsdale way with games and an approach that doesn't just help a sports franchise, but the community as a whole. The Charros and Scottsdale Stadium are a model for all of Major League Baseball and how to do spring training right.

I urge you to support the community, our non-profits, the tourism industry, and local fans in this unique and valued partnership. Thank you.

*Sam Campana*

*7801 East San Miguel Avenue Scottsdale, AZ 85250 602 390 3452*





**Arizona  
Helping  
Hands**

*Bringing Hope to Children in Foster Care*

3110 E Thunderbird Road, Suite 100  
Phoenix, Arizona 85032  
PH: 480.889.0604  
[www.AzHelpingHands.org](http://www.AzHelpingHands.org)

February 5, 2019

Mayor Jim Lane  
3939 N Drinkwater Blvd  
Scottsdale, AZ 85251

RE: Scottsdale Charros contract extension

Dear Mayor Lane:

This letter is to request support from you and your fellow City of Scottsdale leadership for the proposed spring training contract extension between the Charros, the City of Scottsdale and the San Francisco Giants. This amazing partnership has made a huge difference for charities serving Scottsdale's most vulnerable populations, including Arizona Helping Hands work providing basic essential needs for children in foster care.

As a recipient of funding from the Scottsdale Charros over multiple years, I know first-hand that this partnership has made a difference in the lives of children in need. The Charros have raised more than \$16million over the past 56 years which has been donated to deserving local charities. All of which is only possible due to their dedicated work selling tickets and programs and staffing concessions. The contract extension would ensure that this Spring Training partnership will continue to make a difference in so many lives.

We strongly encourage support of the contract extension. The stadium renovations will serve to enhance the fan experience, while the work of the Charros will continue to make our local community stronger.

I am proud to sing the praises of the Charros and I appeal to City government to approve this 35 year contract extension.

Very truly yours,  
ARIZONA HELPING HANDS

Dan Shufelt  
President & CEO

## Scottsdale Charros and Spring Training

Mayor and City Council:

It has been my honor and privilege to be a Scottsdale Charro for over 28 years and to have served this City on various Boards and Commissions for over 25 years. As you know, the Charros have hosted Spring Training since 1961 and have sold tickets, worked concessions, sold programs, and accommodated Spring Training fans for over 5 decades. Working with the City, the Charros have donated over \$16 million to support educational initiatives and scholarships, and made donations to hundreds of deserving local charities. The three way Agreement between the Giants, Charros and the City has been extraordinarily successful and is a model for public, private and non-profit partnerships.

Currently, plans are being finalized to upgrade Scottsdale Stadium and these renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale. Speaking as a citizen, the tri-party agreement has been a significant contributor to our tourism industry and the economic impact has and will continue to be robust, and the planned improvements will provide for additional opportunities (throughout the year) to better utilize this important asset of our community.

The stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. The current contract, and the new contract being negotiated, will continue to provide a tremendous economic benefit to our City; we will also obtain a long-term commitment by the Giants to continue their Spring Training activities in Scottsdale; and the Agreement will continue to provide funding for the essential work of the Charros.

The Charros have been synonymous with Spring Training, but we are also highly regarded for the significant work we have done in our community to make it a great place to live, work and play. There are few places in the country where a group like the Charros have been so successful in working with their City leaders to improve our community with donations and educational initiatives for those in need. This three-way partnership is a model for any community, and I am so pleased that this City's leadership has both understood and supported this model for several decades. Clearly, it is a model that is working and we need to continue to work together in the future. I am confident that as our City leaders, you will study the design, cost and economic benefits of the proposed stadium renovations, and act accordingly. I strongly urge you to support the tri-party Agreement, and extend the excellent partnership between the Giants, the Charros and our City.

Thank you for all that you do for our citizens.

Sincerely,

Kenneth R Harder

26360 N 82nd Street

Scottsdale, Az 85255



## Letter of Support -Scottsdale Charros and Spring Training

To whom it may concern,

February 5<sup>th</sup>, 2019

This letter is in support of the Scottsdale Charros and their partnership hosting Spring Training baseball at Scottsdale Stadium. The Charros have sold tickets, worked concessions, sold programs and accommodated Spring Training fans since 1961. This partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to deserving local charities and public education. The Miracle League of Arizona is one of those hundreds of charities that the Scottsdale Charros support, giving individuals with special needs the opportunity to get out and play baseball as well. With the help of funding from the Charros, we have built a facility and program specifically designed for our families with special needs. We've grown from 30 baseball players to 300, and best of all we offer it all free of cost regardless of any mental, physical, or health limitations. We would not be where we are today without the incredibly generous support of the Scottsdale Charros.

We are aware that plans are currently being finalized to upgrade the Scottsdale Stadium, using tourism tax dollars and contributions from both the Charros and the Giants. These renovations are to further enhance the fan experience, expand multi-purpose capabilities of the stadium and improve the economic impact in Downtown Scottsdale. These stadium renovations require a contract extension between Scottsdale, the Giants, and the Charros. The extension of this contract will help ensure that the successful Spring Training partnership will continue to provide significant economic benefit to Scottsdale, a long-term commitment by the Giants, and continued funding for the essential work of the Scottsdale Charros.

Our goal is to impress upon you the importance of the continued involvement of the Scottsdale Charros with Spring Training Baseball at Scottsdale Stadium. As just one of the many charities positively impacted by the Scottsdale Charros, we hope that their positive work in the community will continue for decades to come. Millions of dollars have been contributed to local charities and Scottsdale Unified Schools, and the Charros have successfully worked together with 5 major league teams.

Not only are the Scottsdale Charros synonymous with Spring Training, but this partnership also makes the Miracle League of Arizona a harmonious fit as a receiving charity. The Charros have set a standard for impacting not only Spring Training Baseball, but the community as a whole in Scottsdale. The Charros and Scottsdale Stadium are a model for all Major League Baseball and how to do spring training right. This unique partnership is paramount to the continued success of Scottsdale Stadium and the Scottsdale Charros.

Thank you for your time and consideration.

Cassandra Switalski -Miracle League of Arizona, Executive Director

MIRACLE LEAGUE OF ARIZONA  
11130 EAST CHOLLA STREET, SCOTTSDALE, AZ 85259  
[WWW.MLAZ.ORG](http://WWW.MLAZ.ORG) (480) 686-8137

**RICHARD V. CAMPANA, PLC**  
ATTORNEY AT LAW

10801 E. Happy Valley Road #85  
Scottsdale, AZ 85255  
rcampana@scottslaw.com

Phone: 480-860-8274  
Cell: 602-320-3410  
Facsimile: 480-840-1236

---

---

February 6, 2019

City of Scottsdale  
Honorable Mayor W.J. "Jim" Lane  
City Council Members  
    Suzanne Klapp  
    Virginia Korte  
    Kathy Littlefield  
    Linda Milhaven  
    Guy Phillips  
    Solange Whitehead  
3939 North Drinkwater Boulevard  
Scottsdale, Arizona 85251

Re:     **Renewal of Three-Way Contract with the City of Scottsdale, the San Francisco Giants and the Scottsdale Charros**

Dear Mr. Mayor and Members of the City Council:

As a former member of the City Council from 1970 to 1980 and a lifelong member of the Scottsdale Charros since 1970, I am intimately familiar with the history and contributions of the Scottsdale Charros and the City of Scottsdale in regards to Spring Training, which is a major part of our tourism effort in the spring.

I wholeheartedly endorse and support the continued cooperation of the City of Scottsdale and the Scottsdale Charros in their relationship with the San Francisco Giants and baseball. This has been a mutually beneficial arrangement which serves as a model for other cities to emulate. The Scottsdale Charros have done an outstanding job over the past 56 years in urging the best interests of the City of Scottsdale. The Charros' partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education.

This three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships.

I strongly urge its renewal.

Sincerely yours,

RICHARD V. CAMPANA, PLC



Richard V. Campana

RVC/pmc

---

---

To: The Honorable Jim Lane and Members of the City Council

From: The Rev. Phil Carlson, Grande Charro

Date: February 6, 2019

I know that many have shared with you the details of the history of the successful three-way contract between the City, the Giants, and the Charros. It is indeed a model many communities would like to emulate.

I know that you are aware of the resulting significant and irreplaceable contributions to Scottsdale charities and public education made possible by the contract.

Not wanting to be repetitive, I simply and respectfully ask that you continue this relationship.

Thank you.

# New Pathways for Youth

February 5<sup>th</sup> 2019,

RE: Letter of Support- Scottsdale Charros

To Whom it May Concern:

New Pathways for Youth, a local Phoenix non-profit providing intentional, evidence-based programming for the most at-risk youth in our community is grateful for the support and partnership we have with Scottsdale Charros. Scottsdale Charros, like New Pathways for Youth, has been a staple in our community for many years. In fact, The Charros have sold tickets, worked concessions, sold programs and accommodated Spring Training fans for over 5 decades. The Charro's partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities including New Pathways for Youth and public education. This three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships.

Currently there are plans to renovate Scottsdale Stadium with tourism tax dollars and contributions from the Charros and the Giants. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact in Downtown Scottsdale. These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. The Charros need the support of the Scottsdale community to ensure that the work of the Charros continues for decades to come, which is why I am writing you. The Charros have worked with five major league teams and have contributed millions of dollars to local charities and public education. The Scottsdale Charros are synonymous with Spring Training and the Charros continued involvement is paramount to its continued success.

In summary, The Charros and Scottsdale Stadium are a model for all of Major League Baseball and how to do Spring Training right. As a current partner, we hope you extend the Scottsdale Charros contract.

Sincerely,



Marlo Apple  
Corporation and Foundation Grants Manager  
New Pathways for Youth

February 6, 2019

Honorable Mayor Lane and City Councilmembers

My wife and I have proudly serviced the City of Scottsdale as volunteers in various capacities for over 50 years. We have always felt a sense of pride in announcing that we are "citizens of Scottsdale" to friends and associates across the United States. Through our association with the Boys and Girls Club, Honor Health, Scottsdale Area Chamber or most recently as Chairman of the NOAH Board. The one organization that has bound us together for 40 years is our association with the Scottsdale Charros. Through their charitable contributions the Charros have solidified our "community" both economically and socially for 1,000's of individuals and organizations. All with the goal of making a Scottsdale a "most livable city".

On behalf of all of our current and future citizens we ask that you continue the "partnership community model" for spring training baseball that has made Scottsdale a wonderful community in which to live, work and play.

Sherry/Tim Bray

11181 East Turnberry Road



H U N K A P I

12051 N 96th Street • Scottsdale, AZ 85260 • 480-393-0870

6 February 2019

Mayor and City Council

City of Scottsdale

3939 Drinkwater Boulevard

Scottsdale, Arizona 85051

Dear Mayor Lane and Council Members:

Is it possible to think about Spring Training in Scottsdale without simultaneously conjuring an image of the most remarkable civic group in existence, the Charros? Of course not!

For nearly six decades, the three-way agreement involving the City, the Giants and the Charros has been the absolute model for a successful and mutually-beneficial partnership. Of course, the largest community beneficiary of the Charros' ongoing support has been our local schools. But they are certainly not alone in enjoying the extraordinary benefits of the work of the Charros.

This past year, Hunkapi has received funding through the Charros to commence a horse riding, quality of life experience for ALS patients, in conjunction with Mayo Scottsdale. Many other community and civic organizations similarly benefit through the largess and active support of the Charros and their members.

These are, quite simply, terrific people who do outstanding work and offer tremendous service on behalf of children in Scottsdale. We understand their arrangement is now up for a 35-year extension. Our only question: why only 35 years? This is the closest thing we've seen to a "no-brainer" and we urge the active and full support of the Mayor and City Council to insure there are at least 35 more years ahead for all this great work to continue and even expand.

Should you have any questions or require further information, please do not hesitate to contact me. Many thanks for your attention and consideration.

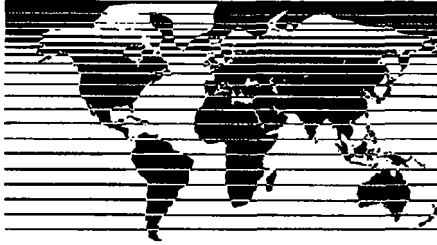
Sincerely,

Terra Schaad, MC

Executive Director

cc: Dennis Robbins, Scottsdale Charros





## **EXPOSURES TO EXCELLENCE**

**February 7, 2019**

**Mayor W. J. "Jim" Lane**

**Vice Mayor Suzanne Klapp**

**Council Members: Kathy Littlefield, Virginia Korte, Linda Milhaven, Guy Phillips,  
Solange Whitehead**

Dear Mayor Lane, Vice Mayor Klapp and Councilmembers

Having worked and volunteered in the City of Scottsdale for over 35 years I value the important contributions the Charros have made to our community.

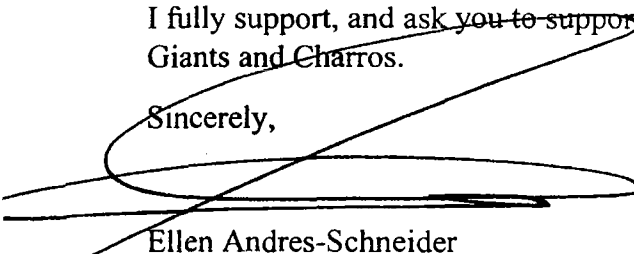
As plans move forward to renovate Scottsdale Stadium with tourism tax dollars and contributions from the Charros and the Giants it will require a contract extension between Scottsdale, the Giants and the Charros. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact in Downtown Scottsdale.

As past chair of the Scottsdale Arts Board of Trustees I was able to experience the positive impact and support the Charros provided regarding arts education and other valuable programs. Also there was significant synergy created between events at the stadium and our arts organization.

I continue to serve on the Scottsdale Area Chamber of Commerce Board of Directors and other Valley organizations.

I fully support, and ask you to support the continuation of the three-way contract with the City, Giants and Charros.

Sincerely,

  
Ellen Andres-Schneider  
Vice President  
Exposures to Excellence  
480-353-1171  
xcellen@aol.com

## Dennis Robbins

---

**From:** Bill Heckman <bilhec0146@gmail.com>  
**Sent:** Wednesday, February 06, 2019 4:23 PM  
**To:** citycouncil@scottsdaleaz.gov  
**Subject:** Charros Spring Training

Dear Mayor and Council

If there is anyone deserving of the new Spring Training Contract extension between the Giants and the City of Scottsdale, it is to continue with the Scottsdale Charros who have raised over \$16 million for hundreds of local charities since 1961.

With planned stadium expansion, having the expertise of the Charros management of this contract in the past makes them by far, the most qualified candidate for the future.

The Charros record of success speaks for itself and represents a true example of a private/public partnership that has produced incredible results and return for our entire community.

Please vote to continue allowing the Charros to be synonymous with the best of Spring Training for decades to come.

Sincerely,

Bill Heckman  
602.432.2400  
bilhec0146@gmail.com



February 6, 2019

The Honorable W. Jim Lane and Members of the Scottsdale City Council  
City of Scottsdale  
3939 N. Drinkwater Blvd.  
Scottsdale, AZ 85251

**Re: Scottsdale Stadium**

Dear Mayor Lane and Members of the City Council:

It is hard to imagine the City of Scottsdale without Cactus League baseball and it is even harder to imagine Scottsdale baseball without the Scottsdale Charros. The financial and charitable legacy of the Charros is second to none.

Although Scottsdale is blessed to have numerous public, private and non-profit enterprises that contribute to the City's desirability, both to its citizens and its visitors, few can point to a nearly 60-year history of service. Since 1961, the Charros have sold tickets, hot dogs and programs to children and adults alike, and children that have grown into adults and now bring their own children... and grandchildren! If smiles were currency, the Charros would have made Scottsdale the West's Most Wealthy Town!

Anyone that has owned a house in our Arizona desert knows that the price of perpetual sunshine is perpetual maintenance. And so it is with public facilities. If judged solely on its financial merits, the proposed stadium renovation and contract extension is a smart move for the City. When tourism development, civic pride, charitable giving, and, yes, smiles are included, the three-way agreement with the City, the Giants, and the Charros is an embarrassment of riches.

