



**Community & Economic Development Division  
Planning and Development Services**

7447 East Indian School Road, Suite 105  
Scottsdale, Arizona 85251

**To:** Neighborhood Advisory Commission  
**From:** Taylor Reynolds, Commission Liaison  
**CC:** Adam Yaron, Planning & Development Area Manager  
**Date:** October 25, 2023  
**Re:** Item 6: Neighborhood Enhancement Grant Program Proposal - Stone Ridge Estates

This memorandum presents a request to the Neighborhood Advisory Commission from the Stone Ridge Estates neighborhood for the allocation of Neighborhood Enhancement Grant Program (NEGP) funding to provide landscape enhancements at the entrance to the community, generally located at North Hayden Road and East Larkspur Drive.

**BACKGROUND**

The Neighborhood Advisory Commission annually operates the Neighborhood Enhancement Grant Program with City Council approved budget funding for neighborhood improvements as a means to implement the purpose, powers, and duties of the Commission, pursuant to Ordinance 4331 (Enclosure 1), and without creating conflicts with the City Charter (Section.3. Powers of the City. O.).

For the 2023/24 fiscal year, the Neighborhood Advisory Commission has a City Council approved budget of \$30,000 available to provide for neighborhood improvements.

**REQUEST**

The request for Neighborhood Enhancement Grant Program funding (Enclosure 2) for Stone Ridge Estates was submitted on August 1, 2023, requesting:

1. Landscaping Improvements

The applicant is seeking landscape enhancements to improve the entrance (+/- 4,800 sq ft in area) to the Stone Ridge Estates neighborhood (Enclosure 3).

**NEIGHBORHOOD ENHANCEMENT GRANT PROGRAM CRITERIA**

The applicant's request for landscaping improvements at the entrance to Stone Ridge Estates is eligible for Program funding consideration. As per the Commission's Program Criteria and Requirements, the Commission will consider each application proposal and request, subject to the following:

- **Location & Accessibility** (Requirement) – The project meets this requirement as the proposed landscape improvements are located within the city’s right-of-way, and frontage to North Hayden Road, a public street that is classified as a Minor Arterial. Consequently, the intended improvements are located so as to be seen and accessible to the overall public.
- **General Need** (Requirement) – Stone Ridge Estates is a non-HOA Neighborhood, where existing funding mechanisms for such a project are not available.
- **Existing Conditions** (Consideration) – City staff conducted a site visit on August 23, 2023, observing several locations along Hayden Road frontage, near the entrance to Stone Ridge Estates, where trees had been previously planted and subsequently removed. Further, existing shrubs appeared to be dead or dying from the summer heat, and in some instances areas that previously included plant materials were bare. Staff’s review of historic aerials revealed that plant materials and trees had been reduced over time. The addition of trees, shrubs, and as-needed decomposed granite for ground cover would improve the entrance to the neighborhood.
- **Maintenance** (Consideration) – There is no active "Notice of Compliance" from Code Enforcement for the subject site. This area within the right-of-way is maintained by city and if this project is approved, on-going maintenance would remain as such. The applicant has stated interest in expanding their existing Adopt-A-Road coverage to ensure trash is managed.

**PROJECT SCOPE**

If approved, NEGP funds, not to exceed \$2,189.48, will be utilized to provide the following:

- \$1,289.48 – planting of 3 trees
- \$450 – planting of 18 shrubs
- \$450 – spreading of 5 tons of decomposed granite

Improvements will be paid by the requested NEGP funds subject to city purchasing guidelines and requirements. As previously stated, on-going maintenance will remain the responsibility of the city.

**STAFF RECCOMENDATION, DISCUSSION, AND POSSIBLE ACTION**

Implementing the purpose, powers and duties pursuant to Ord. 4331, based on Neighborhood Advisory Commission-established Neighborhood Enhancement Grant Program criteria, without creating conflicts with the City Charter (Section.3. Powers of the City. O.), and by utilizing City Council approved budget funding for neighborhood improvements, staff recommends the following:

- A. Approve the allocation of Neighborhood Enhancement Grant Program funding in an amount not to exceed \$2,189.48, so as to assist in landscape enhancements at the entrance to the Stone Ridge Estates neighborhood, generally located at North Hayden Road and East Larkspur Drive.