Like many Arizonans that call the Valley home, my Scottsdale experience began as a visitor from a thousand miles away who started rethinking his future on a pleasant, sunny afternoon at Scottsdale Stadium. A unanimous vote to refresh the stadium and affirm the City's relationship with the Giants and the Charros will ensure that Scottsdale delivers the best fan experience in Spring Training and, by doing so, welcomes and attracts new people to bring their talent and treasure to Scottsdale!

Sincerely,

A handwritten signature in black ink, appearing to read "Geoff Beer", written in a cursive style.

Geoff Beer  
Managing Director  
Centricity Real Estate, LLC

January 8, 2019

Mayor Lane and Scottsdale City Council  
Scottsdale City Hall  
3939 N. Drinkwater Blvd.  
Scottsdale, AZ 85251

Dear Mayor Lane and Scottsdale City Council,

As a long-time Scottsdale businessman, I'm always eager to help make our community one of the greatest places in Arizona. There's no question that Scottsdale is a unique and attractive environment for tourists and businesses alike. Over the years, I've seen numerous improvements to our community that draw thousands of tourists to visit each year. Scottsdale Stadium is a part of that success story.

That is why we are writing to voice our support for the Scottsdale Charros and encourage you to continue their active involvement with Scottsdale Stadium.

Hosting spring training baseball at Scottsdale Stadium since 1962, the Charros have been synonymous with spring training and their continued involvement is paramount to its continued success. Each year, the Charros contribute over \$1 million to local charities including public education and community programs. Its volunteers and dedication to the community are the reasons spring training in Scottsdale is so special and impactful.

Scottsdale Stadium is the only spring training ballpark in the Valley to provide the unique appeal of watching a game and be within walking distance of restaurants, clubs, galleries and bars to enjoy. The result is an atmosphere and attendance like few others in Major League Baseball. Extending the contract between Scottsdale, the Giants and the Charros will continue to provide tremendous economic benefits to Scottsdale and continue funding for essential Charros' beneficiaries.

For these reasons, we want to impress upon you the importance of the continued involvement of the Scottsdale Charros in spring training. The Charros help the city in a uniquely Scottsdale way with an approach that helps not just sports, but the community as a whole.

Sincerely,

Jim Brower  
The Coach House

CC Jim Thompson, City Manager  
Bill Murphy, Community Services Executive Director

January 9, 2019

Mayor Lane and Scottsdale City Council  
Scottsdale City Hall  
3939 N Drinkwater Blvd.  
Scottsdale, AZ 85251

Dear Mayor and Council,

Over the years the City Council has maintained a strong dedication to providing essential resources to its community and residents. We commend you for the actions you have taken to improve the City of Scottsdale. But with recent failed bond efforts, the City of Scottsdale lacks critical funding to advance these programs.

In order to meet the needs of citizens for public safety, parks, roads, community programs and quality of life measures Scottsdale, we need to continue supporting efforts and organizations that provide significant economic impact to our communities. That is why we continue to support the Scottsdale Charros and their involvement in Scottsdale Stadium.

Currently, plans are being finalized to renovate Scottsdale Stadium with tourism tax dollars that will enhance the fan experience and improve economic impact to benefit Scottsdale as a whole. These renovations would require a contract extension for the Charros. Since 1962, the Charros have protected the community's best interest and provide much economic impact to Scottsdale. Indeed, the successful three-way agreement between the City of Scottsdale, the Giants and the Charros has contributed over \$16 million in donations to local charities and education.

For these reasons, we want to encourage you to extend the Charros' contract with the City and the San Francisco Giants to continue making Scottsdale the special place it is today.

Sincerely,

Sasha Weller  
President  
Scottsdale Firefighter's Association

CC Jim Thompson, City Manager  
Bill Murphy, Community Services Executive Director



February 7, 2018

Mayor W.J. Lane  
and the Scottsdale City Council  
3939 N. Drinkwater Blvd.  
Scottsdale, AZ 85251

Dear Mayor Lane and Council Members,

I am writing in support of the Scottsdale Charros request for a 35 year contract extension with the City of Scottsdale and the San Francisco Giants for Spring Training. Since 2014, the Charros have supported Ryan House's mission to embrace all children and their families as they navigate life-limiting and end-of-life journeys through: respite care to offer families a reprieve from the 24/7 care needs; palliative care to improve the child's quality of life, minimize suffering, optimize function and provide opportunities for personal growth; and end-of-life care to offer families a sanctuary of support consistent with clinical, cultural, and ethical standards.

We could not provide the services we do without the help of our community partners. The Charros partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of local charities and public education. The money we have received as part of those donations is critical to providing support to patients and families as they go through the unimaginable. Each year, this funding provides 300 life-enhancing therapeutic activities for medically-fragile children with life-threatening or terminal illnesses and their siblings, and recently has also funded our Prom, hosted in partnership with Ability 360 Sports & Fitness Center.

The Charros have a very successful model for public, private and non-profit partnerships and we want to assure that the work of the Charros continues for decades to come. The lives of our children and families, and our larger community, are enriched by the involvement of the Charros.

Sincerely,

A handwritten signature in black ink, appearing to read "Tracy Leonard-Warner".

Tracy Leonard-Warner, MHI, MT-BC  
Executive Director



**BOYS & GIRLS CLUBS**  
OF GREATER SCOTTSDALE

February 6, 2019  
City of Scottsdale  
3939 N Drinkwater Blvd.  
Scottsdale, AZ 85251

Support Services  
10533 East Lakeview Drive  
Scottsdale, Arizona 85258  
Tel 480-344-5520  
Fax 480-634-8545  
www.bgcs.org

To Whom It May Concern:

I would like to express my personal support, as well as in the name of my organization, to the Scottsdale Charros in regards to their current negotiations of a 35-year contract extension with the City of Scottsdale and the San Francisco Giants for Spring Training.

Officers  
Mark Bosco  
*Chairperson*

Mark Letendre  
*Foundation Chairperson*

The Scottsdale Charros are a pillar of our Scottsdale community and a vital part of Spring Training. For the past fifty-six years, Scottsdale Charros have committed to serving and supporting nonprofit organizations having an amazing impact in our community. They have committed to serving and supporting organizations, such as Boys & Girls Clubs of Greater Scottsdale, helping us make the difference in the lives of our kids. The Charros raise and donate over a million dollars a year to local charities and they provide grants and scholarships to local public schools.

Clark Peterson  
*Vice Chairperson*

The Scottsdale Charros have hosted Spring Training baseball at Scottsdale Stadium since 1961. Thanks to their partnership with the City of Scottsdale and the San Francisco Giants, the Charros have been able to donate \$16 million to hundreds of deserving local charities and public education throughout the years.

Janet Caldarelli  
*Vice Chairperson*

Tina Duffy  
*Vice Chairperson*

Currently, plans are being finalized to upgrade Scottsdale Stadium. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale. These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. This will ensure that the successful Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, and funding for the essential work of the Scottsdale Charros.

Todd Jones  
*Treasurer*

David Cohen  
*Secretary*

President/CEO  
Robyn Julien

The Charros impact is invaluable and helps the City of Scottsdale, as well as many charitable organizations that serve our entire community.



Sincerely,

  
Robyn Julien  
President & CEO

Board of Governors  
Linda Baer  
Michael Baer  
Paul Baker  
Rick Baker  
Steven Beeghley  
Lisa Bentley  
Jane Blacker  
Barry Chasse

Kevin Draper  
Dr. Bertram Feingold  
Danielle Ford  
Donn Frye  
Frank Gorman  
Marianne Guenther  
Mark Hiegel  
Nick Kolesar  
Daniel Krause

William Lichtsinn  
Tom Lombardi  
Jeff Marshall  
Luke Mattila  
Deven Mohnsam  
RJ Muller  
Elaina Osife  
Kelly Patton  
Traci Poulsen

Stacey Richman  
Jim Riggs  
Michael Roland  
Bruce Samuels  
Robert Schreyer  
Marc Schultz  
Carol Sheehan-Mathis  
Peter Stesiak  
Samuel Swainhart

Allen Thompson  
Daniel Thompson  
David Tibbetts  
Jeff VanDrie  
Robert Winter



February 5, 2019

Mayor and City Council  
3939 N. Drinkwater Blvd.,  
Scottsdale, AZ 85251

Dear Mayor Lane and City Council of Scottsdale,

Special Olympics Arizona offers this letter of support for the contract extension of the Scottsdale Charros, City of Scottsdale and the San Francisco Giants for Spring Training.

The Scottsdale Charros have hosted Spring Training baseball at Scottsdale Stadium since 1961. The Charros have sold tickets, worked concessions, sold programs and accommodated Spring Training fans for over 5 decades. The Charro's partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education. This three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships.

Currently, plans are being finalized to upgrade Scottsdale Stadium with tourism tax monies and contributions from the Scottsdale Charros and the San Francisco Giants. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale.

These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. This contract extension will ensure that the successful Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, a long-term commitment by the Giants and funding for the essential work of the Scottsdale Charros.

We offer this letter of support to extend the partnership contract so the Scottsdale Charros can continue their support of Spring Training, the City of Scottsdale, Scottsdale Stadium and the San Francisco Giants.

Sincerely,

Chastity Fermoile  
Chief Development Director  
Special Olympics Arizona





# Caretaker

Landscape and Tree Management

The City of Scottsdale and the Scottsdale Charros  
are spring training baseball in Scottsdale

To whom it may concern:

The City of Scottsdale and the Scottsdale Charros have partnered together for spring training for almost 60 years. The two entities have been intertwined since the Chamber of Commerce created the Scottsdale Baseball Club. The Charros have held many different positions of leadership in the City, the Chamber and in many other facets of the Scottsdale community. They have raised and donated tens of millions of dollars back to the SUSD, charities, teachers and students through their relationship with spring training. The Charros have sold tickets, sold programs, sold banners and other advertising, they've worked concessions, and accommodated Spring Training fans for over 5 decades. The Charro's partnership with the City of Scottsdale has resulted in wonderfully positive results for numerous Scottsdale residents, teachers and Scottsdale charities. Aside from the specific donation and grant recipients, no one benefits more that the City of Scottsdale as a whole. This partnership has been extraordinarily successful and is a model for public, private and non-profit partnerships.

I thank you for your time and I can be reached at 602-703-377 with any comments or questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'Matthew D. White'. The signature is fluid and cursive, with a large initial 'M' and 'W'.

Matthew D. White, MBA, CDLP  
CEO, Owner, Caretaker Landscape and Tree Management  
Owner, Transcend Security Solutions  
Owner, HFR Technical

From the Desk Of Jim Brouhard

February 8, 2019

To: City of Scottsdale  
Mayor and Council Members

Re: Spring Training and the Scottsdale Charros

Dear Mayor and Council Members.

The Scottsdale Charros have been an integral force behind the success of major league baseball spring training in Scottsdale for over 50 Years. We now have the opportunity to continue Scottsdale's hugely successful relationship with the San Francisco Giants for the next 35 years. As a former President of the Scottsdale Boys and Girls Club, I have first hand knowledge of the vital help and support the Charros provide to the local community. Support, that at times, was critical to our Club's mission.

The success the City has enjoyed from its partnership with Major League Baseball would not have been possible without the huge investment of time and effort on the part of the Scottsdale Charros over the years.

We urge your support of their continued mission.

Respectfully yours,

Jim and Edie Brouhard

## **Dennis Robbins**

---

**From:** Kevin Maxwell <kevin.d.maxwell@gmail.com>  
**Sent:** Friday, February 08, 2019 1:51 PM  
**To:** jlane@scottsdaleaz.gov  
**Subject:** Support for Charros and Scottsdale Stadium renovations

Honorable Mayor Lane,

I am certain you all are aware that since 1961 The Scottsdale Charros have hosted Spring Training at Scottsdale Stadium. The Charros management of Scottsdale Stadium is a blueprint for all professional sports leagues on how to maximize preseason sports venues. The Charros relationship with the city and the San Francisco Giants have yielded nearly 16 million in contributions to a number of deserving local charities mainly focusing on education and children services. To facilitate growth necessary renovations will be required. These renovations will be funded by a combination of tourism tax dollars and contributions by both the Charros and Giants. These upgrades to facilities will bring new multi-use capabilities to Scottsdale Stadium which in turn will result in new revenue streams and greater access to the community through new uses for the stadium. The fan experience will also be enhanced to keep pace with other valley facilities. These plans for renovations will require an extension on the current contract that exists between the City, the Giants and the Charros. The current contract between the three stakeholders has been a model of how private, public and non-profit entities can work together for the public good. Our community needs to support the extension of this agreement so that we can continue to enjoy the many benefits that Spring Training baseball brings our residents, our visitors, and our businesses. I support the City Manager in his efforts to seek a contract extension that is fair to all parties and maintaining the status quo of funding vs benefits for all involved.

Respectfully,  
Kevin Maxwell

February 8, 2019

TO: Mayor Lane and Members of City Council

RE: Scottsdale Charros and Scottsdale Stadium Contract Extension

Dear Mayor and City Council,

The Scottsdale Charros have hosted Spring Training baseball at Scottsdale Stadium since 1961. Their partnership with the City and the San Francisco Giants has resulted in over \$16 million in donations to public education and hundreds of local charities. This alliance has been a very successful prototype for public, private and non-profit partnerships.

Currently there are plans to renovate the Stadium using Tourism tax dollars and contributions from the Charros and the Giants. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the Stadium, and improve the economic impact in Old Town Scottsdale.

Spring Training results in a huge benefit to the businesses in Scottsdale, as well as the local hotels and restaurants. The Charros and Scottsdale Stadium are a model of major league baseball and how to do spring training right. I urge you to support the 35-year contract extension, as well as the financial contribution it will take to make this happen.

Sincerely,

Steve Helm

Dear Mayor Lane, and the Scottsdale City Council:

As you make decisions in regard to our city and its future, I would like to speak on behalf of one of our community organizations, The Scottsdale Charros. I believe this to be one of the most impactful organizations of its kind in any city, anywhere. And, at this time they need your help to continue a relationship that has been extremely significant and beneficial to the city of Scottsdale. I was provided these bullet points, and they seem to summarize and simplify the highlights of your decision to be made. Please take these into consideration as you guide us through the next immediate period.

- \* The Scottsdale Charros have hosted Spring Training Baseball at Scottsdale Stadium since 1961.
- \* The Charros partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education.
- \* The three-way contract with the City, Giants and Charros has been very successful and a model for public, private and non-profit partnerships.
- \* Currently there are plans to renovate Scottsdale Stadium with tourism tax dollars and contributions from the Charros and the Giants.
- \* These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact in Downtown Scottsdale.
- \* These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros.
- \* The Charros need the support of the Scottsdale community to ensure that the work of the Charros continues for decades to come.
- \* The Charros have worked with five major league teams and have contributed millions of dollars to local charities and public education.
- \* The Scottsdale Charros are synonymous with Spring Training and the Charros continued involvement is paramount to its continued success.
- \* The Charros and Scottsdale Stadium are a model for all of Major League Baseball and how to do Spring Training right.

Sincerely,

Bradley K. Brittain, DDS  
Dentistry of Old Town Scottsdale

JOHN KAVANAGH  
1700 WEST WASHINGTON, SUITE H  
PHOENIX, ARIZONA 85007-2844  
CAPITOL PHONE: (602) 926-5170  
TOLL FREE: 1-800-352-8404  
jkavanagh@azleg.gov



COMMITTEES:  
GOVERNMENT,  
Chairman  
APPROPRIATIONS,  
Vice-Chairman  
PUBLIC SAFETY

DISTRICT 23

## Arizona House of Representatives

Phoenix, Arizona 85007

February 6, 2019

JOINT LEGISLATIVE BUDGET  
JOINT COMMITTEE ON CAPITOL REVIEW  
ADMINISTRATION

Mayor W.J. "Jim" Lane  
3939 N Drinkwater Blvd.  
Scottsdale, AZ 85251

Scottsdale City Council Members  
3939 N Drinkwater Blvd.  
Scottsdale, AZ 85251

Dear Mayor Lane and Council Members:

The **Scottsdale Charros** have hosted Spring Training baseball at Scottsdale Stadium since 1961. The Charros have sold tickets, worked concessions, sold programs and accommodated Spring Training fans for over 5 decades. The Charro's partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education. This three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships.

Currently, plans are being finalized to upgrade Scottsdale Stadium with tourism tax monies and contributions from our organization and the San Francisco Giants. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale.

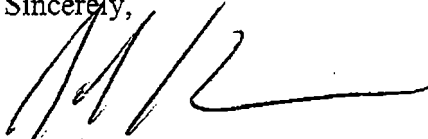
These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. This contract extension will ensure that the successful Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, a long-term commitment by the Giants and funding for the essential work of the Scottsdale Charros.

Together, we want to impress upon you, our leaders of Scottsdale, the importance of the continued involvement of the Scottsdale Charros. The Charros have helped insure the success of Spring Training and have protected the community's interest for the past fifty-six years. The Charros have worked with five major league teams and have contributed millions of dollars to local charities and Scottsdale Unified Schools. The Scottsdale Charros are synonymous with Scottsdale Spring Training and their continued involvement is paramount to its continued success.

Mayor Jim Lane  
Scottsdale City Council Members  
February 7, 2019  
Page 2

In other words, the Charros help the city in a uniquely Scottsdale way with games and an approach that doesn't just help a sports franchise, but the community as a whole. The Charros and Scottsdale Stadium are a model for all of Major League Baseball and how to do Spring Training right.

Sincerely,



**John Kavanagh**  
**Arizona House of Representatives**  
District 23  
Scottsdale, Fountain Hills, Rio Verde, and Tonto Verde  
[jkavanagh@azleg.gov](mailto:jkavanagh@azleg.gov)  
(602) 926-5170  
1700 West Washington Avenue, Suite S  
Phoenix, Arizona 85007

To Mayor and City Council,

I am writing this letter in support of Mayor Lane, The Scottsdale City Council, The San Francisco Giants and The Scottsdale Charros with regards to the Spring Training contract extension. Having personally spent a large amount of time and energy with Spring Training at Scottsdale Stadium I am a huge proponent of these groups continuing their great and successful relationship. The Scottsdale Charros have been a big part of the success these groups have shared and they continue to give back to the community and education of Scottsdale. Being a 4<sup>th</sup> generation Phoenician it is crucial in my eyes to keep supporting organizations like the Charro's. Thanks!

Sincerely,

James G. Bayless

**James Bayless | Senior Vice President**  
**CBRE | Advisory & Transaction Services**  
2575 East Camelback Road | #500 | Phoenix, AZ 85016  
T 602 735 1794 | C 602 615 4400  
[james.bayless@cbre.com](mailto:james.bayless@cbre.com) | [www.cbre.com](http://www.cbre.com)





**Edward J. Reading**  
Executive Vice President of Finance

February 11, 2019

Mayor Jim Lane & Scottsdale City Council  
Scottsdale City Hall  
3939 N. Drinkwater Blvd.  
Scottsdale, AZ 85251

Dear Mayor Lane & Council Members,

Ever since I moved to Scottsdale since 1974, I have enjoyed Spring Training baseball at Scottsdale Stadium. From the Chicago Cubs to the Oakland A's and the San Francisco Giants, the Scottsdale Community has enjoyed major league baseball and the tourism dollars spring training provides.

Although we have had a number of teams train at Scottsdale Stadium, the one constant has been the Scottsdale Charros. Since 1961, the Charros have hosted spring training baseball at Scottsdale Stadium. Their duties have included selling tickets, working concessions, selling programs and banners and the money they raise is donated back to the community. The Charros, through their all-volunteer membership, support numerous youth and educational organizations in the community.

As you know, plans are being finalized to upgrade Scottsdale Stadium with tourism tax monies and contributions from our organization and the San Francisco Giants. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale. These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. This contract extension will ensure that the successful Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, a long-term commitment by the Giants and funding for the essential work of the Scottsdale Charros.

I want to impress upon you, our leaders of Scottsdale, the importance of the continued involvement of the Scottsdale Charros. The Charros have helped insure the success of Spring Training and have protected the community's interest for the past fifty-six years. The Charros have worked with five major league teams and have contributed millions of dollars to local charities and Scottsdale Unified Schools. The Scottsdale Charros are synonymous with Scottsdale Spring Training and their continued involvement is paramount to its continued success.

Sincerely,

A handwritten signature in black ink, appearing to read "E. Reading".

Edward J. Reading

2425 East Camelback Road  
Suite 750  
Phoenix, Arizona 85016  
phone: 602.866.0900  
fax: 602.955.2298

Mayor Jim Lane & Scottsdale City Council

City of Scottsdale

3939 N Drinkwater Blvd

Scottsdale, AZ 85251

Mayor and City Council Members,

I am a Scottsdale resident of over 23 years, a local businessman, a father of two, and a Scottsdale Charro. In 2009, I chaired spring training baseball on behalf of the Scottsdale Charros, little did we know how deep the imminent national and local recession would impact our economy. In my experience, the Scottsdale Charros have been positive and enduring partners with the City of Scottsdale and the local community over decades and through several economic cycles. While the professional baseball teams who have had the pleasure of working and playing in Scottsdale stadium have changed over the decades, the City of Scottsdale and the Scottsdale Charros have been the stable and engaged supporters of the local community fostered by our unwavering support of spring training baseball in Scottsdale. Current discussions to alter the structure of the contract and relationships between the City, Charros and Giants concern me on many levels. Any effort to eliminate or minimize the Charros role in spring training is short sighted and motivated by issues or an agenda having nothing to do with the local community.

Allow me to elaborate on several positive attributes derived from the partnership between the City, the Charros and the Giants (any other team in contract with us for that matter). The **Scottsdale Charros** have hosted Spring Training baseball at Scottsdale Stadium since 1961. The Charros have sold tickets, worked concessions, sold programs and accommodated Spring Training fans for over 5 decades. The Charro's partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education. This three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships.

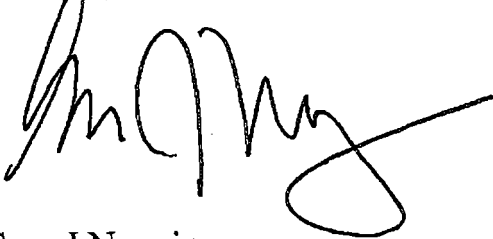
Currently, plans are being finalized to upgrade Scottsdale Stadium with tourism tax monies and contributions from our organization and the San Francisco Giants.

These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale.

These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. This contract extension will ensure that the successful Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, a long-term commitment by the Giants and funding for the essential work of the Scottsdale Charros.

Together, we want to impress upon you, our leaders of Scottsdale, the importance of the continued involvement of the Scottsdale Charros. The Charros have helped insure the success of Spring Training and have protected the community's interest for the past fifty-six years. The Charros have worked with five major league teams and have contributed millions of dollars to local charities and Scottsdale Unified Schools. The Scottsdale Charros are synonymous with Scottsdale Spring Training and their continued involvement is paramount to its continued success. In other words, the Charros help the city in a uniquely Scottsdale way with games and an approach that doesn't just help a sports franchise, but the community as a whole. The Charros and Scottsdale Stadium are a model for all Major League Baseball and how to do spring training right.

Sincerely,

A handwritten signature in black ink, appearing to read 'Gary J Naquin', with a large, sweeping flourish at the end.

Gary J Naquin

11520 N 99<sup>th</sup> Street

Scottsdale, AZ 85206

# SONORAN

**TRUCK & DIESEL SALES, L.L.C.**

[www.sonorantruck.com](http://www.sonorantruck.com)

## SUPPORT LETTER FOR THE SCOTTSDALE CHARROS AND SPRING TRAINING BASEBALL

THE SCOTTSDALE CHARROS AND SPRING TRAINING BASEBALL, OF SCOTTSDALE, ARE SYNONYMOUS. TOGETHER THEIR INVOLVEMENT IN SCOTTSDALE IS PARAMOUNT TO RAISING MILLIONS OF DOLLARS FOR THE CITY OF SCOTTSDALE AND ITS COMMUNITY.

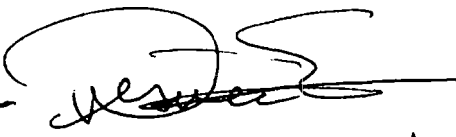
IT IS IMPORTANT THAT THE CITY OF SCOTTSDALE AND THE SAN FRANCISCO GIANTS CONTINUE WITH THE CHARROS PARTNERSHIP TO ENSURE THE FUTURE OF SCOTTSDALE. A THREE-WAY CONTRACT WITH THE CITY, GIANTS AND CHARROS HAS PROVEN TO BE SUCCESSFUL AND A MODEL FOR PUBLIC, PRIVATE AND NON-PROFIT ORGANIZATIONS IN THE PAST. WHY STOP A GOOD THING? IT WORKS AND WILL CONTINUE TO BE A SUCCESS IF THE CONTRACT GETS RENEWED.

THERE ARE PLANS TO RENOVATE THE SCOTTSDALE STADIUM, IF THIS CONTRACT GETS RENEWED. FUNDING WILL COME FROM TOURISM TAX DOLLARS, AND CONTRIBUTIONS FROM THE GIANTS AND THE CHARROS ORGANIZATION. THESE RENOVATIONS WILL EXPAND THE MULTI-PURPOSE CAPABILITIES OF THE STADIUM, AS WELL AS, THE FAN EXPERIENCE AND IMPROVE THE ECONOMIC IMPACT IN DOWNTOWN SCOTTSDALE.

WE ARE ALL IN SUPPORT IN KEEPING THE SAN FRANCISCO GIANTS HERE IN ARIZONA FOR THEIR SPRING TRAINING AND HOPE THAT THIS TEAM FEELS THE SAME WAY AND RENEWS THEIR CONTRACT WITH THE CITY OF SCOTTSDALE.

RESPECTFULLY,

  
SONORAN TRUCK & DIESEL SALES, LLC  
AND ITS' EMPLOYEES

  
Mark DeLaCruz  
Luis Garcia

To the Mayor and City Council of Scottsdale

February 11, 2019

Re: Spring Training and the Charros

Dear Mr. Mayor and Members of the City Council,

As an attorney, long time member of the Scottsdale community and member of the Scottsdale Charros, I am writing to you in hopes of bringing additional perspective to the upcoming decisions with regard to renovations at Scottsdale Stadium and renewal of the existing long term contracts. I was involved in the negotiation and writing of the first contract for Scottsdale Stadium in the late 1980's along with Charlie Smith and Purd Thomas and also served in the negotiations done on the existing contract. I can tell you that the Charros have always fought hard in these negotiations on behalf of the citizens and charities of Scottsdale to enhance the revenue available for donations and reinvestment in the community. Through the efforts of the Charros, a framework was established which has allowed thousands of hours of volunteer work to be monetized which has resulted in over \$16 million dollars being donated to Scottsdale charities and public education.

The Charros have a history of having worked with five different major league teams to keep Spring Training alive and well in Scottsdale. The economic impact of having Spring Training games in Scottsdale is well known. The majority of that work has been with the San Francisco Giants and the Charros have been essential in both working with the Giants to keep them in Scottsdale while negotiating hard positions advantageous to our city. The Charros may be unpaid volunteers, but, as most of them reside in Scottsdale, we have brought a personal touch to these negotiations that a paid non-citizen of Scottsdale cannot bring. This is our City and we want the best deal because it benefits our community and enhances the Scottsdale lifestyle.

No other city hosting Spring Training derives near the benefits which are derived for Scottsdale through the work of the Scottsdale Charros. All those cities benefit from the general economic impact of the additional tourism that comes with Spring Training. All such cities derive rental income to offset the costs of stadium operation. But, Scottsdale, through the work of the Charros, derives the additional benefits that come from the money raised for Charities and education.

That money does not magically appear. The Charros are essentially an unpaid sales force of more than forty persons calling in favors and selling Stadium advertising and game tickets. Without having to pay commissions, which is normally the highest cost of any such effort, hundreds of thousands of dollars are raised each year and made available for donation to Scottsdale charities and to benefit Scottsdale education.

There can be no doubt that the Charros have supercharged the economic engine that is Scottsdale Stadium through the creation of a contract that has been a model for the successful partnership of a private, public and non-profit organization. I urge you to continue that three way partnership as the City moves forward to secure a tenant for Scottsdale Stadium for the next generation.

Very truly yours,

Robert C. Howard, Jr.  
16814 N 55<sup>th</sup> Street  
Scottsdale, Az 85254



To the Scottsdale City Council:

The Scottsdale Charros have been a major part of the Scottsdale community since they began hosting Spring Training baseball at Scottsdale Stadium in 1961. The Charros partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education. This three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships.

Children participating in programs in the Scottsdale/Paradise Valley Family YMCA have greatly benefitted from the generosity of the Charros over the last decade and their commitment to community is obvious. The Charros dedication to Spring Training has a big impact in what they are able to turnaround and give to local charities.

Currently, plans are being finalized to upgrade Scottsdale Stadium with tourism tax monies and contributions from our organization and the San Francisco Giants. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale.

These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. This contract extension will ensure that the successful Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, a long-term commitment by the Giants and funding for the essential work of the Scottsdale Charros.

Together, we want to impress upon you, our leaders of Scottsdale the importance of the continued involvement of the Scottsdale Charros. The Charros have helped insure the success of Spring Training and have protected the community's interest for the past 56 years. The Scottsdale Charros are synonymous with Scottsdale Spring Training and their continued involvement is paramount to its continued success. In other words, the Charros help the city in a uniquely Scottsdale way with games and an approach that doesn't just help a sports franchise, but the community as a whole.

Sincerely,

Damian Vega  
Executive Director  
Scottsdale/Paradise Valley Family YMCA

February 11, 2019

The Honorable Mayor and City Council  
City of Scottsdale  
3939 N. Drinkwater Blvd.  
Scottsdale, AZ 85251

Dear Mayor and Council:

When it comes to spring training baseball, Scottsdale has a rich history of community partnerships. HonorHealth and our volunteers have been proud to be a part of this annual event at Scottsdale Stadium since the beginning. We recognize that the strong relationships with the community and its stakeholders have brought decades of success.

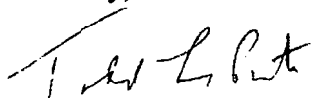
The Scottsdale Charros have been an exceptional community partner. Its collaboration with the City of Scottsdale is a model for public, private and non-profit partnerships. In fact, the partnership between the Charros and Scottsdale Stadium is a spring training model for all Major League Baseball.

As the City of Scottsdale works to renovate Scottsdale Stadium and execute a contract extension, HonorHealth believes it is important for the Scottsdale Charros to continue to be involved as a key partner in spring training. The contract extension would ensure the continued economic benefit to Scottsdale, a long-term commitment by the Giants and funding for the essential work of the Scottsdale Charros. Scottsdale benefits when local partners, who are committed to the best interests of our community, are a part of spring training baseball.

As the largest employer in Scottsdale and healthcare provider for our community, HonorHealth is committed to improving the health and well-being of our residents. Spring training not only has an economic impact but an important charitable component as well. The Charros provide more than \$16 million in donations to hundreds of deserving non-profits and local schools.

Scottsdale should continue to honor the traditions and partners that have contributed to more than 58 years of spring training baseball success. The Scottsdale Charros and our community deserve no less.

Sincerely,



Todd LaPorte  
Chief Executive Officer



Mayor Lane and Scottsdale City Council

The Scottsdale Charros have hosted Spring Training baseball at Scottsdale Stadium since 1961. The Charros have sold tickets, worked concessions, sold programs and accommodated Spring Training fans for over 5 decades. The Charro's partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities including public education. The three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships.

Currently plans are being finalized to upgrade Scottsdale Stadium with tourism tax monies, contributions from the Charros and the San Francisco Giants. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale.