**ENCLOSURES**

1. City Council Ord. 4331 defining the Purpose Powers and Duties of the Neighborhood Advisory Commission
2. Neighborhood Enhancement Grant Program Application for Stone Ridge Estates
3. Stone Ridge Estates NEGP Request Exhibit

ORDINANCE NO. 4331

AN ORDINANCE OF THE CITY OF SCOTTSDALE, MARICOPA COUNTY, ARIZONA, AMENDING SECTIONS 2-322 AND 2-323 OF THE SCOTTSDALE REVISED CODE PERTAINING TO THE NEIGHBORHOOD ADVISORY COMMISSION

BE IT ORDAINED by the Council of the City of Scottsdale as follows:

Section 1. Sections 2-322 and 2-323 of the Scottsdale Revised Code pertaining to the Neighborhood Advisory Commission is amended as follows:

Section 2-322. Membership.

The Neighborhood Advisory Commission shall consist of seven (7) members, each of whom shall be appointed by the city council. The term of each member shall be for three (3) years; ~~except the terms of those members who were current members of the Scottsdale Neighborhood Enhancement Commission or Housing Board at the time of the enactment of this division shall expire on the date that their term would have expired for their respective prior commission or board. The initial membership of the commission shall consist of the membership of the Housing Board and Neighborhood Enhancement Commission at the time of adoption of this division. The membership shall be reduced to seven members through attrition by resignation or expiration of term.~~

Section 2-323. Purpose; powers and duties.

(a) The purpose of the Neighborhood Advisory Commission is to advise and make recommendations to the city council on policies, plans, strategies and programs for the preservation, improvement and revitalization of Scottsdale's housing and neighborhoods. The commission may advise and make recommendations on other issues and matters as the city council may direct. The commission may make recommendations to other city boards and commissions, **in accordance with the commission's purpose.**

~~(b) In accordance with City Council Resolution Number 8929 approve or disapprove applications made pursuant to the R1-7 Residential Exterior Enhancement Program.~~

**(b) The commission shall establish criteria for determining how Neighborhood Enhancement Grant Funds are allocated. Any required application shall be filed with the city.**

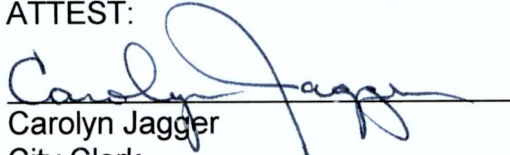


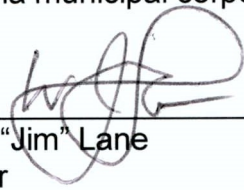
(c) The commission shall approve or deny Neighborhood Enhancement Grant Program applications pursuant to the application procedure and established criteria.

PASSED AND ADOPTED by the City Council of the City of Scottsdale this 13th day of February 2018.

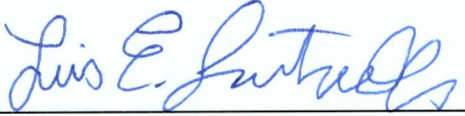
CITY OF SCOTTSDALE, an  
Arizona municipal corporation

ATTEST:

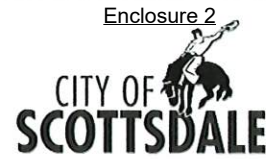
  
\_\_\_\_\_  
Carolyn Jagger  
City Clerk

  
\_\_\_\_\_  
W. J. "Jim" Lane  
Mayor

APPROVED AS TO FORM:  
OFFICE OF THE CITY ATTORNEY

  
\_\_\_\_\_  
Bruce Washburn, City Attorney  
By: Luis E. Santaella, Senior Assistant City Attorney

# Neighborhood Enhancement Grant Program Application



## Purpose

The purpose of the Neighborhood Enhancement Grant Program (NEGP) is to provide funding from the City to neighborhoods to assist in maintaining and/or revitalizing their areas, so as to prevent the decline of mature neighborhoods. By encouraging neighborhood participation and investment, it is the program's objective to address individual neighborhood needs before they become community challenges. The process includes application submittal, a meeting between the applicant and city staff to discuss the proposed scope of work, and consideration and approval by the Neighborhood Advisory Commission at a public meeting.

## Submittal

Please complete the Neighborhood Enhancement Grant Request Application form, following the review of the Program Criteria & Requirements. All other required materials should be submitted in-person to the Neighborhood Advisory Commission Staff at the One-Stop-Shop located at 7447 East Indian School Road, Suite 105.

## Scheduling

After the Neighborhood Enhancement Grant Request Application has been accepted, a staff member will contact the applicant within five (5) business days to schedule a consultation meeting with the assigned staff. Generally, a consultation meeting is scheduled within five (5) to fifteen (15) business days from the date of the submittal.