These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. This contract extension will ensure that the successful Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, a long-term commitment by the Giants and funding for the philanthropic work of the Scottsdale Charros.

Together, I want to impress upon you, our leaders, the importance of the continued involvement of the Scottsdale Charros. They have helped to facilitate the success of Spring Training and have protected the community's interest for the past fifty-six years. They have worked with five major league teams and have contributed millions of dollars to local charities and Scottsdale Schools. The Charros are an integral part of Scottsdale Spring Training and their continued involvement is in the best interest of our community. They help the community in a uniquely Scottsdale way that goes far beyond just helping a sports franchise. The Charros and Scottsdale Stadium are a model for Major League Baseball for how to maximize the community benefit from Spring Training.



Bill Aust



February 9<sup>th</sup>, 2019

To Whom it May Concern:

As one of the grant recipients and partner organization for the Scottsdale Charros, we would like to write this letter of support on their behalf.

The Scottsdale Charros have hosted Spring Training baseball at Scottsdale Stadium since 1961. The Charros have sold tickets, worked concessions, sold programs and accommodated Spring Training fans for over 5 decades. The Charro's partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education. This three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships.

Currently, plans are being finalized to upgrade Scottsdale Stadium with tourism tax monies and contributions from the organization and the San Francisco Giants. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale.

These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. This contract extension will ensure that the successful Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, a long-term commitment by the Giants and funding for the essential work of the Scottsdale Charros.

Together, we want to impress upon you, our leaders of Scottsdale, the importance of the continued involvement of the Scottsdale Charros. The Charros have helped insure the success of Spring Training and have protected the community's interest for the past fifty-six years. The Charros have worked with five major league teams and have contributed millions of dollars to local charities and Scottsdale Unified Schools. The Scottsdale Charros are synonymous with Scottsdale Spring Training and their continued involvement is paramount to its continued success. In other words, the Charros help the city in a

## Board of Directors

**Barbara Blalock**  
Founder/Executive Director

**John Kelly**  
Board Chair  
Triadvocates, LLC  
Principal

**Jill Maruca**  
Secretary  
CopperPoint Insurance Companies  
Community Engagement

**Al Nelson**  
Treasurer  
Target Stores  
Retired

**Elisa Mongeluzzi**  
Board Member  
Mongeluzzi Consulting, LLC  
Educational Consultant

**Jonathan Levine**  
Board Member  
Office of the AZ Attorney General  
Assistant Attorney General

**Kelly Hauert**  
Board Member  
Arizona Water Company  
Director of Rates & Revenues

**Chris Janick**  
Board Member  
Salt River Project  
Senior Director of Power Delivery

**Karen Nowicki**  
Board Member  
Phoenix Business RadioX  
President

**Cory Hooks**  
Board Member  
Intel  
Director of Procurement

**Suzanne Nelson**  
Board Member  
Desert Lily Solutions, LLC  
Owner

**Bob Hoglund**  
Board Member  
Bob Hoglund, Inc.  
President

**Kami Galvani**  
Board Member  
Steptoe & Johnson, LLP  
Of Counsel

# Treasures Teachers



uniquely Scottsdale way with games and an approach that doesn't just help a sports franchise, but the community as a whole. The Charros and Scottsdale Stadium are a model for all of Major League Baseball and how to do spring training right.

Please let me know if you have any questions.

Gratefully,

Barbara Blalock  
Executive Director

## Board of Directors

**Barbara Blalock**  
Founder/Executive Director

**John Kelly**  
Board Chair  
Triadvocates, LLC  
Principal

**Jill Maruca**  
Secretary  
CopperPoint Insurance Companies  
Community Engagement

**Al Nelson**  
Treasurer  
Target Stores  
Retired

**Elisa Mongeluzzi**  
Board Member  
Mongeluzzi Consulting, LLC  
Educational Consultant

**Jonathan Levine**  
Board Member  
Office of the AZ Attorney General  
Assistant Attorney General

**Kelly Hauert**  
Board Member  
Arizona Water Company  
Director of Rates & Revenues

**Chris Janick**  
Board Member  
Salt River Project  
Senior Director of Power Delivery

**Karen Nowicki**  
Board Member  
Phoenix Business RadioX  
President

**Cory Hooks**  
Board Member  
Intel  
Director of Procurement

**Suzanne Nelson**  
Board Member  
Desert Lily Solutions, LLC  
Owner

**Bob Heglund**  
Board Member  
Bob Heglund, Inc.  
President

**Kami Galvani**  
Board Member  
Steptoe & Johnson, LLP  
Of Counsel

**KURT M. BRUECKNER**  
**12077 NORTH 114<sup>TH</sup> WAY**  
**SCOTTSDALE, ARIZONA 85259**  
**(602) 541-4606**

February 8, 2019

The Honorable W.J. "Jim" Lane, Mayor of Scottsdale  
and Members of the Scottsdale City Council  
City of Scottsdale  
3939 Drinkwater Boulevard  
Scottsdale, AZ 85251

Re: *Letter in Support*

Dear Mayor Lane and Members of the City Council:

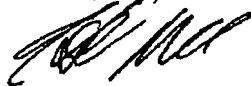
For over five decades, the Scottsdale Charros have played an instrumental role in hosting Spring Training baseball at Scottsdale Stadium. The Charros have sold tickets, worked concessions, sold programs and accommodated Spring Training fans. The Charros' partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education. The relationship among the City, Giants and Charros is a model for public, private and non-profit partnerships.

Plans are being finalized to upgrade Scottsdale Stadium with tourism tax monies and contributions from the Charros and the San Francisco Giants. The proposed renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact for the City of Scottsdale.

These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. This contract extension will ensure that the successful Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, a long-term commitment by the Giants and funding for the essential work of the Scottsdale Charros which support Scottsdale charities.

The Charros have helped insure the success of Spring Training and have protected the community's interest for the past fifty-six years. The Charros have contributed millions of dollars to local charities and Scottsdale Unified Schools. Please allow the Charros to continue its work to support Scottsdale charities.

Sincerely,



Kurt M. Brueckner

KMB/lmh  
cc: Dennis Robbins

February 12, 2019

Scottsdale City Council

To Whom it may Concern,

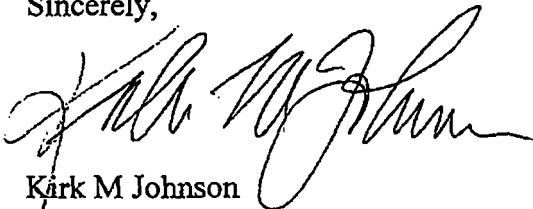
The **Scottsdale Charros** have hosted Spring Training baseball at Scottsdale Stadium since 1961. The Charros have sold tickets, worked concessions, sold programs and accommodated Spring Training fans for over 5 decades. The Charro's partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education. This three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships.

Currently, plans are being finalized to upgrade Scottsdale Stadium with tourism tax monies and contributions from our organization and the San Francisco Giants. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale.

These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. This contract extension will ensure that the successful Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, a long-term commitment by the Giants and funding for the essential work of the Scottsdale Charros.

Together, we want to impress upon you, our leaders of Scottsdale, the importance of the continued involvement of the Scottsdale Charros. The Charros have helped insure the success of Spring Training and have protected the community's interest for the past fifty-six years. The Charros have worked with five major league teams and have contributed millions of dollars to local charities and Scottsdale Unified Schools. The Scottsdale Charros are synonymous with Scottsdale Spring Training and their continued involvement is paramount to its continued success. In other words, the Charros help the city in a uniquely Scottsdale way with games and an approach that doesn't just help a sports franchise, but the community as a whole. The Charros and Scottsdale Stadium are a model for all of Major League Baseball and how to do spring training right.

Sincerely,



Kirk M Johnson

Scottsdale Charro Member

GRAND CANYON  
UNIVERSITY

FIND YOUR PURPOSE

February 6, 2019

To Whom It May Concern –

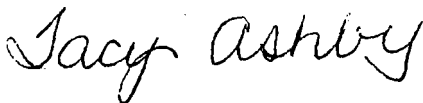
Over the years, I have witnessed firsthand the positive effects of the partnership between the Charros, the City of Scottsdale, and the San Francisco Giants. The partnership exemplifies how public, private, and non-profit organizations can come together to benefit the community.

Having served the education community in my own right, both in the public K-12 arena and most recently at the University level, I support a contract extension on a program that has yielded millions of dollars in donations to hundreds of local charities and public education.

The Scottsdale Charros are synonymous with Scottsdale Spring Training and their continued involvement is paramount to its continued success. The Charros enhance the city in a tactful way with an approach that doesn't just help a sports franchise, but the community as a whole. The Charros and Scottsdale Stadium are a model for all of Major League Baseball and how to do spring training right.

It is a pleasure to provide support for this worthwhile partnership.

Best,



Dr. Tacy Ashby  
Senior Vice President, K12 Educational Development

To whom it may concern, in support of The Scottsdale Charros

Hello,

I am Ray Herndon, owner of long-time Scottsdale landmark restaurant and Saloon, Handlebar J.

Like Handlebar J, the Scottsdale Charros are a staple of Scottsdale. The Charros are an important part of this community and it's continued progress, growth and leadership. Their millions of dollars in contributions to Scottsdale's schools, teachers and youth have made a huge difference in our community. Scottsdale's spring training season is such a big part of this and is the reason I write this letter supporting the continuation of the Charro's hard work and support through spring training baseball. For over fifty-six years the Charros have helped the success of spring training and protected the community's interests at the same time. The Scottsdale Charros are a huge part of Spring training and must remain that way. They contribute so much more than just money. They have spirit that transcends dollars and involves the community, community leaders and their families that brings synergy and heart to our community.

The Scottsdale stadium upgrade renovations being planned will enhance the fan experience and bring some new life and economic benefit to the downtown area as well as the surrounding areas including where Handlebar J is located. Therefore, a new contract between the three entities must be successfully re-negotiated. I encourage extending this new contract between Scottsdale, The San Francisco Giants and the Scottsdale Charros, on behalf of my business as well as all the others who benefit from the Charro's leadership, support and their future endeavors to enhance all our lives for the better. This is a win-win situation for all involved.

Thank you,

Sincerely,

Ray Herndon

Handlebar J

January 9, 2019

Mayor Lane and Scottsdale City Council  
Scottsdale City Hall  
3939 N. Drinkwater Blvd.  
Scottsdale, AZ 85251

Dear Mayor Lane and Scottsdale City Council,

As one of the Valley's leading entertainment groups including the Bevy, Bottled Blonde Arizona, Hi Fi Kitchen + Cocktails, RnR, The Mint Lounge, Casa Amigos and SkyLANES, we understand the importance of creating an environment that caters to guests from all over the world. That's why we commend the Charros for their continued commitment to ensuring that Scottsdale Stadium provides fans with a unique baseball experience.

We enjoy Scottsdale's spring training season and the significant economic impact it brings to local businesses including ours. Scottsdale Stadium is the only spring training ballpark in the area to provide the appeal of being within walking distance of an array of restaurants, galleries, shopping and nightlife, including our entertainment venues. Both the Scottsdale Charros and Scottsdale Stadium are an important component of why Scottsdale remains one of the best places to watch spring training baseball in the country.

For the past fifty years, the Charros have protected the community's best interest and provide so much economic impact to Scottsdale. The successful three-way agreement between the City of Scottsdale, the Giants and the Charros is a model for public, private and non-profits partnership that has served Scottsdale well over the years, contributing over \$16 million in donations to local charities and education.

Simply put, without the Charros, spring training would not be the same. The Scottsdale Charros help the city in a uniquely Scottsdale way and their three-way approach doesn't just help Scottsdale Stadium, but the community as a whole. For these reasons, we encourage you to continue to support the Charros', and even expand their involvement as they seek to extend their contract with the City of Scottsdale and the San Francisco Giants.

Thank you for your consideration,

Diane and Les Corieri  
CEO  
Evening Entertainment Group



CC Jim Thompson, City Manager  
Bill Murphy, Community Services Executive Director





**Jeff Mirasola**

---

20 E. Thomas Road  
Phoenix, Arizona 85012  
602-505-2228  
Jeff.Mirasola@CenturyLink.Com

February 13, 2019

Dear Mayor Lane and councilmembers,

Little did we know that back in 1961, just weeks after breaking camp in spring training; Willie Mays would become the first San Francisco Giant to hit four home runs in a single game during the regular season.

That year also marks the beginning of a continuous relationship of Scottsdale with major league baseball's spring training. This year marks the 35<sup>th</sup> anniversary of the Giants in Scottsdale. Its partnership with the Charros and the city of Scottsdale, has resulted in local charities and educational organizations benefitting from the more than \$16 million dollars generated during games.

Currently there are plans to renovate the stadium to enhance the in-game fan experience and expand the multi-purpose capabilities of the facility, using dollars from the Giants, Charros, and the cities' tourism tax. This three-way partnership, is the cornerstone of an example of what has made Scottsdale the model for public, private, non-profit partnerships.

To go forward, these stadium renovations will need an extension of the contract between the three entities. In this the 35<sup>th</sup> year of the partnership, we're looking to extend the agreement for another 35 years.

We know you, the mayor and council, can make this happen. You can help us be the model for all Major League baseball in doing things the right way.

It's been 58 years since Scottsdale first welcomed pitchers, catchers, and everyone else on the team to get the rust out. Back in 61, less than two months after hitting those four home runs, Willie had another game where he hit three. He went on to bat .308 and hit 40 homeruns. And 58 years later, hope springs eternal that maybe, we'll get to see the next Willie Mays. And it will all begin right in Scottsdale Stadium under the Arizona sky. Please help us keep the tradition alive. Give us 35 more years.

Sincerely,

Jeff Mirasola  
CenturyLink  
Director-State & Local Government Affairs

---

Good afternoon,

We understand there are currently plans to upgrade Scottsdale Stadium, which will require a contract extension between the City of Scottsdale, the Giants Organization, and the Scottsdale Charros. We fully support a contract extension with the City of Scottsdale, the Giants Organization, and the Scottsdale Charros.

We have two daughters who have personally been involved with the Scottsdale Charros at Scottsdale Stadium. Our younger daughter, Rachel, is currently in the 8<sup>th</sup> grade at Cocopah Middle School. Our older daughter, Gina, graduated from Chaparral High School in May of 2018. Both girls attended Sequoia Elementary School. For the past three seasons, the Scottsdale Charros have been incredibly gracious in allowing our girls' local soccer teams to help sell 50/50 Raffle Tickets at Spring Training games at Scottsdale Stadium. The "Soccer Girls" have really enjoyed selling the tickets and have proven to be pretty good at sales. In turn, the Scottsdale Charros have donated a portion of their ticket sales back to their non-profit 501(3)(c) soccer club.

Our older daughter, Gina, is currently a freshman at Seattle University in Seattle, WA where she is living her dream of playing Division I Women's Soccer. When Gina was in the 5<sup>th</sup> grade at Sequoia Elementary School, she was selected as one of the Scottsdale Unified School District (SUSD) students to attend the Day at the Ballpark. This event is an annual event held at Scottsdale Stadium, sponsored by the Scottsdale Charros. SUSD students are picked by their principals to attend this event where the kids participate in a baseball clinic on the field with MLB stars, past and present. This day created a lifelong memory for her as she not only was selected to attend, but also won the grand prize giveaway that year – an autographed Amare Stoudemire basketball jersey. She took this autographed jersey with her to college this past fall.

SUSD hosts an All-District Sports Banquet three times each school year to recognize and honor Student-Athletes from Scottsdale high schools. Gina was grateful as she was invited and attended the Winter All-District Sports Banquet both her Junior and Senior years for Soccer. Players, parents, coaches, athletic directors, and local community members are invited to honor these amazing Student-Athletes for their work in the classroom and on the field. At both of the banquets we attended with Gina, the Scottsdale Charros had a Charro in attendance who not only congratulated the kids, but also reminded them of how influential they are within their local community as Student-Athletes. In addition, the Scottsdale Charros awarded scholarships to two deserving Student-Athletes. To have a Scottsdale Charro attend these banquets speaks volumes as it's another example of how active and valued they are within our community.

We fully support and hope that you understand the importance of, and support, the contract extension with the City of Scottsdale and the San Francisco Giants for Spring Training. The impact of the Scottsdale Charros is real. We can attest to how real their impact is within our community, by the 50/50 Raffle, the Day at the Ballpark, and the All-District Banquet.

Please allow the Scottsdale Charros to continue to impact, support, and benefit our local community as they have done over the past 5 decades.

Sincerely,

Colby and Tasha Leete



To Whom it may concern:

As a citizen and business owner in Scottsdale, Arizona I am sending this letter in support of The Scottsdale Charros. The **Scottsdale Charros** have hosted Spring Training baseball at Scottsdale Stadium since 1961. The Charros have sold tickets, worked concessions, sold programs and accommodated Spring Training fans for over 5 decades. The Charro's partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education. This three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships.

Currently, plans are being finalized to upgrade Scottsdale Stadium with tourism tax monies and contributions from our organization and the San Francisco Giants. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale.

These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. This contract extension will ensure that the successful Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, a long-term commitment by the Giants and funding for the essential work of the Scottsdale Charros.

Together, we want to impress upon you, our leaders of Scottsdale, the importance of the continued involvement of the Scottsdale Charros. The Charros have helped ensure the success of Spring Training and have protected the community's interest for the past fifty-six years. The Charros have worked with five major league teams and have contributed millions of dollars to local charities and Scottsdale Unified Schools. The Scottsdale Charros are synonymous with Scottsdale Spring Training

**KRAF INC**

5070 N 40th St. Suite 100 • Phoenix, AZ 85018 • Tel: (602) 273-7997 • Fax: (602) 273-9170

**A Franchisee of Burger King Corporation**



and their continued involvement is paramount to its continued success. In other words, the Charros help the city in a uniquely Scottsdale way with games and an approach that doesn't just help a sports franchise, but the community as a whole. The Charros and Scottsdale Stadium are a model for all of Major League Baseball and how to do spring training right.

A handwritten signature in black ink, appearing to read "Ronald T. Broatch", written over a horizontal line.

Ronald T. Broatch

Vice President

KRAF Inc., d.b.a. Burger King

**KRAF INC**

5070 N 40th St. Suite 100 • Phoenix, AZ 85018 • Tel: (602) 273-7997 • Fax: (602) 273-9170

**A Franchisee of Burger King Corporation**

Dear Mayor Lane and Scottsdale Council Members,

I write in support of extending the contract with the Scottsdale Charros and the San Francisco Giants.

In 1973 (if memory is correct), I traveled to Chicago with the Charro committee charged to renew our contract with the Cubs. Spring training was gaining support and popularity throughout the Valley area and Scottsdale was beginning to reap the benefits of this relationship. It still does, and in greater numbers than ever.

Baseball spring training is the primary activity for the Charros in being a vital force in and for the community. Every city should be this fortunate to have both this excellent group of businessmen who work for Scottsdale and the excellent sports activity that brings thousands of visitors to our area in the spring. Throughout the Valley and State, every community that has a spring training team based there profits from that distinction all over the country.

I urge you to renew this business, social and charitable contract that Scottsdale can point to with pride. I am proud of what the Charros are today, and I am proud that at one time I was a working part of this group. Support them!

Sincerely,

Dr. William T. Reid  
DVM, retired  
Past Patron, Charros

February 18, 2019

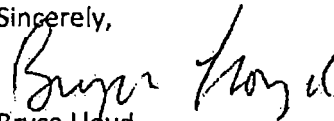
City of Scottsdale  
3939 N. Drinkwater Blvd.  
Scottsdale, AZ 85251

Mayor Lane and Scottsdale City Council,

I am writing as a citizen of Scottsdale and local business person in support of a contract extension between the city, the San Francisco Giants, and the Scottsdale Charros. As you know, the Charros have a long history with Spring Training Baseball in Scottsdale. Significant dollars have been raised through this valuable partnership that have benefitted many charities, and public education. This three-way partnership has been an excellent model for public, private and non-profit agreements. The Charros will continue to need the support of the entire local community to ensure their success, and ours, for the years to come.

Proposed stadium renovations will enhance visitor experiences and improve the already strong economic impact of Scottsdale Stadium and spring training for downtown Scottsdale. I ask you to consider the importance of the continued involvement of the Scottsdale Charros to continue on the strong success and momentum gained over their many years of effort. Thank you for your consideration.

Sincerely,

A handwritten signature in black ink that reads "Bryce Lloyd". The signature is written in a cursive style with a large, stylized "B" and "L".

Bryce Lloyd  
9120 E Mountain Spring Rd  
Scottsdale, AZ 85255

February 18<sup>th</sup>, 2019

To: Scottsdale City Council

Re: Letter of Support

I have lived in the City of Scottsdale since 2004 and have been enjoying attending Spring Training at Scottsdale Stadium since my first month in town. Spring Training is a signature event for the City, not only for its wonderful location but also for its atmosphere, service and overall baseball experience. A large part of that has been a result of the hard-proud work of Stadium employees and the commitment of community volunteers. There has always been a noticeable feeling of community ownership and pride associated with the Stadium that brings fans back year over year.

The Scottsdale Charros have hosted Spring Training baseball at Scottsdale Stadium since 1961. The Charros have sold tickets, worked concessions, sold programs and accommodated Spring Training fans for over 5 decades. The Charro's partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education. This three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships.

Currently, plans are being finalized to upgrade Scottsdale Stadium with tourism tax monies and contributions from our organization and the San Francisco Giants. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale.

These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. This contract extension will ensure that the successful Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, a long-term commitment by the Giants and funding for the essential work of the Scottsdale Charros.

Together, we want to impress upon you, our leaders of Scottsdale, the importance of the continued involvement of the Scottsdale Charros. The Charros have helped insure the success of Spring Training and have protected the community's interest for the past fifty-six years. The Charros have worked with five major league teams and have contributed millions of dollars to local charities and Scottsdale Unified Schools. The Scottsdale Charros are synonymous with Scottsdale Spring Training and their continued involvement is paramount to its continued success. In other words, the Charros help the city in a uniquely Scottsdale way with games and an approach that doesn't just help a sports franchise, but the community as a whole. The Charros and Scottsdale Stadium are a model for all of Major League Baseball and how to do spring training right.

Sincerely,

A handwritten signature in black ink, appearing to read 'Derek A. Flottum', with a long horizontal flourish extending to the right.

Derek A. Flottum

## Letter in Support

The **Scottsdale Charros** have hosted Spring Training baseball at Scottsdale Stadium since 1961. The Charros have sold tickets, worked concessions, sold programs and accommodated Spring Training fans for over 5 decades. The Charro's partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education. This three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships.

I have personally volunteered more than 800 hours working at the Scottsdale Stadium during spring training. I have spent most of my time walking the stadium selling 50/50 raffle tickets to raise money for the Scottsdale Charro charities. I have met thousands of fans from all over the Country. It's great to be on the front lines talking about the City of Scottsdale and the purpose of the Scottsdale Charro charities directly to the guest at the Stadium. Everyone I meet loves the ball park and really appreciates the work we do for the community.

Currently, plans are being finalized to upgrade Scottsdale Stadium with tourism tax monies and contributions from our organization and the San Francisco Giants.. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale.

These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. This contract extension will ensure that the successful Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, a long-term commitment by the Giants and funding for the essential work of the Scottsdale Charros.

Together, we want to impress upon you, our leaders of Scottsdale, the importance of the continued involvement of the Scottsdale Charros. The Charros have helped insure the success of Spring Training and have protected the community's interest for the past fifty-six years. The Charros have worked with five major league teams and have contributed millions of dollars to local charities and Scottsdale Unified Schools. The Scottsdale Charros are synonymous with Scottsdale Spring Training and their continued involvement is paramount to its continued success. In other words, the Charros help the city in a uniquely Scottsdale way with games and an



approach that doesn't just help a sports franchise, but the community as a whole. The Charros and Scottsdale Stadium are a model for all of Major League Baseball and how to do spring training right.

Clayton McKnight  
8574 E. Via de Viva  
Scottsdale, AZ 85258

Tricia McKnight  
8574 E. Via de Viva  
Scottsdale, AZ 85258



February 19, 2019

Scottsdale City Council  
3939 N Drinkwater Blvd  
Scottsdale, AZ 85251

Dear City Council Members,

My name is Scott Gruwell, I am the third-generation owner of Courtesy Chevrolet, an Arcadia resident and a Scottsdale Charro Member. The impact and success of the contract with the City of Scottsdale, San Francisco Giants and Scottsdale Charros has been a model for public, private and non-profit partnerships. We would like to impress upon you, our leaders, that the Scottsdale Charros are synonyms with Spring Training. The involvement of the Charros is paramount to the continued success that spring training has brought to our community for the last five decades. This partnership has resulted in millions of dollars being donated to hundreds of deserving charities, within the Scottsdale area, and I hope that this relationship will continue for decades to come.

The stadium renovations will enhance the fan experience, expand the multipurpose capabilities of the stadium and improve the economic impact in Down Town Scottsdale dramatically. These renovations will require a contract extension between the City, the Giants and the Charros. As a community member and community business member, I hope to encourage you to grant this contract extension.

With Courtesy,

Scott Gruwell



1233 E. Camelback Road Phoenix, Arizona 85014 602.279.3232

Mayor Lane and Scottsdale City Council

We have lived in Scottsdale for many years and attended games at the Stadium with the Charro's being in charge. It has been a great experience and we would like very much for the Charros to continue hosting the games. The Charro's have donated many dollars to charities that have benefited Scottsdale. If they are awarding the contract and are able to renovate the stadium, it will enhance the city's image and continue to be a model for other cities as how to run successful spring training.

Gordon and Dona Holyoak

20 February 2019

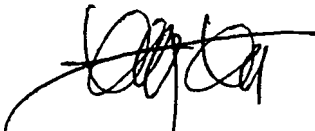
**Mayor Lane & Scottsdale City Council:**

The **Scottsdale Charros** have hosted Spring Training in Scottsdale Stadium since 1961. The Charros have sold tickets, worked concessions, sold programs, banners and accommodated Scottsdale Spring Training fans for over 5 decades. The Charro's partnership with the City of Scottsdale and the San Francisco Giants resulted in over 16 Million Dollars in donations to local Children's Charities and SUSD. This three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships.

Plans are being finalized to upgrade Scottsdale Stadium with Tourism Tax Dollars, a contribution from the Scottsdale Charros and the San Francisco Giants. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale and the entire City.

As the Leaders of this Great City I cannot impress upon you enough the importance of the Stadium Enhancements and the continued involvement of the Scottsdale Charros in a way that allows us to raise additional funds for our Entire Community.

Sincerely,



Craig A. Curtis

Scottsdale Charro Patron

2009/2010



# A.R. MAYS

CONSTRUCTION

February 20, 2019

Mayor Lane/City Council  
City of Scottsdale  
Scottsdale, AZ 85251

**RE: Spring Training Contract Extension**

**Subject: Scottsdale Charro Participation**

Dear Mayor and City Council Members:

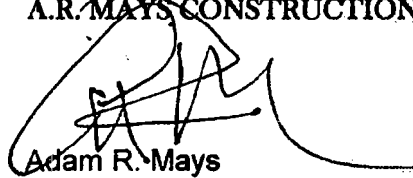
As a local Scottsdale business owner for the past 33 years, I would like to express my undivided support for keeping the Scottsdale Charros involved at its current capacity within our Spring Training baseball industry. It is apparent from recent events and past behavior by national major league teams that there is often complete disregard for local community interest and well-being. We need all the local support and representation we can create.

Having the Charros involved in managing and controlling stadium advertising insures our local businesses have a chance to participate in promoting their work and this advertising is not lost and diverted to Major League Baseball national institutions. Having the Charros manage and control the revenue generated from this advertising insures this money returns back to the community and not diverted by Major League Baseball into its own accounts.

Having the Charros manage and control the right field "Charro Lodge" insures our local institutions and community members have the opportunity to participate as a group in entertaining their people as well as local customers. The Charro Lodge has evolved into a grassroots community experience that inevitably would be lost if controlled by a national baseball team.

Throughout the last 50 years, the Charros have returned over \$16 million to local Scottsdale charities and its public education system. This type of commitment to local community does not happen with an out of town national institution. With the Spring Training contract extension negotiations underway, I know it is in our community's best interest to keep the Charros relevant, in position, and involved. They have been protecting our community's best interest for the past 50 years and have earned the opportunity to represent us for the next 35. As our elected officials, please give them your undivided support as well.

Respectfully Submitted,  
A.R. MAYS CONSTRUCTION

A handwritten signature in black ink, appearing to be 'A.R. Mays', written over the company name.

Adam R. Mays  
President



**TO:** Mayor Lane and the Scottsdale City Council

**FROM:** John Arnold, CEO Southwest Wealth Strategies

**DATE:** 2/20/19

**SUBJECT:** Scottsdale Stadium improvements.

The Scottsdale Charros have hosted Spring Training baseball at Scottsdale Stadium since 1961. The Charros have sold tickets, worked concessions, sold programs and accommodated Spring Training fans for over 5 decades. The Charro's partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education. This three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships.

Currently, plans are being finalized to upgrade Scottsdale Stadium with tourism tax monies and contributions from our organization and the San Francisco Giants. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale.

These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. This contract extension will ensure that the successful Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, a long-term commitment by the Giants and funding for the essential work of the Scottsdale Charros.

Together, we want to impress upon you, our elected leaders of Scottsdale, the importance of the continued involvement of the Scottsdale Charros. The Charros have helped insure the success of Spring Training and have protected the community's interest for the past fifty-six years. The Charros have worked with five major league teams and have contributed millions of dollars to local charities and Scottsdale Unified Schools. The Scottsdale Charros are synonymous with Scottsdale Spring Training and their continued involvement is paramount to its continued success. In other words, the Charros help the city in a uniquely Scottsdale way with games and an approach that doesn't just help a sports franchise, but the community as a whole. The Charros and Scottsdale Stadium are a model for all of Major League Baseball and how to do spring training right.

My call to action for you is :

Please approve the proposed new contract!

Thank you!

Sincerely,

A handwritten signature in black ink, appearing to be 'John Arnold', written in a cursive style.

John Arnold



## Letter in Strong Support

In light of current plans to renovate Scottsdale Stadium, I would like to voice my strong support for the Scottsdale Charros and their continued involvement in spring training and with the community as a whole. The three-way contract between the Charros, the Giants, and the city of Scottsdale should continue to serve as a model for partnerships between non-profits, the public, and private groups.

Starting in 1961, the Charros have hosted Spring training in Scottsdale. Through their partnership with the Giants and the city, this has resulted in more than \$16 million raised – all of which has been donated back to community charities and the school system. There is no other group that has been able to generate that kind of support for the city, and we need the support of the city to ensure that this work can continue for decades to come. The community deserves it.

The money raised by the Charros is a direct representation of the ties that the organization has to local businesses, community leaders, and individuals themselves. For the unparalleled success of Scottsdale Spring Training to continue (Scottsdale Stadium was named “the best ticket in baseball”), the involvement of the Charros is crucial.

Scottsdale Stadium’s renovation plans will require tourism tax dollars as well as contributions from the Giants and the Charros. To remain the benchmark for the spring training experience, the renovations will not only enhance the fan experience, but also expand the multi-use capability of the stadium and have a tangible economic impact for Downtown Scottsdale.

I strongly urge the continued support of the Scottsdale Charros so that we can continue to be the crown jewel of Spring Training across the country.

Sincerely,

V. Joe Deka, MD FACS

Lone Star Med, P.C.