Project Name: Stoneridge Estates		
Site Address (s): Hayden + Lakespur, Cactus + 84th		
Properties included in proposal:		
<input type="checkbox"/> 1 Single-Family Residential Non-HOA Home	<input checked="" type="checkbox"/> Non-HOA Neighborhood Group	<input type="checkbox"/> Other
Has a 'Notice of Compliance' been issued? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <span style="float: right;">If yes, provide a copy with this submittal</span>		
<b>Please check the appropriate box(s) associated with the request:</b>		
<input type="checkbox"/> Landscape Maintenance	<input checked="" type="checkbox"/> Landscape Enhancement	<input checked="" type="checkbox"/> Perimeter Wall Maintenance
<input type="checkbox"/> Alley Improvements	<input checked="" type="checkbox"/> Neighborhood Signage	<input type="checkbox"/> Other:
Applicant/Owner: Katy Foster		Neighborhood Group Name & Contact: Stoneridge Estates, Katy Foster
Address: 12633 N. 81st St		Address: <
Phone: 303 618 4878	Fax:	Phone: < Fax: <
E-mail: katypointexter@msn.com		E-mail: <
 Applicant/Owner Signature		 Neighborhood Group Representative Signature
<small>* I am the owner of the property or I am the duly and lawfully appointed agent of the owner of the property and have authority from the owner to sign this application on the owner's behalf. If the property has more than one owner, the I am the agent for all the owners and the word "owner" refers to all of them.</small>		
<b>Official Use Only</b>	Submittal Date: _____	Application No.: _____ -XX- _____
	Project Coordinator: _____	City Maintained ROW: <input type="checkbox"/> Yes <input type="checkbox"/> No

## Planning and Development Services

7447 E Indian School Road Suite 105, Scottsdale, Arizona 85251 • www.ScottsdaleAZ.gov

Neighborhood Enhancement Grant Program Application

Stoneridge Estates, NE corner Hayden & Cactus Roads

1. I am applying for this grant to enhance the cosmetic appearance of two entrances to our wonderful neighborhood. My goal is to impress visitors and residents with low cost design creativity that can bring beauty and value to our area.
2. There are two main entrances off very busy roads into our neighborhood – Hayden just north of Cactus (at Larkspur Dr), and 84<sup>th</sup> at Cactus. Our neighborhood does not have an HOA, but we take pride in our streets and appearance of our homes, with many being currently or recently updated and renovated. There are at least 100 home sites that will benefit from these enhancements, which will further improve the look and feel of the neighborhood.

I am not aware of any irrigation at either entrance, but I am confident that creative landscaping and design can improve both sites. The 84<sup>th</sup> at Cactus entrance is more of an eyesore – I would of course like to update both, but this entrance is most in need. I will measure success by our ability to improve both entrances with low cost, environmentally friendly design. As long as I live in the neighborhood I will check both entrances for trash – it's an easy addition to my Adopt-A-Road which is Cactus between Hayden and Scottsdale. Thank you for your consideration!