February 20, 2019

Honorable Jim Lane &  
City of Scottsdale Council Members  
City of Scottsdale  
3939 N. Drinkwater Blvd.  
Scottsdale, AZ 85251

Dear Mayor and Council Members,

Community Celebrating Diversity has just celebrated its 25<sup>th</sup> anniversary and the Scottsdale Charros have been with us every step of the way. Art DeCabooter was even one of CCD's founding members. The Charros have supported Community Celebrating Diversity through their service on the Executive Board, various on-going sponsorships, and consistent support of our signature MLK Dinner Event. Their sponsorships have helped CCD provide 40 scholarships to local Scottsdale students, which allowed those students to attend local Arizona colleges and universities. In addition, thousands of valley high school students have had the opportunity to interact with our impressive list of national diversity speakers. Throughout the years, the Charros, with their diverse backgrounds, have provided great stewardship to our organization, with several members still currently serving on the board.

The Charros partnership with the City of Scottsdale and the San Francisco Giants has benefited many nonprofits in this community, with millions of dollars in donations going to deserving local charities and public education facilities.

As you consider the new San Francisco Giants contract, I highly recommend that the Scottsdale Charros continue to be a party to the agreement and, also be acknowledged for all the support that they have given to numerous local community non-profits.

Sincerely,

Jim Ford  
Immediate Past President  
Community Celebrating Diversity (CCD)

rd of Directors  
ident  
...y, Brooks  
Arizona Public Service

i President  
Ford  
Scottsdale Fire  
Department

retary  
Chris Haines  
Scottsdale Community  
age

reasurer  
Peter Rusin  
llh World Education

vision Kelly  
Mayo Clinic

McKenzie  
...nber at Large

i Rodbell  
tsdale Police  
ariment

Michelle Pabis  
orHealth

Helen Gándara  
Scottsdale Police  
ariment

Kevin Richardson  
Wells Fargo

en Reinke  
nionwide Insurance

: Hiegel  
iber at Large

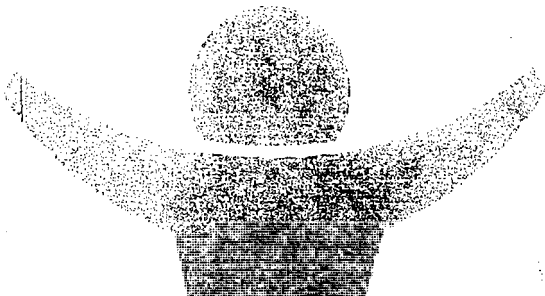
Jeffrey Harris  
... Brueckner & Levine

Member Emeritus  
ira Rembrandt  
Founder

Member Emeritus  
ld Logan

Member Emeritus  
Art DeCabooter

iber Emeritus  
Cindy Slick



February 20, 2019

Scottsdale City Council  
3939 N. Drinkwater Blvd.  
Scottsdale, AZ 85251

To Whom It May Concern:

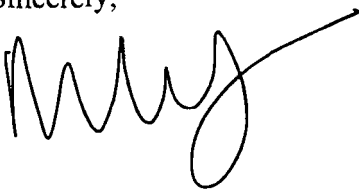
The Scottsdale Charros have shown a dedication to the City of Scottsdale that is unsurpassed by any other civic organization in town. Since the first year that they hosted spring training baseball in 1961, the Charros have poured their time, energy and financial resources into providing fans with an incredible experience. Since the Giants have been playing in Scottsdale Stadium, the Charros' partnership with the team and the City of Scottsdale has resulted in over \$16 million in donations to hundreds of deserving local charities and public education. This three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships.

Currently, designs are being finalized to upgrade Scottsdale Stadium with tourism tax monies and contributions from the Charros and the San Francisco Giants. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale.

These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. This contract extension will ensure that the successful Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, a long-term commitment by the Giants and funding for the essential work of the Scottsdale Charros.

I want to impress upon you, our leaders of Scottsdale, the importance of the continued involvement of the Scottsdale Charros. The Charros have helped insure the success of Spring Training and have protected the community's interest for the past fifty-six years. The Charros have worked with five major league teams and have contributed millions of dollars to local charities and Scottsdale Unified Schools. The Scottsdale Charros are synonymous with Scottsdale Spring Training and their continued involvement is paramount to its continued success. In other words, the Charros help the city in a uniquely Scottsdale way with games and an approach that doesn't just help a sports franchise, but the community as a whole. The Charros and Scottsdale Stadium are a model for all of Major League Baseball and how to do spring training right.

Sincerely,

A handwritten signature in black ink, appearing to read 'Bob Weston', with a long, sweeping horizontal line extending to the right.

Bob Weston

cc: Mayor W.J. "Jim" Lane

Mayor Lane  
Scottsdale City Council  
3939 N. Drinkwater Blvd  
Scottsdale, Arizona 85251  
February 20, 2019

Dear Mayor Lane and Council Members,

I offer this letter in support of the extension of the contract between the city of Scottsdale, the San Francisco Giants, and the Scottsdale Charros. The Charros have hosted Spring Training baseball with multiple major league teams at Scottsdale stadium since 1961. Throughout the years of this partnership, the Charros have been able to donate millions of dollars to local charities and public education.

The partnership between the three entities over the years has proven a great success and I truly feel it should continue. For the Scottsdale community, Charros mean Spring Training baseball and community service. Renewing the contract is the first step toward the proposed stadium renovations which will enhance the fan experience and increase revenues for local businesses.

I appreciate your consideration in this matter. I truly feel that the renewal of the contract with the Scottsdale Charros provides an "everybody wins" situation.

Very best regards,

Clark D. York, DO, FACEP  
HonorHealth

Mayor Lane  
Scottsdale City Council  
3939 N. Drinkwater Blvd  
Scottsdale, Arizona 85251  
February 21, 2019

Dear Mayor Lane and Council Members,

I have been attending San Francisco Giants Spring Training games and supporting the work of the Scottsdale Charros for many years. It has been brought to my attention that the Charros are requesting an extension of the contract between themselves, the city of Scottsdale, and the Giants in order to help move forward on proposed stadium renovations. Knowing the great work of the Charros and the fact that they have raised and donated millions of dollars to local charities and public education through their Spring Training partnership, I fully support their organization having a contract extension. I hope you will also support this.

Many schools and charities have profited from the work of the Charros and I would like to see this continue. Giants Spring Training baseball has had a very positive economic impact on local businesses and stadium renovations will only improve this through a better fan experience and draw. The renovations will also allow for the expansion of the multi-use capabilities of the stadium. I feel that the involvement of the Charros is necessary for success in our Spring Training and extending the three-way contract will continue the tradition of success.

I appreciate your consideration in this matter.

Sincerely,

Sandra M. York, RN  
HonorHealth



MCDOWELL  
SONORAN  
CONSERVANCY

February 21, 2019

The Honorable Jim Lane, Mayor  
The Honorable Linda Milhaven, Vice Mayor  
The Honorable Suzanne Klapp, Councilmember  
The Honorable Virginia Korte, Councilmember  
The Honorable Kathy Littlefield, Councilmember  
The Honorable Guy Phillips, Councilmember  
The Honorable Solange Whitehead, Councilmember  
City of Scottsdale  
3939 North Drinkwater Boulevard  
Scottsdale, Arizona 85251

Mayor and Members of the Council,

It is my pleasure to write to you today in support of The Scottsdale Charros as the Council considers the future of the organization's relationship with the City.

For more than 50 years, the Charros have occupied a special place in Scottsdale. Their relationship with the City has become a nationally-recognized model for successful unity between a public municipality and an independent citizen-led organization. We at McDowell Sonoran Conservancy have a unique and intimate understanding of such a relationship, given our similar standing as an independently chartered not-for-profit entity that both relies on and provides vital services to the City of Scottsdale. In our nearly 30-year history as the stewards of the McDowell Sonoran Preserve, we have come to appreciate and embrace the powerful and positive impact that results from working in concert with the City. Together, we achieve common goals and create tremendous value for the citizens, businesses and visitors of our great city.

The Charros have become synonymous with Major League Baseball Spring Training in Scottsdale, which serves as both a substantial annual tourist draw and economic driver for our city. In addition, throughout their more than five decades in Scottsdale, the Charros have contributed more than \$16 million in funds to support other local not-for-profit agencies and initiatives that have brought great benefit to our city and the citizens who live here. Many of these agencies would not be able to continue to serve the residents of Scottsdale at the level they do without this significant funding.

Further, the partnership that exists between the Charros, the City and the San Francisco Giants continues to bring great credit to our city, as an example of mutually beneficial success and accomplishment.

7729 East Greenway Road, Suite 100, Scottsdale, AZ 85260  
480.998.7971 | [mcdowellsonoran.org](http://mcdowellsonoran.org)

**Science is in our nature**



MCDOWELL  
SONORAN  
CONSERVANCY

We are aware that, currently, plans are underway to make significant capital improvements to Scottsdale Stadium. As an organization, we recognize the importance of continuing the City's relationship with the Charros throughout, and beyond, the implementation of those plans.

As past beneficiaries of the Charros' generosity, we recognize the importance of their continued presence in, and partnership with, the City. I urge each of you to support the extension of the Charros' contract with Scottsdale so that the partnership that has benefitted so many in our city can continue to thrive and grow. The Charros and their efforts do our city credit, and I firmly believe that their presence and involvement in our city enriches the quality of life for our citizens, while continuing to support one of our most significant economic and tourism engines.

I strongly encourage you, to grant the Charros' ongoing efforts your most fervent consideration and ask that you support the extension of their contract with the City moving forward. This extension ensures that so many in our community will continue to benefit from the Charros' monumental efforts and financial generosity in giving back to Scottsdale.

If I can answer any questions for you in regard to this matter, or if I can provide you with any additional relevant information, please do not hesitate to contact me directly.

You have my sincere appreciation for your time and consideration and for all that you do in service to our great city and its outstanding residents.

Yours respectfully,

Justin Owen  
Executive Director

To Mayor Lane and members of the Scottsdale City Council,

>

> The Contract Extension, currently under consideration between the City of Scottsdale, the San Francisco Giants and the Scottsdale Charros, is vital to our City and our Scottsdale Unified Schools.

> The Scottsdale Charros have been invaluable in promoting Spring

> Training in the City for over 5 decades. Their history includes selling tickets, selling advertising, selling programs, working concessions, hosting the teams and accommodating the Spring Training fans. The impact that they have made and continue to make puts Scottsdale on the map as a premier Spring Training fan experience.

> The Extension to the contract with the Giants and the Charros will

> allow the City to renovate Scottsdale Stadium with public, private and non-profit participation.

Enhanced fan experience and multi-purpose capabilities will improve the economic impact of Scottsdale Stadium for downtown Scottsdale.

> Equally important is the impact Spring Training and the Charros

> have had on the public schools in Scottsdale. They have created scholarships, recognized outstanding students and teachers, fostered partnerships, placed volunteers in the classroom, and supported special programs in conjunction with the district and Scottsdale Community College. The commitments that the Charros have made to education are measured not only by dollars, but by the hundreds of hours that members have given to our schools.

> The Scottsdale Charros have contributed over \$16 million to

> hundreds of worthwhile local charities and public education. It is essential to the local community, and the continued success of Spring Training, that the Scottsdale Charros continue to do what they have done for 56 years- showing Major League Baseball how to do Spring Training right!

>

> Sincerely,

> Allen Hall

> Bunny Dunlap Hall



Denise Pulk  
6145 North Granite Reef Road  
Scottsdale, AZ 85250  
February 15, 2019

Mayor Jim Lane and Scottsdale City Council  
3939 North Drinkwater Boulevard  
Scottsdale, AZ 85251

Dear Mayor Lane and City Council Members,

I have lived in Scottsdale for over 23 years and I consider it my “adopted hometown.” I am proud to be a resident of this community.

As you make decisions in regard to our city and its future, I would like to speak in support of one of our community organizations, the Scottsdale Charros. I believe it to be one of the most impactful organizations of its kind in any city - anywhere. And, at this time they need your help to continue a relationship that has been extremely significant and beneficial to the City of Scottsdale and the community as a whole.

I was provided with the following bullet points, and they seem to summarize and simplify the highlights of why the Scottsdale Charros are a true partner to Scottsdale. Please take these into consideration as you guide us through the next immediate period.

- \* The Scottsdale Charros have hosted Spring Training baseball at Scottsdale Stadium since 1961.
- \* The Charros partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education.
- \* The three-way contract with the City, the San Francisco Giants and the Charros has been very successful and a model for public, private and non-profit partnerships.
- \* Currently there are plans to renovate Scottsdale Stadium with tourism tax dollars and contributions from the Charros and the San Francisco Giants.
- \* These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact in Downtown Scottsdale.

Mayor Lane and City Council Members

February 15, 2019

Page 2

\* These stadium renovations will require a contract extension between the City of Scottsdale, the San Francisco Giants and the Scottsdale Charros.

\* The Charros need the support of the Scottsdale community to ensure that the work of the Charros continues for decades to come.

\* The Charros have worked with five major league teams and have contributed millions of dollars to local charities and public education.

\* The Scottsdale Charros are synonymous with Spring Training and the Charros continued involvement is paramount to its continued success.

\* The Scottsdale Charros and Scottsdale Stadium are a model for all of Major League Baseball on how to do Spring Training right!

Kind regards,

A handwritten signature in black ink that reads "Denise Pulk". The signature is written in a cursive, flowing style with a long horizontal stroke at the end.

Denise Pulk



February 20, 2019

Dear Honorary Council Members,

I hope this letter finds you well. As you know, The Scottsdale Charros have hosted Spring Training Baseball at Scottsdale Stadium since 1961. The Charros' partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education. The three-way contract with the City, Giants and Charros has been very successful and a model for public, private and non-profit partnerships.

Currently, there are plans to renovate Scottsdale Stadium with tourism tax dollars and contributions from the Charros and the Giants. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact in Downtown Scottsdale. That being said, these stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. The Charros need the support of the Scottsdale community to ensure that the benevolent work of the Charros can continue for decades to come. The Charros have worked with five major league teams and have contributed millions of dollars to local charities and public education. The Scottsdale Charros are synonymous with Spring Training and the Charros continued involvement is paramount to its continued success.

I am writing to express my support of the proposed 35-year contract extension between the Scottsdale Charros, the City of Scottsdale, and the San Francisco Giants for Spring Training. The contract extension will help ensure the Scottsdale Charros organization will be able to benefit local charities and public education for our future generations. Thank you for your time and consideration.

Thank you

A handwritten signature in black ink, appearing to read "Rick Carpinelli", written over a large, stylized circular flourish.

Rick Carpinelli  
[rcarpinelli@crowndev.com](mailto:rcarpinelli@crowndev.com)  
602.571.6795



2555 East Camelback Road, Suite 400  
Phoenix, AZ 85016  
Tel +1 602 954 9000  
Fax +1 602 468 8588  
cushmanwakefield.com

February 22, 2019

The Honorable Jim Lane, Mayor of Scottsdale  
The Scottsdale City Council  
3939 N. Drinkwater Blvd.  
Scottsdale, AZ 85251

Dear Mayor Lane and the Council:

I am writing this letter to you as a long time native of the great state of Arizona who has lived in both Scottsdale and Phoenix for my entire life. I write this letter to communicate my support of the Scottsdale Charros and their continued involvement in Spring Training at Scottsdale Stadium.

I take great pride in what an amazing place we live, work and raise our families. As such, I sometimes ask myself, what makes this place in the desert so special? Is it the weather? Is it the amazing outdoor recreation right outside our doorsteps? Is it the sports teams? Yes, these all play a part, but I truly believe that our stronger sense of community compared to most other cities is what sets Scottsdale apart. One of the central reasons for this is the multitude of innovative, local non-profits made up of hard-working volunteers that donate their time to tirelessly help others in this community.

I know the Scottsdale Charros are one of these innovative groups. They have hosted Spring Training baseball at Scottsdale Stadium since 1961. The Charros have sold tickets, worked concessions, sold programs and welcomed with open arms Spring Training fans for over five decades. They have helped make Spring Training in Scottsdale the best in the business and a model for others to follow. The Charro's partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education. This three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships. All of this has helped the City develop and grow our amazing sense of community that I reference above.



I want to impress upon you, our civic leaders of Scottsdale, the importance of the continued involvement of the Scottsdale Charros in Scottsdale Spring Training. They are a critical part of ensuring we continue to offer the best product in all of the Cactus League.

Thank you for everything you do for this community and thank you for considering my message.

Sincerely,

A handwritten signature in black ink, appearing to read "R. Schubert".

Ryan J. Schubert  
Executive Managing Director  
Capital Markets  
Cushman & Wakefield  
602-224-4472

Dear Mayor Lane and Scottsdale City Council.

**I am writing this email to you to express my strong support for the extension of the contract that exists for Scottsdale Stadium.** Currently, plans are being finalized to upgrade Scottsdale Stadium with tourism tax monies and contributions from our organization and the San Francisco Giants. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale. These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. **This contract extension will ensure that the successful Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, a long-term commitment by the Giants and funding for the essential work of the Scottsdale Charros.**

As you know the **Scottsdale Charros** have hosted Spring Training baseball at Scottsdale Stadium since 1961. Among other things, the Charros have sold tickets, worked concessions, sold programs and accommodated Spring Training fans for **over 5 decades**. **Together this San Francisco Giants/City of Scottsdale/Scottsdale Charro Partnership has resulted in over 16 million dollars in donations to hundreds of deserving local charities and public education.** This three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships.

The Charros have helped insure the success of Spring Training and have protected the community's interest for the past fifty-six years. The Charros help the city in a uniquely Scottsdale way with games and an approach that doesn't just help a sports franchise, but the community as a whole.

The Charros and Scottsdale Stadium are a model for all of Major League Baseball and how to do spring training right – **Please vote to extend this contract!**

Thank You,

CHAD SCHUBERT, CLCS  
Vice President - Property & Casualty  
USI Insurance Services  
2375 E. Camelback Road, Suite 250, Phoenix, Arizona 85016  
Direct: 602.749.4212 | Cell: 602.558.0005  
[chad.schubert@usi.com](mailto:chad.schubert@usi.com) | [www.usi.com](http://www.usi.com)

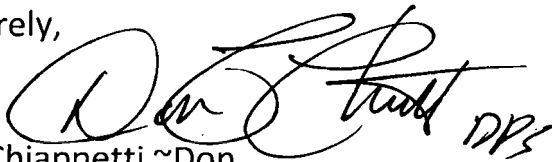


SCOTTSDALE  
SMILE  
CENTER

This letter is to express my support for the Scottsdale Charros and recommend that the city of Scottsdale extend their current contract. The Charro's are a vital part of spring training and a vital part of the community. The donations to local charities and public education have been very instrumental in children's lives.

The relationship between the Charros and the city has been a good one has benefited Scottsdale tremendously, the Charros know how to do spring training they will be an asset to the stadium renovation. Please extend the contract to Charros in the stadium or a model for the nation to follow

Sincerely,



Don Chiappetti ~Don



February 11, 2019

The Honorable W.J. "Jim" Lane  
Mayor, City of Scottsdale  
Scottsdale City Council  
3939 N. Drinkwater Blvd.  
Scottsdale, AZ 85251

Dear Mayor Lane and City Council Members,

This letter is in reference to the current plans for the Scottsdale Stadium renovations and the desired simultaneous contract extension between the City, the Scottsdale Charro's and San Francisco Giants. As you all know, The Charro's have a 56-year history of individual Charro members volunteering their time to protect and promote multiple Scottsdale interests through baseball spring training.

As a past Patron of the Scottsdale Charro's (1993-1994) and past baseball chairman, I was involved in the building of the current stadium as well as past contract negotiations with the Giants.

I have witnessed firsthand the impact a community centric group like the Charro's can have in creating benefits for the entire community. The monies raised through spring training baseball games are not the result of a typical "economic equation" where product equals value. In all measure the revenues generated now well exceed any logical ticket value exchange or sponsor benefit. The current structure of success built by the Charro's reflects all the years of effort each individual active and lifer Charro has dedicated in cultivating those relationships. The impact on our community has grown so significantly that eliminating these years of relationships would lead to a significant disappointment to the Giants spring training consumer and the very long list of Charro beneficiaries.

Sincerely,

**GRAYHAWK DEVELOPMENT**



Gregg E. Tryhds  
President

Cc: Mr. Dennis Robbins



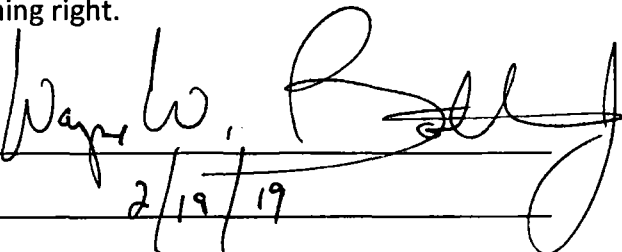
Letter in Support

The **Scottsdale Charros** have hosted Spring Training baseball at Scottsdale Stadium since 1961. The Charros have sold tickets, worked concessions, sold programs and accommodated Spring Training fans for over five decades. The Charro's partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education. The three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships.

Currently, plans are being finalized to upgrade Scottsdale Stadium with tourism tax monies and contributions from our organization and the San Francisco Giants. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale.

These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. This contract extension will ensure that the successful Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, a long-term commitment by the Giants and funding for the essential work of the Scottsdale Charros.

Together, we want to impress upon you, our leaders of Scottsdale, the importance of the continued involvement of the Scottsdale Charros. The Charros have helped ensure the success of Spring Training and have protected the community's interest for the past fifty-six years. The Charros have worked with five major league teams and have contributed millions of dollars to local charities and Scottsdale Unified Schools. The Scottsdale Charros are synonymous with Scottsdale Spring Training and their involvement is paramount to its continued success. In other words, the Charros help the city in a uniquely Scottsdale way with games and an approach that doesn't just help a sports franchise, but the community as a whole. The Charros and Scottsdale Stadium are a model for all of Major League Baseball and how to do Spring Training right.

  
\_\_\_\_\_  
2/19/19

February 18, 2019

Mayor Lane and City Council:

Just a short note as the third mayor of Scottsdale beginning in 1962, I have been involved with the Charros and am a Charros lifer. Charros have been helping in Spring Training, selling tickets, ushering and many other chores. The Charros have donated large sums of money to charities. I am in support of continuing the 35 year extension of the contract between City of Scottsdale and the San Francisco Giants.

Sincerely,

A handwritten signature in cursive script that reads "W. P. Schrader".

William P. Schrader



February 22, 2019

Mayor Jim Lane  
City of Scottsdale - Mayor and City Council  
3939 N. Drinkwater Blvd.  
Scottsdale, AZ 85251

Dear Mayor Lane,

By now you've received numerous letters discussing the relevance of the Scottsdale Charros in defining the Spring Training experience for fans, driving traffic, enthusiasm for the games and ensuring the success of Scottsdale Stadium as the top Spring Training venue. As an entrepreneur and proponent of this business community, I believe this city's collective success and growth will come from strong leaders joining together to promote mutual benefit and expansion of opportunities.

As you are aware, I served in a public capacity as a past Chairman of the City of Scottsdale Planning Commission, Trustee and past Treasurer of the Desert Botanical Garden, Greater Phoenix Economic Council (GPEC) International Leadership Committee member and have also been involved in numerous other volunteer organizations. In each of these endeavors, I've witnessed the benefit of public and private partnership.

Today Scottsdale and the Charros have an opportunity to expand Scottsdale stadium in a manner that will enhance the fan experience and bring additional capital to the city and our charities in need. The stadium renovation requires an extension of the three-way contract between the city, the SF Giants and the Charros, so I write this letter in support of that extension with the hope that you agree with me the magnitude of its importance.

The Scottsdale Charros have hosted Spring Training Baseball at Scottsdale Stadium since 1961, resulting in over \$16 million in donations to hundreds of deserving local charities and public education in partnership with the City of Scottsdale and the San Francisco Giants. If the Charros are to continue to expand baseball and its positive effects on this community, they will need the continued support of Scottsdale's leadership – particularly from you, your office and the City Council.

I urge you to recognize this win-win relationship for our community by advocating for the contract extension at hand.

Sincerely,

A handwritten signature in black ink that reads 'David Barnett'.

David Barnett  
Managing Director

O 480 664 3949

[columbiawestcap.com](http://columbiawestcap.com)

14624 N Scottsdale Rd, Suite 124  
Scottsdale, AZ 85254

Mr. Mayor,

The Scottsdale Charros have hosted Spring Training baseball at Scottsdale Stadium since 1961. The Charros have sold tickets, worked concessions, sold programs and accommodated Spring Training fans for over 5 decades. The Charro's partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education. This three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships.

Currently, plans are being finalized to upgrade Scottsdale Stadium with tourism tax monies and contributions from our organization and the San Francisco Giants. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale.

These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. This contract extension will ensure that the successful Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, a long-term commitment by the Giants and funding for the essential work of the Scottsdale Charros.

Together, we want to impress upon you, our leaders of Scottsdale, the importance of the continued involvement of the Scottsdale Charros. The Charros have helped insure the success of Spring Training and have protected the community's interest for the past fifty-six years. The Charros have worked with five major league teams and have contributed millions of dollars to local charities and Scottsdale Unified Schools. The Scottsdale Charros are synonymous with Scottsdale Spring Training and their continued involvement is paramount to its continued success. In other words, the Charros help the city in a uniquely Scottsdale way with games and an approach that doesn't just help a sports franchise, but the community as a whole. The Charros and Scottsdale Stadium are a model for all of Major League Baseball and how to do spring training right.

Thank you,



John Farr  
Managing Director  
Columbia West Capital

January 30, 2019

Mayor Lane and Scottsdale City Council  
Scottsdale City Hall  
3939 N. Drinkwater Blvd.  
Scottsdale, AZ 85251

Dear Mayor Lane and Scottsdale City Council,

There's no doubt that downtown Scottsdale is a special place. While it's home to a number of retail shops, a robust gallery district and vibrant nightlife, the continued popularity of Scottsdale Stadium also helps draw thousands of baseball fans each year to the area and helps make Scottsdale a top tourist destination spot.

Being within walking distance from the stadium, we have experienced firsthand the economic impact spring training provides and we are extremely grateful for this. Hosting spring training baseball at Scottsdale Stadium since 1962, the Charros have been synonymous with spring training and their continued involvement is paramount to the community.

Each year, the Charros contribute over \$1 million to local charities including public education and community programs. For over 5 decades, the Charros have sold tickets, worked concession, sold programs and accommodate Spring Training fans. Its volunteers and dedication to the community are the reasons spring training in Scottsdale is so special and impactful.

However, Scottsdale Stadium is in need of renovations and improvements. Currently, plans are being finalized to upgrade the stadium with tourism tax monies and contributions from the Charros and Giants. These renovations plan to expand the multi-purpose capabilities of the stadium, improve the economic impact to Old Town Scottsdale and enhance the fan experience. These renovations will require a contract extension between the City of Scottsdale, San Francisco Giants and Scottsdale Charros.

We encourage you to extend the Charros contract with the City and the San Francisco Giants to continue making Scottsdale the special place it is today, with spring training continuing its significant economic impact.

Sincerely,

Dale Jodoin  
CEO  
AZ88

# **SCOTTSDALE GALLERY ASSOCIATION**

January 8, 2019

Mayor Lane and Scottsdale City Council  
Scottsdale City Hall  
3939 N. Drinkwater Blvd.  
Scottsdale, AZ 85251

Dear Mayor Lane and Scottsdale City Council,

On behalf of the Scottsdale Gallery Association, we are writing to express our support for the Scottsdale Charros and Scottsdale Stadium. And we want to thank the City Council for its continued dedication to support local galleries.

The Scottsdale Gallery Association has spent years improving the art district to become the tourist destination that it is today. Every year, spring training season draws thousands of tourists and baseball fans to Old Town Scottsdale. This boost in tourism percolates over into the downtown area, which helps restaurants, galleries and businesses alike. For this, we are extremely grateful.

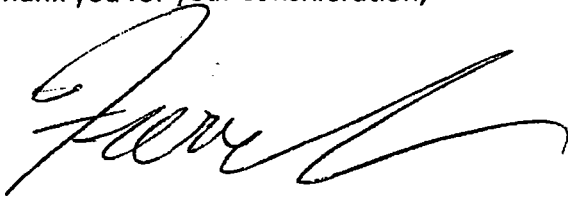
However, Scottsdale Stadium is in need of renovations and improvements. Currently, plans are being finalized to upgrade the stadium with tourism tax monies and contributions from the Charros and Giants. These renovations plan to expand the multi-purpose capabilities of the stadium, improve the economic impact to Old Town Scottsdale and enhance the fan experience. These renovations will require a contract extension between the City of Scottsdale, San Francisco Giants and Scottsdale Charros.

The Charros have helped insure the success of Spring Training and have protected the community's interest. This has been largely because of the innovative three-way approach between the City of Scottsdale, San Francisco Giants and Scottsdale Charros. The agreement between Scottsdale, the Charros and the Giants has been extraordinarily successful and is a

model for public, private and non-profits partnerships that benefits all. This partnership has resulted in over \$16 million in donations to hundreds of local charities and public education.

For these reasons, we encourage you to support the Charros with their continued involvement with spring training and Scottsdale Stadium. Scottsdale is a world-class destination in many aspects including arts, tourism and community. The Scottsdale Charros are a major part of that. The Charros are synonymous with Scottsdale Spring Training and their involvement has benefited many in the community for years to come.

Thank you for your consideration,

A handwritten signature in black ink, appearing to read 'French Thompson', written in a cursive style.

President, French Thompson  
Scottsdale Gallery Association, Board of Directors

CC Jim Thompson, City Manager

Bill Murphy, Parks and Recreation



**OLIVER SMITH**  
JEWELER

Dear Mayor Lane and Scottsdale City Council Members,

I have had been a member of the Scottsdale Charros for 25 years, and a small business owner in Scottsdale for over 30 years.

The Scottsdale Charros have hosted Spring Training baseball at Scottsdale Stadium since 1961. The Charros have sold tickets, worked concessions, sold programs and accommodated Spring Training fans for over 5 decades. The Charro's partnership with the City of Scottsdale and the San Francisco Giants has resulted in over \$16 million in donations to hundreds of deserving local charities and public education. This three-way agreement has been extraordinarily successful and is a model for public, private and non-profit partnerships.

Currently, plans are being finalized to upgrade Scottsdale Stadium with tourism tax monies and contributions from our organization and the San Francisco Giants. These renovations will enhance the fan experience, expand the multi-purpose capabilities of the stadium and improve the economic impact of Scottsdale Stadium for Downtown Scottsdale.

**These stadium renovations will require a contract extension between Scottsdale, the Giants and the Charros. This contract extension will ensure that the successful Spring Training partnership will continue to provide tremendous economic benefit to Scottsdale, a long-term commitment by the Giants and funding for the essential work of the Scottsdale Charros.**

Together, we want to impress upon you, our elected leaders of Scottsdale, the importance of the continued involvement of the Scottsdale Charros. The Charros have helped insure the success of Spring Training and have protected the community's interest for the past fifty-six years. The Charros have worked with five major league teams and have contributed millions of dollars to local charities and Scottsdale Unified Schools. The Scottsdale Charros are synonymous with Scottsdale Spring Training and their continued involvement is paramount to its continued success. In other words, the Charros help the city in a uniquely "Scottsdale" way, with games and an approach that doesn't just help a sports franchise, but the community as a whole. The Charros and Scottsdale Stadium are a model for all of Major League Baseball and how to do spring training right.

I am reaching out to ask for your support for the contract extension so that the Scottsdale Charros can remain a vital part of Spring Training and so we can continue our commitment to local charities and education.

Regards,

Oliver L. Smith Jr.