Katy Foster

12633 N 81<sup>st</sup> Street, Scottsdale AZ 85260

303-618-4878

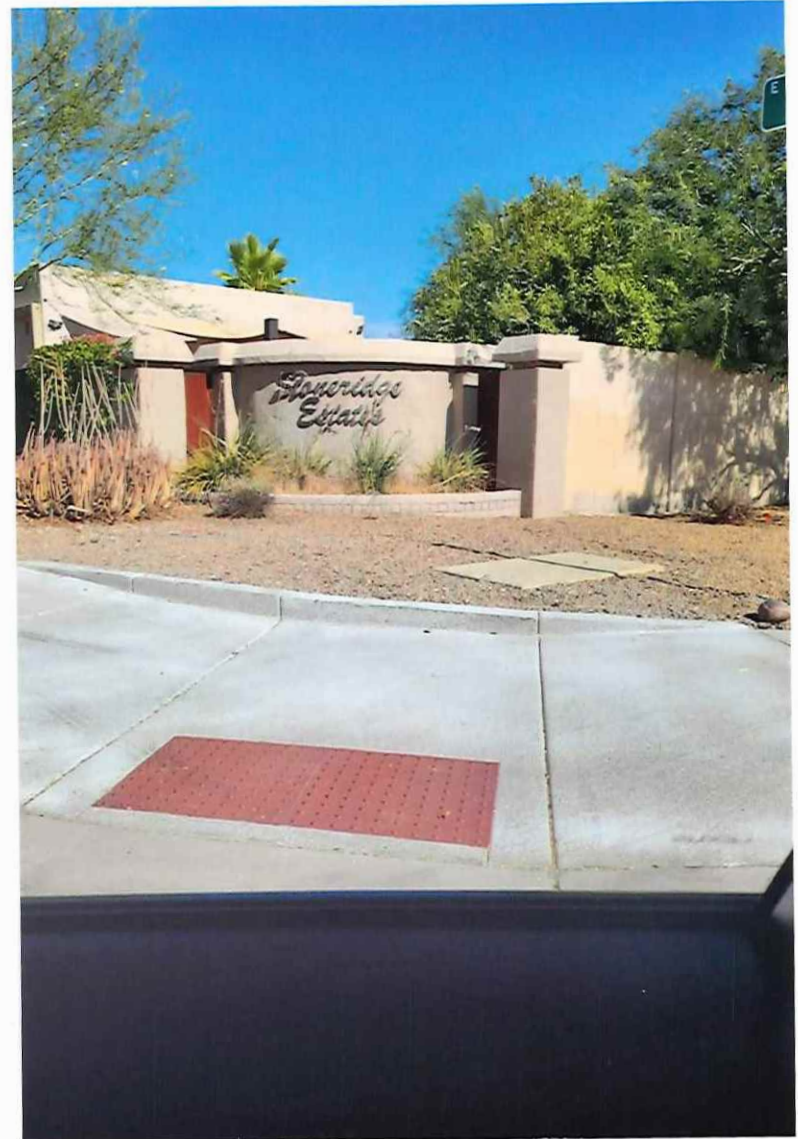


Hayden & Larkspur Entrance  
Photos taken from entrance

NE corner



SE corner





Hayden & Larkspur entrance  
Photo taken from SB turn lane

Enclosure 2



NE corner



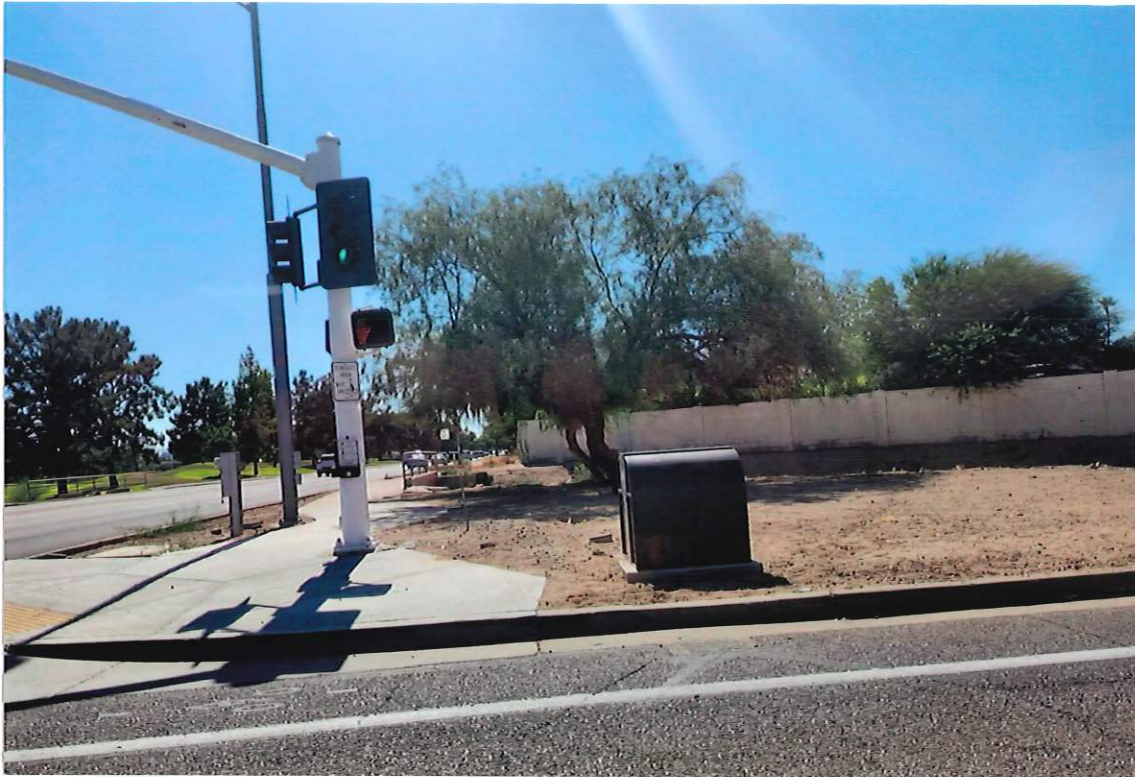
SE corner



Cactus + 84th Entrance  
SW corner

Enclosure 2

Photo taken from NB turn lane on 84th





Cactus & 84<sup>th</sup> Entrance

Enclosure 2

SE corner

Photo taken from NB turn lane  
on 84<sup>th</sup>



# NEGP Request Exhibit

Stone Ridge Estates - Neighborhood Enhancement Grant Proposal

NEIGHBORHOOD  
ENHANCEMENT GRANT

Enclosure 3  
CITY OF  
SCOTTSDALE

 Project Site, +/- 4,800 sq ft