THE SHOPS AT GAINNEY VILLAGE  
8787 NORTH SCOTTSDALE ROAD, SUITE 116  
SCOTTSDALE, ARIZONA 85253

480-607-4444 {{PHONE}}  
480-607-4466 {{FAX}}

WWW.OLIVERSMITHJEWELER.COM





*Randy Nussbaum*

## **THE IMPORTANCE OF RENOVATING SCOTTSDALE STADIUM**

Scottsdale Stadium desperately needs renovations and the Scottsdale citizenry should support funding for that purpose. Over the years, Scottsdale residents have been very discriminating in deciding whether to support a specific bond proposal or city project. This is the case even though every bond initiative or funding program is prompted by a belief that the funding is crucial and necessary, though the city has managed to survive notwithstanding the population's refusal oftentimes to approve the funding.

In the case of the proposed funding for Scottsdale Stadium, no rational business reason exists for rejecting it and the city will be hurt if the funding is not approved.

The positive economic impact that spring training baseball has on downtown Scottsdale is without question. Since I returned last year to downtown Scottsdale to work at Sacks Tierney, which is a few blocks away from the stadium, I have experienced firsthand the vibrant impact that spring training has on old Scottsdale. The game day excitement is palpable, and watching baseball fans joyously enter the stadium in their full regalia is a sight to behold. The hotels surrounding the stadium are always full during spring training and even resorts miles away are impacted by the influx of visitors. Though it is frustrating for a local like me to score either a lunch or dinner reservation during spring training, it's a price we all should be willing to pay for the positive economic impact on the city. More importantly, even though a concerted effort is made to track dollars traceable to spring training baseball, it's virtually impossible to fully understand how much revenue is generated from individuals who come to Scottsdale to watch a game for the first time and then return time and time again when they realize all of the other amenities our fine city has to offer.

You cannot compare this campaign with what happened in Phoenix with the Phoenix Suns facility, since the costs for the Scottsdale Stadium renovation are much lower than the Suns' facility, the Stadium improvements will expand the Stadium's future versatility, and both the Charros and the Giants will be contributing as well. It has been almost 30 years since our stadium has been materially updated, and expecting a first class franchise like the San Francisco Giants to

remain in Scottsdale without a more modern facility is unrealistic. One only has to drive a few miles up the street to Salt River Fields to understand what Scottsdale Stadium is lacking. Scottsdale Stadium possesses the charm of an iconic field that Salt River Fields will never have, but discriminating fans will not be willing to trade the aura of our stadium for inadequate facilities and amenity options.

It is impossible to criticize the civic group overseeing the stadium, the Charros, for what they have accomplished. Quite to the contrary, they have done a model job of ensuring that the community directly benefits from the Giants' contract with the Charros. Local charities, education and civil organizations have received over \$16,000,000 from baseball money since the Giants have occupied the space.

The naysayers may claim that the Giants will remain regardless of how the vote may go and that downtown Scottsdale will do just fine without spring training baseball, but such a shortsighted attitude ignores the economic reality of spring training, and will send an unequivocal message to the local businesses and the tourist industry that Scottsdale is not willing to put its money where its mouth is.

There may be a time or place in which a bond initiative or funding request is not well thought out or is unnecessary, but we all need to voice our support to ensure that our hometown stadium is a 21<sup>st</sup> century facility.

*Randy Nussbaum is a long-time resident of Scottsdale and a Shareholder with the Scottsdale law firm Sacks Tierney, P.A.*



THE WORLD'S GREATEST COLLECTOR CAR AUCTIONS®

February 28, 2019

Mayor Lane and Scottsdale City Council  
Scottsdale City Hall  
3939 N. Drinkwater Blvd.  
Scottsdale, AZ 85251

Dear Mayor Lane and Scottsdale City Council,

On behalf of Barrett-Jackson, I am writing to express our support for the Scottsdale Charros and Scottsdale Stadium. Staging the Barrett-Jackson collector car auction in Scottsdale for decades, we understand the importance of leading by example and always strive to provide excellent environments for our guests. The same can be said for the Charros and their important role with Scottsdale Stadium.

The stadium, spring training, and the Charros are integral to Scottsdale; part of the City's DNA and an important component of why Scottsdale remains the best place to watch Cactus League baseball. Tourism soars during Scottsdale's spring training season, with tens of thousands flocking to the downtown area to not only enjoy our national pastime, but also all the attractions the City has to offer.

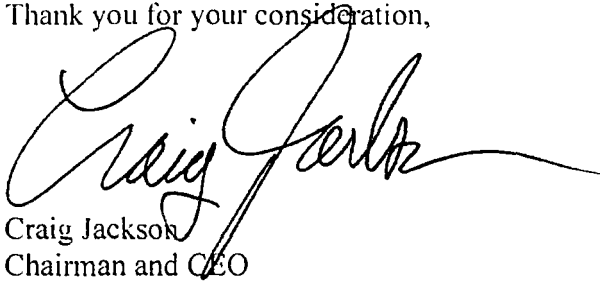
The successful, symbiotic relationship between the City of Scottsdale, the San Francisco Giants and the Charros is unquestionably a model all Major League Baseball spring training cities should attempt to emulate. For five decades, the Charros have fostered that spring training experience and evolved it into not only a time of considerable economic impact for the City, but a season that has a profound effect on the entire community.

With a heart for philanthropy at our very roots, Barrett-Jackson understands the importance of giving back to the community, raising \$9.6 million for charity during our recent 2019 Scottsdale Auction. Through baseball, the Charros have also grown into a major fundraising organization, contributing over \$1 million towards public education and vital community organizations in the past year alone. Through their involvement with Scottsdale Stadium and spring training, the Charros have remained at the forefront of creating a community in which our families can live, work, learn, and have fun.

For these reasons, we encourage you to extend the contract with the City, the Charros, and the San Francisco Giants, allowing spring training to remain an important piece of the colorful mosaic that is Scottsdale – providing significant economic impact, furthering the community, and shining a national spotlight on our city.

Reinvestment in Scottsdale Stadium is a reminder that such smart policy should and must apply to other important venues in the City too, such as the TPC Scottsdale and WestWorld. And reinvestment applies to the city's aging infrastructure too. It is why we were contributors to the 2015 bond campaign and package and will be again in 2019.

Thank you for your consideration,

A handwritten signature in black ink, appearing to read "Craig Jackson", with a long horizontal flourish extending to the right.

Craig Jackson  
Chairman and CEO  
Barrett-Jackson Auction Company

CC Jim Thompson, City Manager  
Bill Murphy, Community Services Executive Director



District Office  
8500 E. Jackrabbit Rd.  
Scottsdale, AZ 85250

Telephone: (480) 484-6100

Feb. 28, 2019

Mayor W.J. "Jim" Lane  
Vice Mayor Linda Milhaven  
Councilwoman Suzanne Klapp  
Councilmember Virginia Korte  
Councilman Guy Phillips  
Councilwoman Kathy Littlefield  
Councilwoman Solange Whitehead

3939 N. Drinkwater Blvd.  
Scottsdale, AZ 85251

Dear Mayor Lane and Members of the Scottsdale City Council,

Scottsdale is known for a great many things: wonderful weather, beautiful scenery, cultural opportunities, a bustling downtown steeped in territorial history, world-class golf courses and resorts, and, for the last 58-years, spring training baseball at Scottsdale Stadium, hosted by the Scottsdale Charros.

The Scottsdale Charros and their Charro Foundation are tremendous community organizations that are second-to-none in supporting our great city with their time, talent and resources. Like the City, Scottsdale Unified School District (SUSD) is fortunate to be a beneficiary of the Charros' thoughtful, focused generosity:

- With their annual Future Teacher Scholarships, the Charros help reduce college tuition fees for two SUSD graduates as they begin their college studies to become educators. At a time when universities are graduating fewer and fewer teachers, the Charros understand the importance of helping remove financial barriers that prevent some from pursuing their dream career.
- The Charros expand student-learning opportunities beyond those sustained by the state and district with Education and Liaison Grants. Programs such as student character-development, career and technical education, robotics and classroom technology are bolstered by this additional support.

- Two years ago, when it became apparent that our district needed to address the decline in Coronado High School graduation rates, it was the Charros that stepped in to create a partnership with Arizona State University on SUSD's behalf, bringing vast resources to us from the Mary Lou Fulton Teachers College. That work now encompasses all of Coronado's feeder schools, and we are turning the corner.
- Last, but not least, Scottsdale Stadium is the site each January of the Charros' Youth Luncheon and Baseball Clinic, giving 250+ SUSD students the chance to rub elbows and learn from retired Major League Baseball players and coaches.

Baseball and giving back to the community are at the center of everything the Charros do. Their partnership with the city that you lead and the San Francisco Giants has resulted in the Charros' being able to donate more than \$16 million to the community over the years. While I, as SUSD superintendent, may have 'district-centric' reasons for wanting this partnership to continue, the City's contract with the Giants and the Charros is truly a model for successful public-private-nonprofit agreements and is worthy of continuing.

The Charros and baseball in Scottsdale are synonymous. You need them, and they need you. I encourage you to have the Charros by your side as you undertake the Scottsdale Stadium renovation project. Not only will the stadium improvements enhance baseball fans' experience, the stadium and its environs will become a year-round, multi-purpose venue with year-round economic impact, and you can put that in the 'W' column for all of Scottsdale.

Respectfully,

  
John A. Kriekard, Ed. D.  
Superintendent

## Scottsdale/SF Giants Agreement



1

## Giants / Charros / COS Stadium History/Status

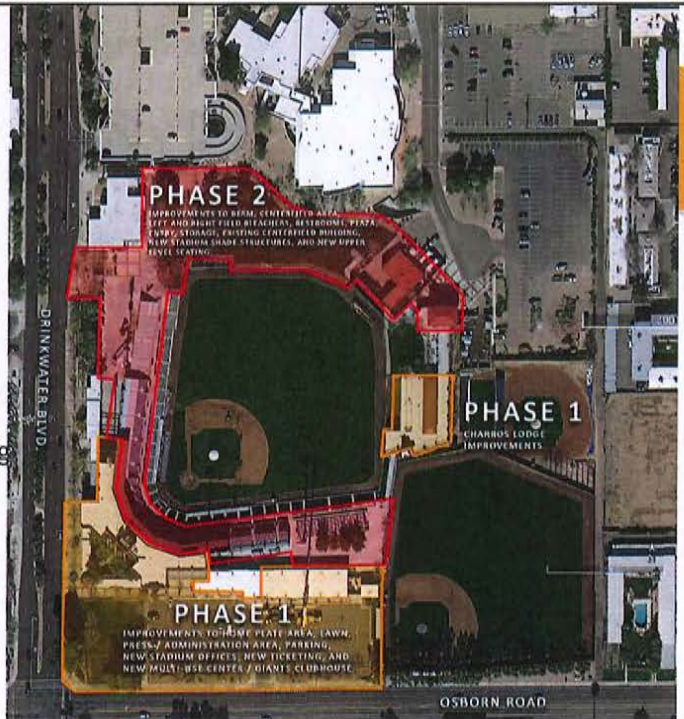
- Master Planning Discussions Began - 2015
- Design Process Authorized by CC - March 2018
  - For Multi-Use Facility, Baseball and Fan Amenities
- Award Design Build Contract - July 2018
- Scottsdale, Phoenix and SF Giants agreements on Papago for year round Player Development - December 2018
  - Opens up Indian School Park for Community Use
  - West entry anchor to McDowell Rd. Corridor

2

## DRAFT - Phasing

Phase 1 -  
April 2019 -  
Feb. 2020

- Clubhouse
- Indoor Multi-Use Spaces
- Entry and Parking
- Press box
- Ticketing and Administration
- Charro Lodge
- Right Field Concourse



3

## Binding Memorandum of Understanding

- Binding Capital Commitments for Phase 1
  - SF Giants - \$15.125M (\$11.7M net present value)
  - Charros - \$2.7M (\$1.8M net present value)
  - COS - up to \$30M (+\$5M previously committed to design)
- All Three Parties Intend to Complete the Final Baseball Facilities Agreement - (30-45 days)
  - ❖ Separate Concessionaire agreements (SFG and COS)
    - Expect \$2.5M Phase 1 and \$2.5M + for Phase 2
- Phase 1 Construction Begins Immediately
  - Completion in time for Spring Training 2020

4



## Upcoming Timeline and Actions for Stadium Project:

- March- mid April - COS, SFG and Charros completion of Baseball Facilities Agreement
- March- mid May COS and SFG complete Concessionaire Agreements and Multi Use Business Plan w/ L William Seidman Research Institute (ASU)
- Mid June - GMP 2 presented to CC for authorization
- July - Phase 2 plans, costs, funding finalized
- August-September - projected date for Bond Sale
- February 11, 2020 - Spring Training Operations begin

5

## Main Multi-Use Event Space and Clubhouse



6

## City Staff Action Plan:

- Immediately begin marketing Stadium Multi-Use Facilities
  - ✓ Assistance from Experience Scottsdale and SF Giants
- Immediately begin scheduling and securing events for Indian School Park Athletic Facilities
- March- mid April complete Multi Use Business Plan w/ L. William Seidman Research Institute (ASU)
- Community Services Divisional Budget Planning for 2020/2021
- Develop Transition plan for relocation of SF Giants from ISP to Papago
- Plan/Prepare for 2020 Spring Training Operations

7

## Public Input and Recommendations

- ✓ Open House and stakeholder meetings past 24 months
- ✓ 200+ Letters of Support in Packet
- ✓ DRB approval February 21, 2019
- ✓ Tourism Development Commission - March 19, 2019
  - Approved 6-1 Use of Tourism Funds for Stadium Project

8

## City Council Action Requested:

- 1) Adopt Reso. #11421 Authorizing Memorandum of Understanding 2019-050-COS with SF Giants and Charros committing each of the parties to specific funding commitments for Phase 1 of the Stadium Project
- 2) Adopt Reso. # 11349 Authorizing Design Build Construction Contract 2019-006-COS with Hunt Construction Group Inc. in the amount of \$22,853,327 for GMP 1 of Phase 1 of the Stadium Project
- 3) Adopt Reso.# 11368 authorizing a FY 2018/19 Budget Appropriation transfer totaling \$23,400,000
- 4) Approve a one-time waiver of Financial Policy 21A

9

## Questions?



10

**Smith, Erica**

**From:** Webmaster  
**Sent:** Tuesday, March 19, 2019 9:26 AM  
**To:** Smith, Erica  
**Subject:** Comment on 03-19-2019 Agenda Item (response #16)

**Comment on 03-19-2019 Agenda Item (response #16)**

**Survey Information**

Site:	ScottsdaleAZ.gov
Page Title:	Comment on 03-19-2019 Agenda Item
URL:	<a href="https://www.scottsdaleaz.gov/council/meeting-information/agenda-comments/03-19-2019">https://www.scottsdaleaz.gov/council/meeting-information/agenda-comments/03-19-2019</a>
Submission Time/Date:	3/19/2019 9:25:41 AM

**Survey Response**

<b>AGENDA ITEM</b>	
Which agenda item are you commenting on?	executive session related stadium funding
<b>COMMENT</b>	
Comment:	<p>Please do not take funding from TDC to support the funding for the stadium. It will deter future city event funding and is basically taping the Tourism and Events department . At the TDC meeting, the member voted 6/1 for the funding but they were not prepared to make the vote and most admitted to that. Ken Mc Kenzie was the decenting vote and he seemed to understand the ramification of this funding more than the others. Linda Dillenbeck and Camille Hill were very concerned that this funding would negatively impact future city events but they did vote. The city must obtain funding from another source for the stadium or all we will have is a 3 week stadium event for our great city in the middle of high season. This is an unfair request and I hope you will consider my comments and not support the stadium with bed tax dollars. Thank you, Sandy Schenkat</p>
Comments are limited to 8,000 characters and may be cut and pasted from another source.	

**NAME**

Name:

Sandy Schenkat

**CONTACT INFORMATION**

Please provide the following information so someone may follow up with you if they have questions about your comment (optional).

Email:

[sandra@hbcj.com](mailto:sandra@hbcj.com)

Phone:

(480) 268-9200

Address:

10961 E Gary Rd.

Example: 3939 N. Drinkwater Blvd, Scottsdale 85251